

PHASE 1 CENTRAL MODIFICATION VILLEBOIS MIXED USE PRELIMINARY DEVELOPMENT PLAN

TL 8600, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

COSTA PACIFIC
14350 SE INDUSTRIAL WAY
CLACKAMAS, OR 97015
[P] 503-314-8014
CONTACT: RUDY KADLUB

PLANNER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: STACY CONNERY, AICP

CIVIL ENGINEER:

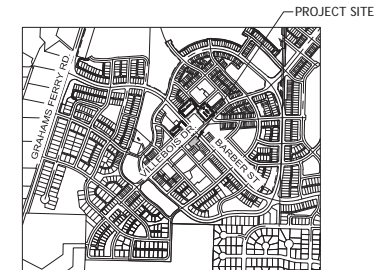
PACIFIC COMMUNITY DESIGN, INC
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[P] 503-941-9484
CONTACT: JAKI HUNT, PE

SURVEYOR:

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CONTACT: TRAVIS JANSEN, PLS, PE

LANDSCAPE ARCHITECT:

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[P] 503-941-9484
CONTACT:



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	REPUBLIC SERVICES
CABLE:	COMCAST

BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

- 1 COVER SHEET
- 2 EXISTING CONDITIONS & DEMOLITION PLAN
- 3 SITE / LAND USE PLAN
- 4 PRELIMINARY GRADING & EROSION CONTROL PLAN
- 5 PRELIMINARY COMPOSITE UTILITY PLAN
- 6 PRELIMINARY CIRCULATION PLAN
- 7 PRELIMINARY PARKING PLAN
- 8 PRELIMINARY TREE PRESERVATION PLAN
- L1 PLANTING PLAN

ELEVATION DATUM: NAVD 88



REVISIONS	
DATE	DESCRIPTION

PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

COVER
SHEET

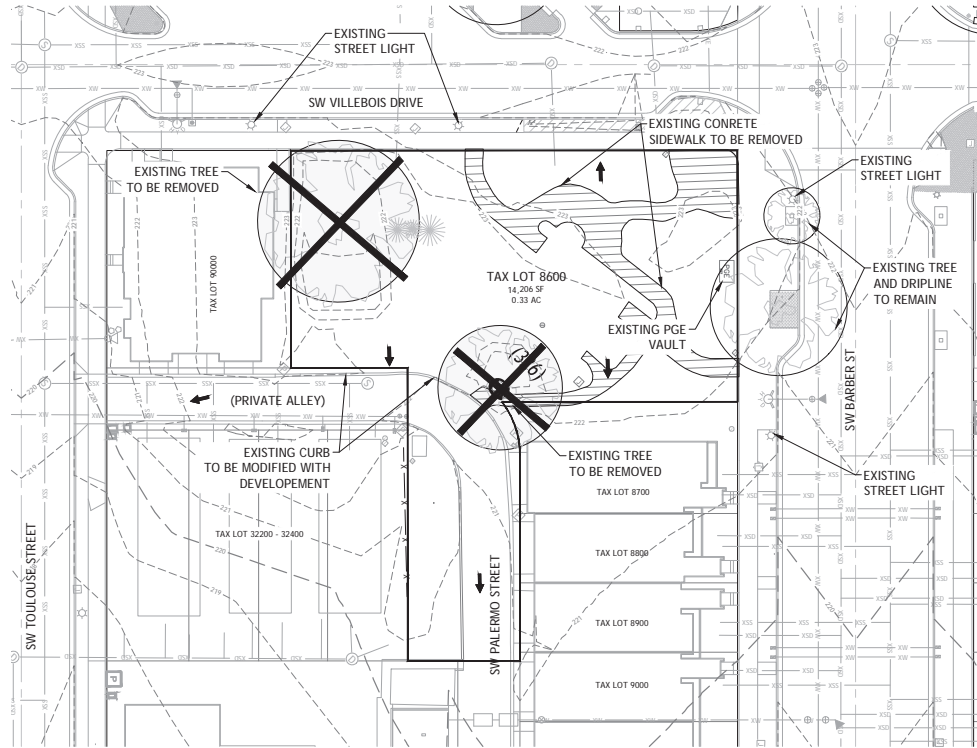
2nd Submittal Date: 05/14/2021

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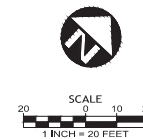
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ELEVATION DATUM: NAVD 88



LEGEND	
---	EASEMENT LINES
---	EXISTING RIGHT-OF-WAY
---	EXISTING CENTERLINE
---	EXISTING PROPERTY LINE
---	EXISTING BOUNDARY LINE
---	EXISTING SIDEWALK
---	EX 1-FOOT CONTOURS
---	EX 5-FOOT CONTOURS
---	EX SANITARY SEWER
---	EX STORM DRAIN
---	EX WATER LINE
---	EX GAS LINE
---	EX BURIED POWER LINE
---	EX OVERHEAD POWER LINE
---	EX CABLE TV LINE
---	EX TELEPHONE LINE
---	EX SANITARY MANHOLE
---	EX SANITARY CLEANOUT
---	EX STORM MANHOLE
---	EX AREA DRAIN
---	EX CURB INLET
---	EX STORM CLEANOUT
---	EX FIRE HYDRANT
---	EX WATER METER
---	EX WATER VALVE
---	EX BLOW-OFF
---	EX AIR RELEASE VALVE
---	EX GAS VALVE
---	EX CABLE RISER
---	EX TELEPHONE RISER
---	EX LIGHT POLE
---	EXISTING FENCE
---	EXISTING ELECTRIC VAULT
---	EXISTING RETAINING WALL
---	EX TREES TO REMAIN
---	DRAINAGE SLOPE DIRECTION

TREE LEGEND:	
I	IMPORTANT
G	GOOD
M	MODERATE
P	POOR
NE	NOT EXAMINED
(Circle with dot)	EXISTING TREES TO REMAIN
(Circle with diagonal lines)	EXISTING TREES LIKELY TO BE REMOVED
(Circle with 'X')	EXISTING TREES TO BE REMOVED
(Square with 'X')	TREE PROTECTION FENCING



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ARCHITECTURE
P&D
PACIFIC COMMUNITY DESIGN
12544 SW Main Street Tigard, OR 97223
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GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE

