



YBA
architects

ADDRESS AT OCCUPANCY:

WILSONVILLE TOD

CONSTRUCTION PHASE DESIGNATION:

LAND USE SUBMISSION

08/18/23

GENERAL NOTES

- 1. APPLICABLE CODES: ALL WORK SHALL BE IN CONFORMANCE WITH ALL FEDERAL, STATE AND LOCAL CODES. SPECIFICATIONS AND STANDARDS SHALL MEAN, AND ARE INTENDED TO BE, THE LATEST EDITION, AMENDMENT OR REVISION OF SUCH REFERENCED STANDARDS...

WILSONVILLE TOD
CONSTRUCTION PHASE DESIGNATION:

ADDRESS AT OCCUPANCY