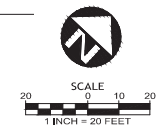
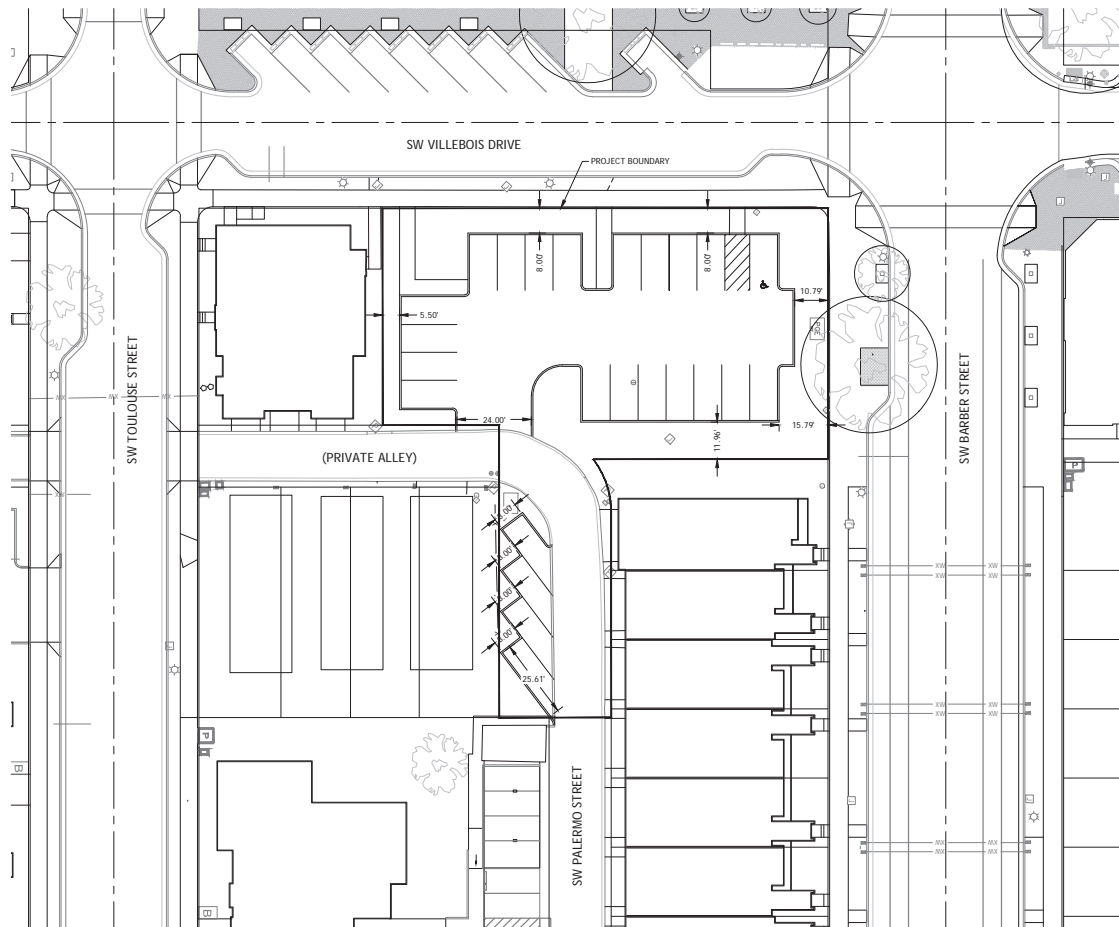
Preliminary
Development
Plan

EXISTING
CONDITIONS &
DEMOLITION
PLAN

2nd Submittal Date: 05/14/2011

2

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ELEVATION DATUM: NAVD 88

LEGEND

- PROPOSED RIGHT-OF-WAY
- - - EXISTING RIGHT-OF-WAY
- ==== PROPOSED CURB AND GUTTER
- PROPOSED CENTERLINE
- EXISTING CENTERLINE
- - - - - PROPOSED PUBLIC UTILITY EASEMENT
- - - - - PROPOSED BUILDING SETBACK
- - - - - PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- PDP BOUNDARY LINE
- PROPOSED HANDICAP RAMP
- ▨ PROPOSED A. C. PAVING
- ▨ PROPOSED SIDEWALK
- ▨ PROPOSED SIDEWALK BY OTHERS
- ▨ EXISTING SIDEWALK

LOT COUNT:

1	PARKING LOT
---	-------------

LAND AREA TABLE:

TOTAL AREA:	0.33 AC
SURFACE PARKING:	0.17 AC
ALLEY:	0.04 AC
LANDSCAPING:	0.12 AC



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REVISIONS

DATE	DESCRIPTION
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PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

SITE &
LAND USE
PLAN

2nd Submittal Date: 05/14/2021

3

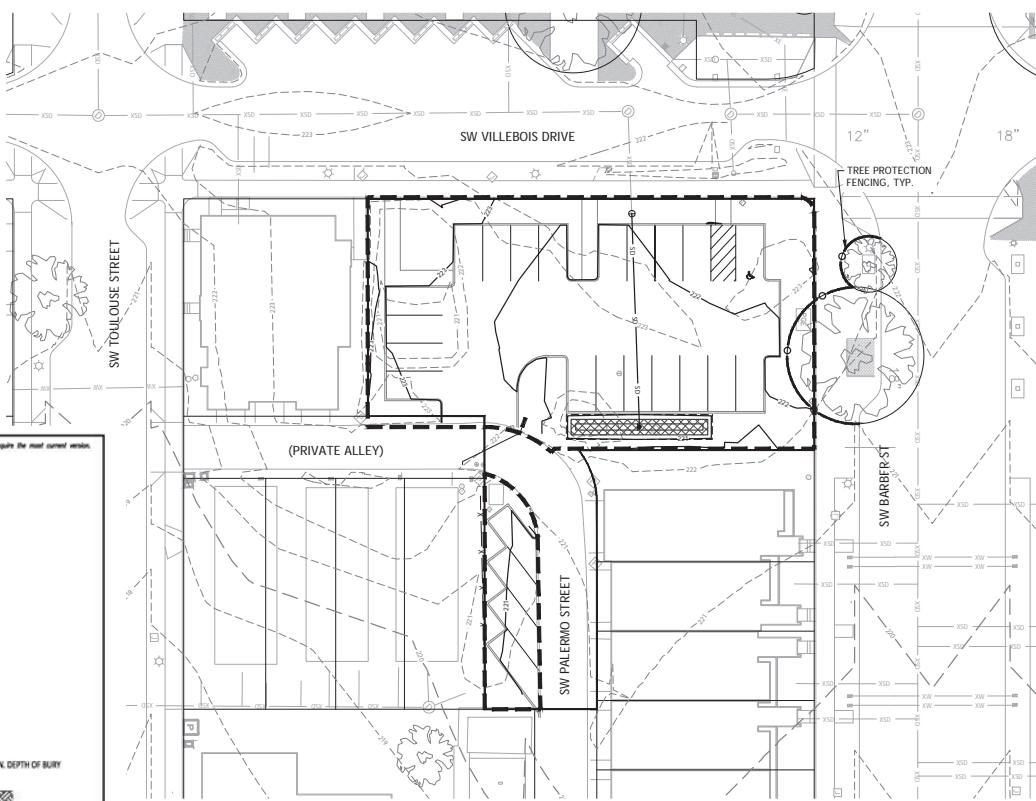
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This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.

NOTES:

- FENCE SHALL BE 6' IN HEIGHT AND SET AT TREE DRIP LINE.
- FENCE MATERIALS SHALL CONSIST OF 2" MESH CHAIN LINKS SECURED TO A MINIMUM 1 1/2" DIA. STEEL OR ALUMINUM LINE POSTS.
- POSTS SHALL BE SET TO A DEPTH OF NO LESS THAN 2 FEET IN NATIVE SOIL.
- FENCE SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE.

Tree Protection Fencing			CITY OF WILSONVILLE
DRAWING NUMBER: RD-1230	DRAWN BY: SR	SCALE: N.T.S.	
FILE NAME: RD-1230.DWG	APPROVED BY: NK	DATE: 4/7/24	PUBLIC WORKS STANDARDS

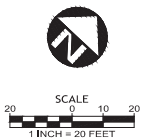


LEGEND:

- 324 --- EX 1-FT CONTOUR
- 320 --- EX 5-FT CONTOUR
- 324 --- FG 1-FT CONTOUR
- 320 --- FG 5-FT CONTOUR
- PROPOSED RETAINING WALL
- GRADING LIMITS
- EXISTING FENCE
- XX SEDIMENT FENCE
- WATTLES
- ☼ EX TREES TO REMAIN

TREE LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- NE NOT EXAMINED
- ☉ EXISTING TREES TO REMAIN
- ☉ EXISTING TREES LIKELY TO BE REMOVED
- ☉ EXISTING TREES TO BE REMOVED
- ☉ TREE PROTECTION FENCING



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MIXED-USE

Preliminary
Development
Plan

PRELIMINARY
GRADING
& EROSION
CONTROL
PLAN

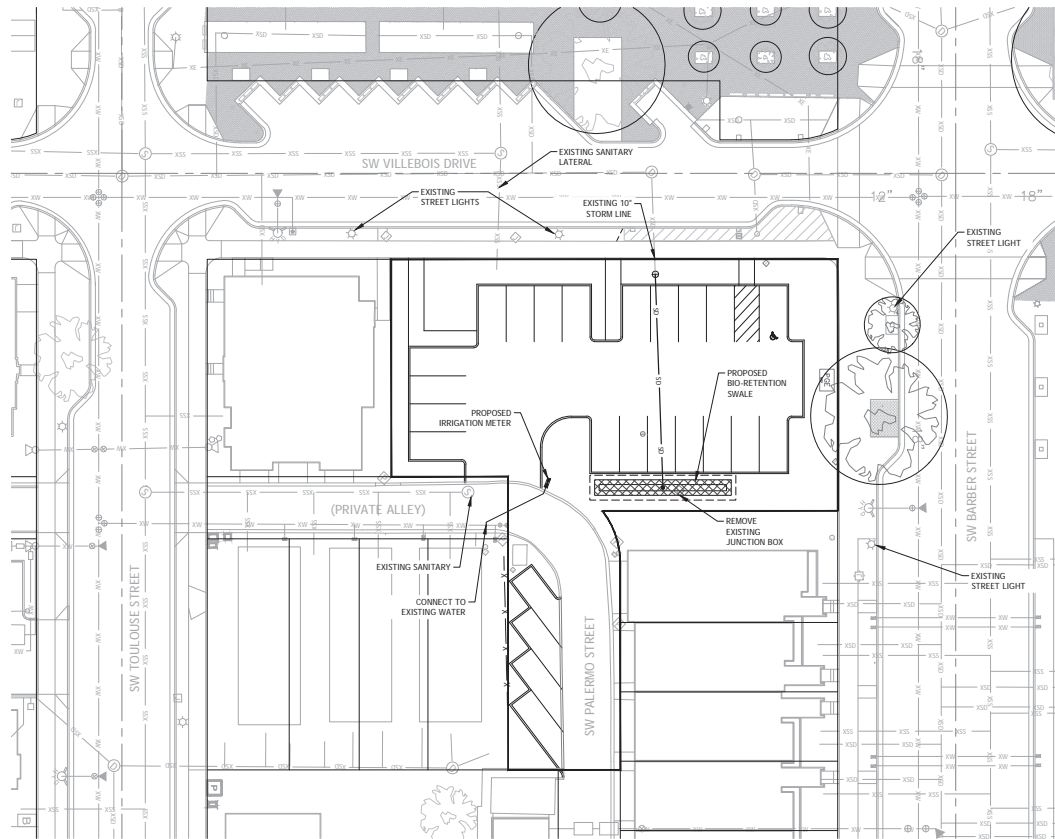
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ELEVATION DATUM: NAVD 88

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ELEVATION DATUM: NAVD 88



LEGEND	
---	EASEMENT LINES
SS	PROPOSED SANITARY SEWER
XSS	EX SANITARY SEWER
SD	PROPOSED STORM DRAIN
XSD	EX STORM DRAIN
W	PROPOSED WATER LINE
XW	EX WATER LINE
GS	EX GAS LINE
PE	EX BURIED POWER LINE
XPM	EX OVERHEAD POWER LINE
XCOM	EX CABLE TV LINE
XT	EX TELEPHONE LINE
●	PROPOSED SANITARY MANHOLE
○	EX SANITARY MANHOLE
○	PROPOSED SANITARY CLEANOUT
○	EX SANITARY CLEANOUT
○	PROPOSED STORM MANHOLE
○	EX STORM MANHOLE
■	PROPOSED CATCH BASIN
□	EX CATCH BASIN
○	PROPOSED STORM CLEANOUT
○	EX STORM CLEANOUT
○	PROPOSED FIRE HYDRANT
○	EX FIRE HYDRANT
○	PROPOSED WATER METER
○	EX WATER METER
●	PROPOSED WATER VALVE
●	EX WATER VALVE
■	PROPOSED BLOW-OFF
■	EX BLOW-OFF
■	PROPOSED AIR RELEASE VALVE
■	EX AIR RELEASE VALVE
■	PROPOSED THRUST BLOCK
■	EX THRUST BLOCK
□	EX GAS VALVE
□	EX CABLE RISER
□	EX TELEPHONE RISER



SCALE
 0 10 20
 1 INCH = 20 FEET



REVISIONS
 DATE DESCRIPTION

PDP 1C MOD
 VILLEBOIS VILLAGE
 MIXED-USE

Preliminary
 Development
 Plan

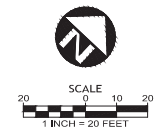
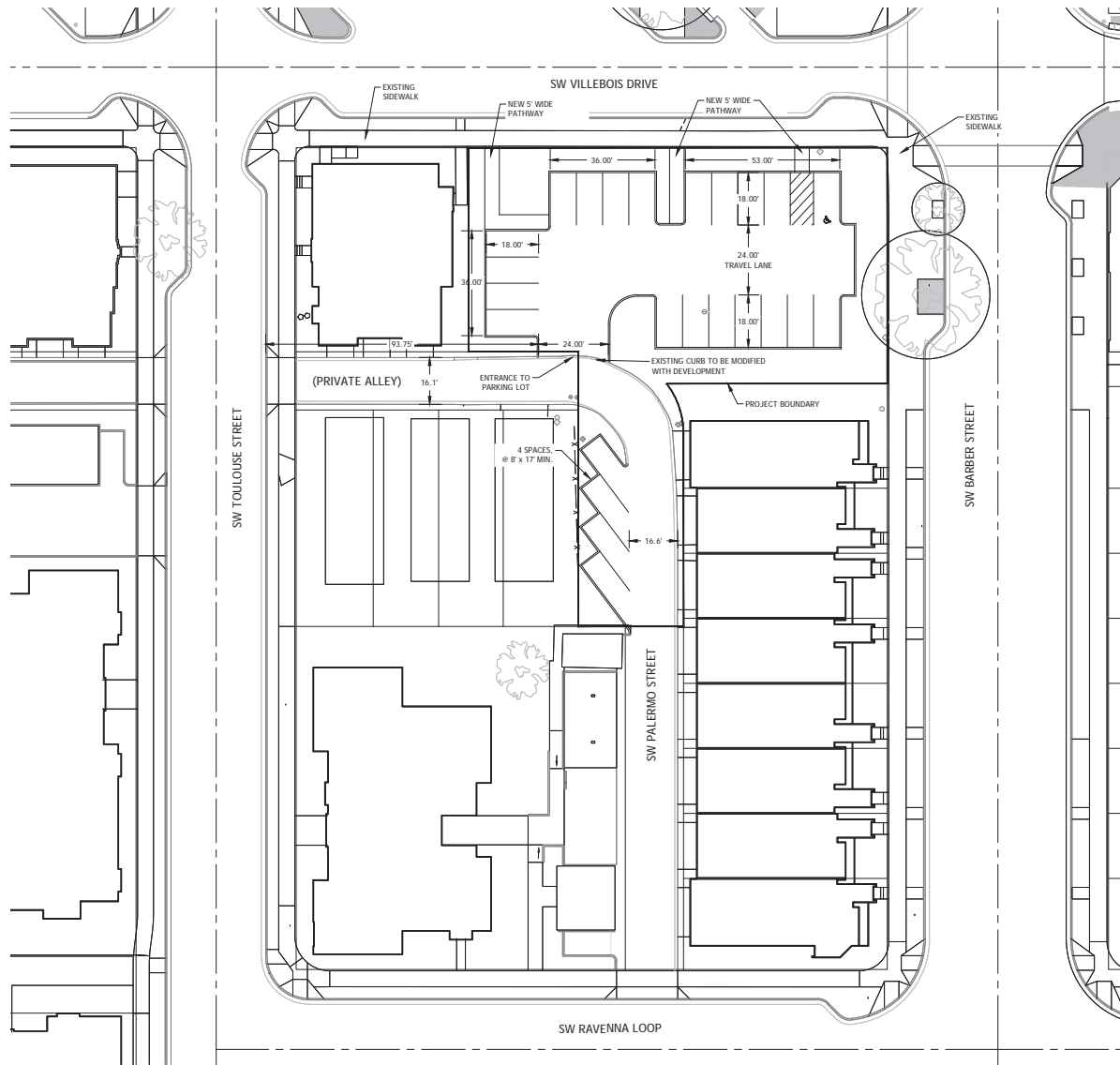
PRELIMINARY
 COMPOSITE
 UTILITY
 PLAN

2nd Submittal Date: 05/14/2021

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ELEVATION DATUM: NAVD 88



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GEODESIGN, INC

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PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
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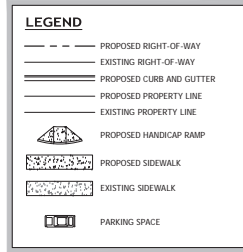
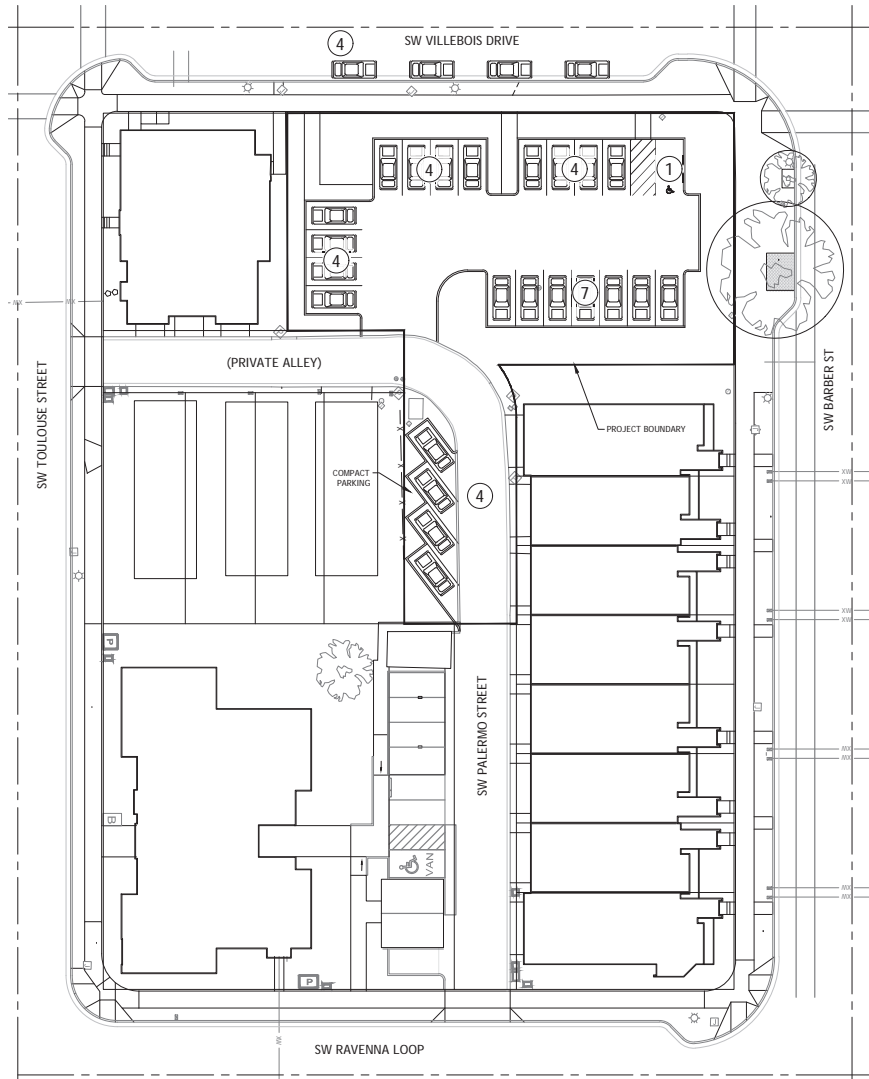
PRELIMINARY
CIRCULATION
PLAN

2nd Submittal Date: 05/14/2021

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ELEVATION DATUM: NAVD 88



Vehicle Parking Provided:

Off-Street Standard Spaces	=	19 spaces
Off-Street Compact Spaces	=	4 spaces
Off-Street ADA Spaces	=	1 space
On-Street - SW Villebois Drive North	=	4 spaces
Vehicle Parking Provided	=	28 spaces

Villebois

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REVISIONS
DATE DESCRIPTION

PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE

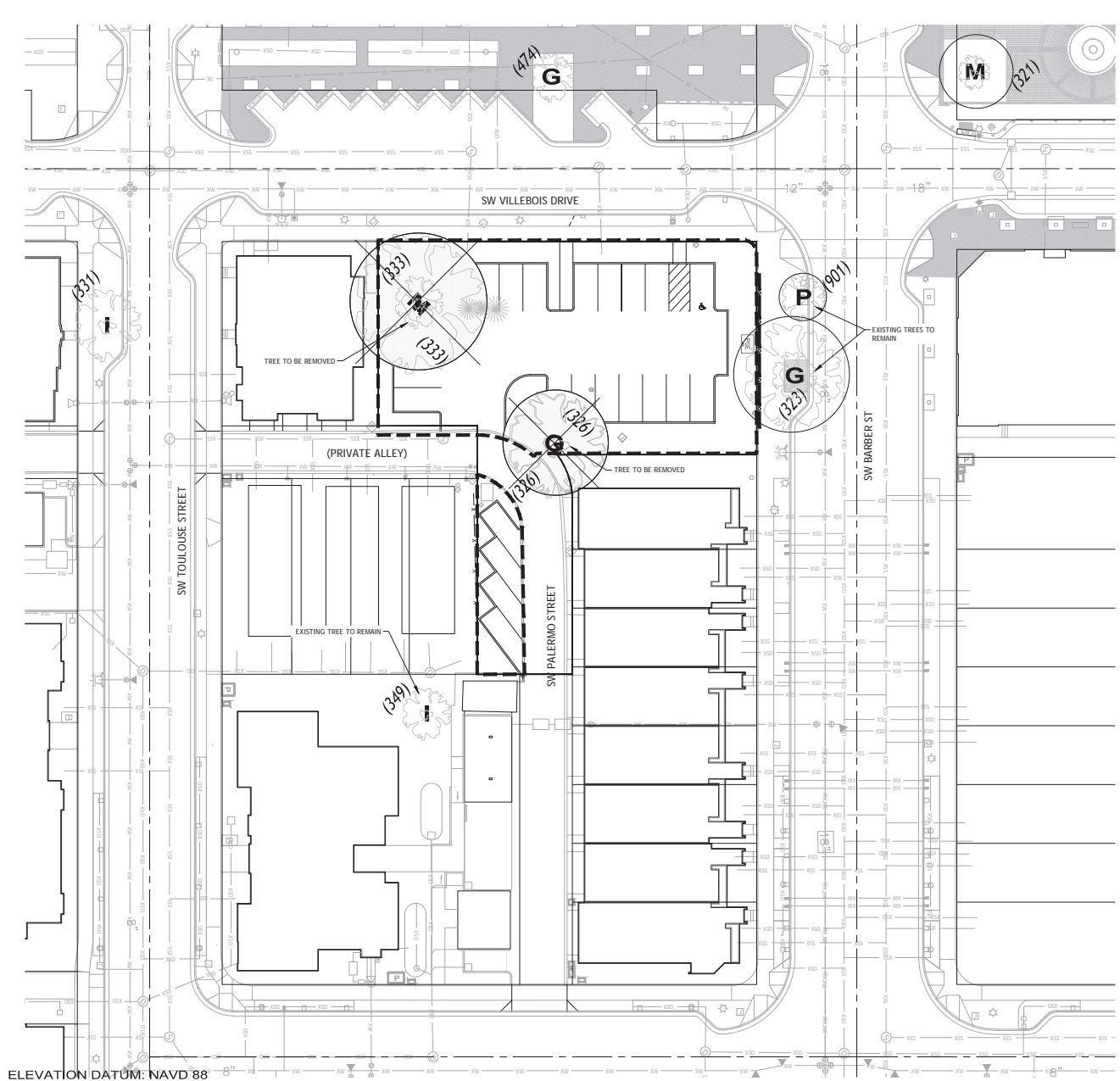
Preliminary
Development
Plan

PRELIMINARY
PARKING
PLAN

2nd Submittal Date: 05/14/2021

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N:\proj\316\06\07 Drawings\03 Planning\Sheets - Planning\Submission\03 1C\316003_03\03PDP1C TREE PROTECTION.dwg SHEET 3 May 12 21:10:14 PM jmn



ELEVATION DATUM: NAVD 88

LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- E NOT EXAMINED
- (Symbol: Circle with dot) EXISTING TREES TO REMAIN
- (Symbol: Circle with X) EXISTING TREES TO BE REMOVED
- (Symbol: Dashed line) TREE PROTECTION FENCING
- (Symbol: Dotted line) GRADING LIMITS

- TREE PROTECTION NOTES**
- PRECONSTRUCTION CONFERENCE.** THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST IN A TIMELY MANNER TO REVIEW TREE PROTECTION MEASURES AND ADDRESS QUESTIONS ON-SITE PRIOR TO THE START OF CONSTRUCTION ACTIVITY.
 - TREE PROTECTION ZONE.** WITHOUT AUTHORIZATION FROM THE PROJECT ARBORIST, NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE TREE PROTECTION ZONE:
 - GRADE CHANGE OR CUT AND FILL;
 - NEW IMPERVIOUS SURFACES;
 - UTILITY OR DRAINAGE FIELD PLACEMENT;
 - STAGING OR STORAGE OF MATERIALS AND EQUIPMENT; OR
 - VEHICLE MANEUVERING.
 TREE PROTECTION ZONES MAY BE ENTERED FOR TASKS LIKE SURVEYING, MEASURING, AND SAMPLING. FENCES MUST BE CLOSED UPON COMPLETION OF THESE TASKS.
 - PRUNING.** PRUNING MAY BE NEEDED TO REMOVE STORM DAMAGED BRANCHES FOR WORKER SAFETY PRIOR TO CONSTRUCTION. HOWEVER, IT IS LIKELY THAT THIS WORK MAY BE PERFORMED BY THE HOMEOWNER'S ASSOCIATION PRIOR TO CONSTRUCTION. TREE REMOVAL AND PRUNING SHALL BE PERFORMED BY A QUALIFIED TREE SERVICE.
 - EXCAVATION.** ROOTS ARE LIKELY TO BE ENCOUNTERED WHERE MINIMAL EXCAVATION IS REQUIRED FOR THE PARKING LOT ON THE EASE SIDE OF THE LOT. IF TREE ROOTS ARE ENCOUNTERED, ROOTS SMALLER THAN 2-INCHES IN DIAMETER SHALL BE PRUNED CLEAN TO SOUND WOOD USING A SHARP SAW AT THE LIMITS OF EXCAVATION AS DIGGING PROGRESSES TO AVOID PULLING AND TEARING ROOTS. EXCAVATION IMMEDIATELY ADJACENT TO ROOTS 2-INCHES IN DIAMETER AND LARGER SHALL BE BY HAND OR OTHER NON-INVASIVE TECHNIQUES TO ENSURE THAT ROOTS ARE NOT DAMAGED. WHERE FEASIBLE, MAJOR ROOTS SHALL BE PROTECTED BY TUNNELING OR OTHER MEANS TO AVOID DESTRUCTION OR DAMAGE. COORDINATE WITH THE PROJECT ARBORIST PRIOR TO PRUNING ROOTS 2-INCHES IN DIAMETER AND LARGER TO ASSESS AND DOCUMENT POTENTIAL ROOT IMPACTS AND PROVIDE ON-THE-GROUND TREE PROTECTION RECOMMENDATIONS TO THE CONTRACTOR.
 - PERMANENT FENCE CONSTRUCTION.** TREE PROTECTION FENCING MAY BE REMOVED AS THE NEW PERMANENT VINE SUPPORT FENCE IS INSTALLED. POST HOLES SHALL BE DUG BY HAND AND WITH HAND TOOLS BENEATH THE DRUMLINE OF PROTECTED TREE 323. ADJUST POST HOLES TO AVOID IMPACTS IF TREE ROOTS 2-INCHES IN DIAMETER AND LARGER ARE ENCOUNTERED. DO NOT STOCKPILE FENCING MATERIALS OR EQUIPMENT IN THE TREE WELL OR AGAINST THE TREE TRUNK.

GENERAL NOTES

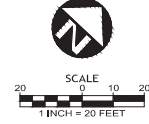
ALL CONSTRUCTION AND GRADING WITHIN TREE PROTECTION ZONE IS TO BE COMPLETED UNDER DIRECT SUPERVISION OF PROJECT ARBORIST.
 CONTACT: MORGAN HOLEN
 PHONE: 503-648-4349

THE INTENT OF THE PLAN IS TO RETAIN AND INCORPORATE THE MAXIMUM QUANTITY OF TREES WITH IMPORTANT, GOOD, AND MODERATE CLASSIFICATIONS. THE FOLLOWING CLASSIFICATION SYSTEM WAS USED:

- CLASSIFICATION METHOD:**
- TREES WERE RATED BASED ON THE FOLLOWING CONSIDERATIONS:
- HEALTH
 - SPECIES (NATIVES WITH HABITAT AND ECOSYSTEM VALUE)
 - COMPATIBILITY WITH DEVELOPMENT
 - FORM / VISUAL INTEREST / MATURE SIZE
- TREES RANKED AS IMPORTANT WERE RATED HIGH IN ALL FOUR AREAS.
- TREES IN THE GOOD CATEGORY HAD GOOD HEALTH AND WERE A DESIRABLE SPECIES, BUT HAD IRREGULAR FORM OR LESS COMPATIBILITY WITH DEVELOPMENT.
- TREES IN THE MODERATE CATEGORY HAD GOOD TO MODERATE HEALTH AND FORM, BUT WERE A LESS DESIRABLE SPECIES OR MAY BE LESS COMPATIBLE WITH DEVELOPMENT.
- TREES IN THE POOR CATEGORY HAD POOR HEALTH AND/OR SUBSTANTIAL DAMAGE.

NOTES:

- THE INFORMATION PROVIDED WITHIN THE PROJECT BOUNDARY IS BASED ON AN ON-SITE EVALUATION OF THE EXISTING TREES BY ARBORIST MORGAN HOLEN AND WAS PROVIDED IN A TREE REPORT INCLUDED WITH THE APPLICATION MATERIALS.



Villebois

C2K ARCHITECTURE

P&D PACIFIC COMMUNITY DESIGN
 12544 SW Main Street Tigard, OR 97223
 (T) 503-941-9484
 GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 1C MOD VILLEBOIS VILLAGE MIXED-USE

Preliminary Development Plan

PRELIMINARY TREE PRESERVATION PLAN

2nd Submittal Date: 05/14/2021

8

PHASE 1 CENTRAL MODIFICATION VILLEBOIS MIXED USE FINAL DEVELOPMENT PLAN

TL 8600, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

COSTA PACIFIC
14350 SE INDUSTRIAL WAY
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[P] 503-314-8014
CONTACT: RUDY KADLUB

PLANNER:

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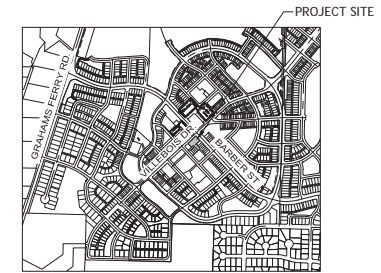
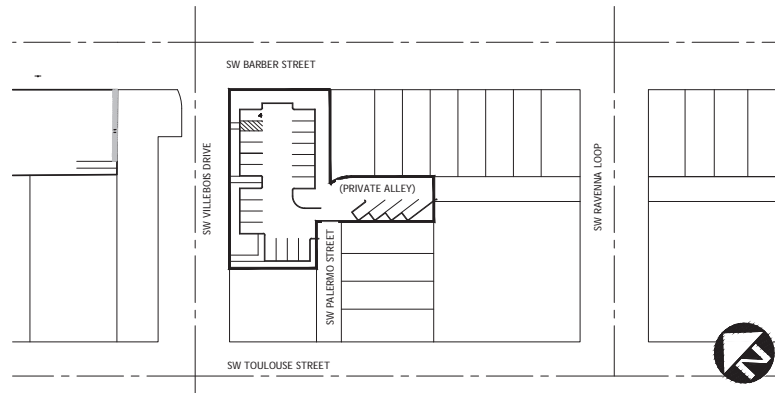
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LANDSCAPE ARCHITECT:

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CONTACT:



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	REPUBLIC SERVICES
CABLE:	COMCAST

BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

- 1 COVER SHEET
- 2 SITE PLAN
- 3 PRELIMINARY PARKING PLAN
- L1 PLANTING PLAN

ELEVATION DATUM: NAVD 88



REVISIONS	
DATE	DESCRIPTION

PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE

Final
Development
Plan

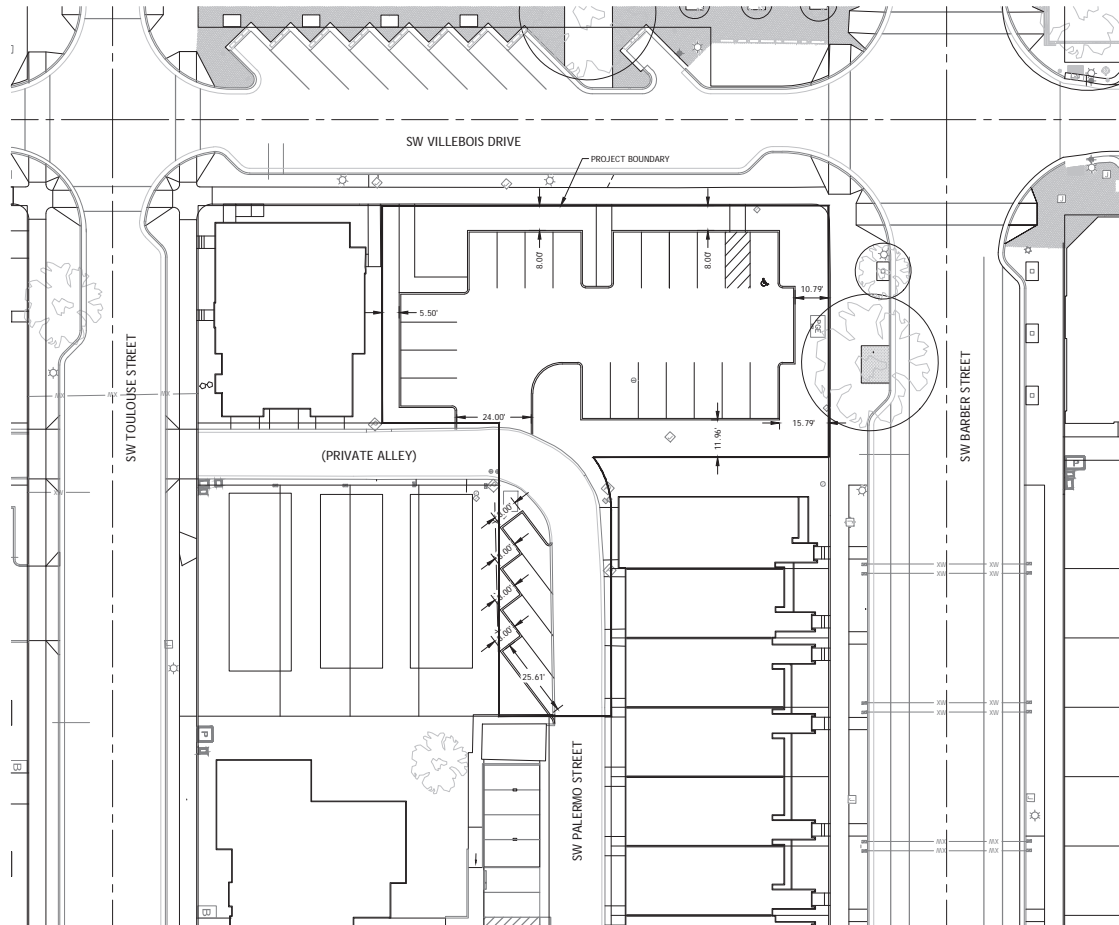
COVER
SHEET

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1

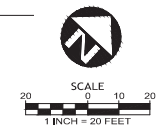
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ELEVATION DATUM: NAVD 88



LAND AREA TABLE:

TOTAL AREA:	0.33 AC
LOT COVERAGE:	0.21 AC (63.6%)
LANDSCAPING AREA:	0.12 AC (36.4%)



REVISIONS	
DATE	DESCRIPTION

PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE

Final
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Plan

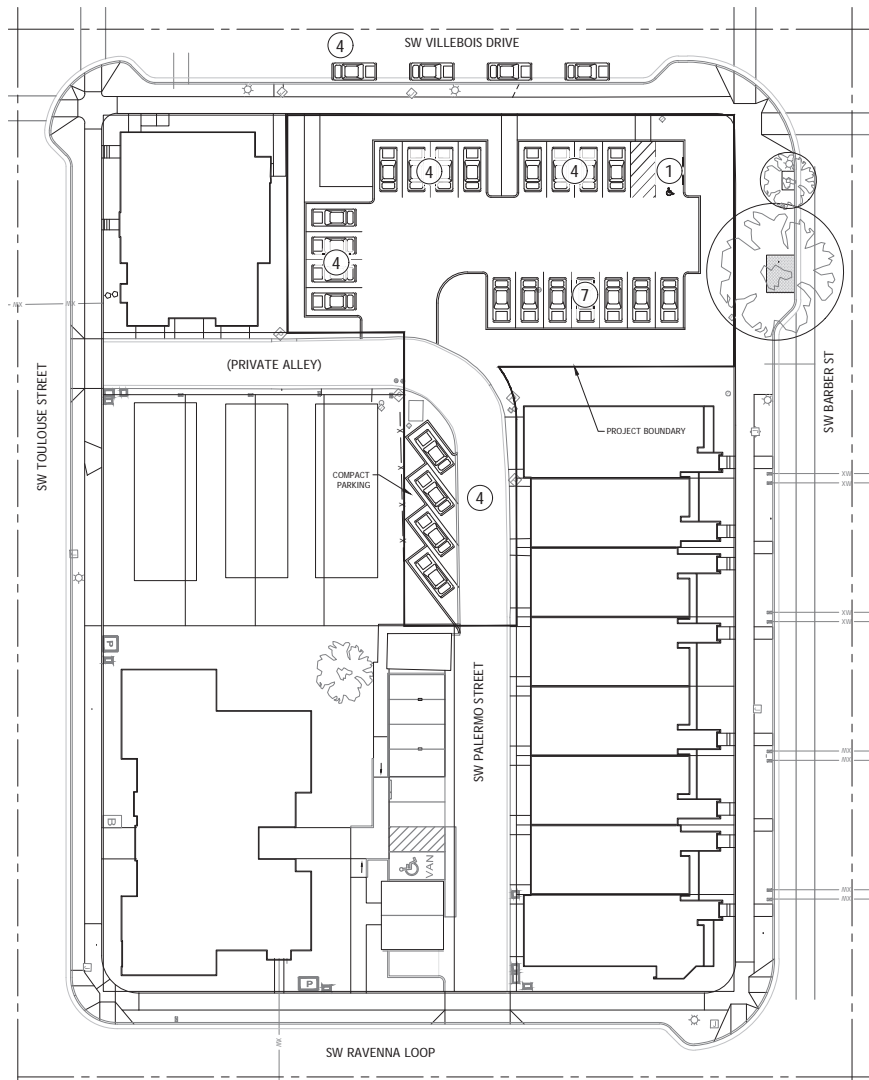
SITE PLAN

2nd Submittal Date: 05/14/2021

2

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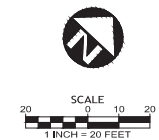


LEGEND

- PROPOSED RIGHT-OF-WAY
- - - EXISTING RIGHT-OF-WAY
- ==== PROPOSED CURB AND GUTTER
- ==== PROPOSED PROPERTY LINE
- ==== EXISTING PROPERTY LINE
- ▒ PROPOSED HANDICAP RAMP
- ▒ PROPOSED SIDEWALK
- ▒ EXISTING SIDEWALK
- ▒ PARKING SPACE

Vehicle Parking Provided:

Off-Street Standard Spaces	=	19 spaces
Off-Street Compact Spaces	=	4 spaces
Off-Street ADA Spaces	=	1 space
On-Street - SW Villedois Drive North	=	4 spaces
Vehicle Parking Provided	=	28 spaces



C2K
ARCHITECTURE

PCD
PACIFIC COMMUNITY DESIGN
12544 SW Main Street Tigard, OR
97223
(T) 503-941-9484
GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE

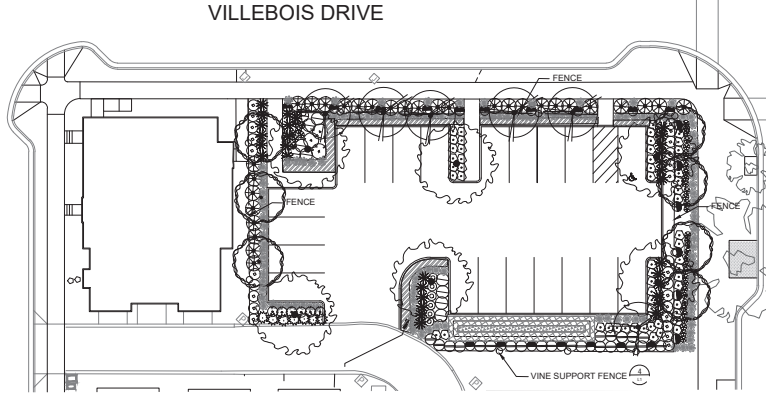
Final
Development
Plan

PRELIMINARY
PARKING
PLAN

2nd Submittal Date: 05/14/2021

3

VILLEBOIS DRIVE

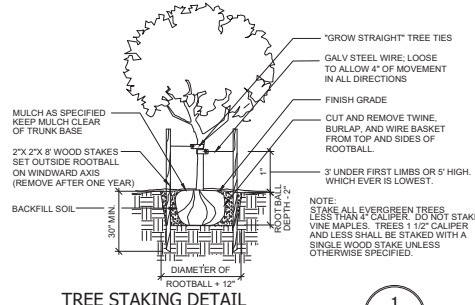


1 PDP 1C SITE LOT 12 / PLANTING PLAN

GENERAL NOTES: LANDSCAPE PLAN

- THE CONTRACTOR SHALL VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO ODR.
- ALL PLANT MASSSES TO BE CONTAINED WITHIN A BARK MULCH BED, UNLESS NOTED OTHERWISE.
- BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE. FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE-OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBERS LABELED ON THE PLANT TAG AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GRAPHIC SYMBOL QUANTITY SHALL GOVERN.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- WITH THE EXCEPTION OF THOSE TREES INDICATED ON THE TREE REMOVAL PLAN, CONTRACTOR SHALL NOT REMOVE ANY TREES DURING CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ODR. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AS DIRECTED BY THE ODR.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY ODR TO ADJUST TREE LOCATIONS.
- LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN NOTIFICATION TO THE ODR. MAINTAIN TREES, SHRUBS, LAWNS AND OTHER PLANTS UNTIL FINAL ACCEPTANCE OR 90 DAYS AFTER NOTIFICATION AND ACCEPTANCE, WHICHEVER IS LONGER.
- REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER PER THE RECOMMENDATIONS OF THE SOIL ANALYSIS FROM THE SITE.
- BACK-FILL MATERIAL FOR TREE AND SHRUB PLANTING SHALL CONTAIN ONE PART FINE GRADE COMPOST TO ONE PART TOPSOIL BY VOLUME. BONE MEAL PER MANUFACTURER'S RECOMMENDATION, AND SLOW RELEASE FERTILIZER PER MANUFACTURER'S RECOMMENDATION.
- GROUND COVERS AND PERENNIALS SHALL BE PLANTED WITH A MAXIMUM 2 INCH COVER OF BARK MULCH WITH NO FOLIAGE COVERED.
- CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS MAY BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THE DRAWINGS.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN WITH HEALTHY ROOT SYSTEMS AND FULL BRANCHING, DISEASE AND INSECT FREE AND WITHOUT DEFECTS SUCH AS SUN SCALD, ABRASIONS, INJURIES AND DISFIGUREMENT.
- ALL PLANT MATERIAL SHALL BE INSTALLED AT THE SIZE AND QUANTITY SPECIFIED. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SUB-STANDARD RESULTS CAUSED BY REDUCTION IN SIZE AND/OR QUANTITY OF PLANT MATERIALS.
- LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY CONTRACTOR. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER.

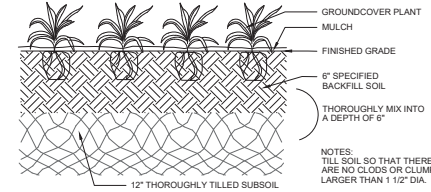
ELEVATION DATUM: NAVD 88



TREE STAKING DETAIL

SCALE: N.T.S.

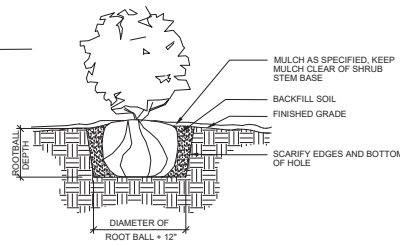
1
L1



GROUND COVER PLANTING DETAIL

SCALE: N.T.S.

2
L1



SHRUB PLANTING DETAIL

SCALE: N.T.S.

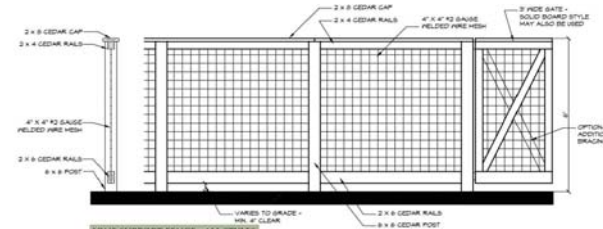
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PLANTING LEGEND

TREES	
SYMBOL	COMMON NAME / BOTANICAL NAME, SIZE AND DESCRIPTION
	GREENSPIRE LINDEN / TILIA CORDATA 'GREENSPIRE': 2" CAL., B&B
	CHINESE KOUSA DOGWOOD / CORNUS KOUSA CHINESE: 2" CAL.
	CHINESE REDBUD / CERCIS CHINENSIS: 2" CAL., B&B
SHRUBS	
SYMBOL	COMMON NAME / BOTANICAL NAME, SIZE AND DESCRIPTION
	HYDRANGEA MACROPHYLLA 'RED SENSATION' P.P. #18, 197: 2 GAL.
	RHOODODENDRON 'PJM': 2 GAL.
	DAVID VIBURNUM / VIBURNUM DAVIDI: 2 GAL.
	KELSEY REDOSIER DOGWOOD / CORNUS V. SERICEA 'KELSEY': 2 GAL.
	RHOODODENDRON 'JEAN MARIE DE MONTGUE': 3 GAL.
	ANTHONY WATERER SPIREA / SPIREA BUMALDA 'ANTHONY WATERER': 2 GAL.
	FOREST FLAME PIERS / PIERS JAPONICA 'FOREST FLAME': 2 GAL.
	STAR JASMINE / TRACHELOSPERMUM JASMINOIDES: 2 GAL.
ORNAMENTAL GRASS AND GROUND COVER	
SYMBOL	COMMON NAME / BOTANICAL NAME, SIZE AND DESCRIPTION
	DWARF FOUNTAIN GRASS PENNISSETUM ALOPECUROIDES 'HAEMELN': 2 GAL.
	FOERSTER FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER': 2 GAL.
	DWARF 'VARIEGATED MAIDEN GRASS MISCANTHUS SINENSIS 'DIXIELAND': 2 GAL.
	BLUE CHIP JUNIPER JUNIPERUS HORIZONTALIS 'BLUE CHIP' 1 GAL., 30" O.C.

NOTE:

- LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY CONTRACTOR. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER.
- DO NOT PROVIDE IRRIGATION WITHIN THE EXISTING TREES TO REMAIN DRIP-LINE.



VINE SUPPORT FENCE DETAIL

SCALE: N.T.S.

4
L1

BIORETENTION CELL PLANTING LEGEND

QUANTITIES PER CITY OF WILSONVILLE STANDARDS CALCULATE PER 100 SF OF FACILITY AREA

- MOISTURE ZONE (S): 115 HERBACEOUS PLANTS
- MOISTURE ZONE (A): 3 LARGE SHRUBS/SMALL TREES, 4 SMALL SHRUBS, AND 115 GROUND COVER PLANTS
- MOISTURE ZONE (B): 1 TREE, 3 LARGE SHRUBS, 4 SMALL SHRUBS, AND 115 GROUND COVER PLANTS
- MOISTURE ZONE (C & D): 115 SEDUMS, AND HERBACEOUS PLANTS

ALL PLANTING PLANS MUST HAVE A MINIMUM OF 50% EVERGREEN PLANTS AND AT LEAST TWO SPECIES FROM THE HERBACEOUS AND SMALL SHRUBS/GROUND COVER PLANT COMMUNITIES.

MOISTURE ZONE (A)

SYMBOL	COMMON NAME / Botanical name	Size and Description
	WEEPING ALASKAN CEDAR / Chamaecyparis nootkatensis 'Pendula': 7-8" H., B&B	
	PACIFIC DOGWOOD / Cornus nuttallii: 2" Cal., B&B	
	NOOTKA ROSE / Rosa nutkana: #1 CONTAINER	
	RED TWIG DOGWOOD / Cornus sericea: #1 CONTAINER	
	KELSEY DOGWOOD / Cornus sericea 'Kelsey': #1 CONTAINER	
	SNOWBERRY / Symphoricarpos alba: #1 CONTAINER	

MOISTURE ZONE (S): (4\"/>

	SLOUGH SEDGE / Carex oshropta	34%
	SOFT RUSH / Juncus tenuis	33%
	SMALL FRUITED BULRUSH / Scirpus microcarpus	33%

WATER USAGE

- HIGH WATER USAGE AREAS: 0 SF
- MODERATE WATER USAGE AREAS: SHRUBS/TREES 3,580 SF
- LOW WATER USAGE AREAS: BIORETENTION CELLS 387 SF



Villebois

C2K
ARCHITECTURE

P&D
PACIFIC COMMUNITY DESIGN

1254 SW Main Street Tigard, OR 97223

(T) 503-941-9484

GEODESIGN, INC

REVISIONS

DATE DESCRIPTION

PDP 1C MOD
VILLEBOIS VILLAGE
LOT 12

Final
Development
Plan

PLANTING
PLAN

2nd Submittal Date: 05/14/2021

L1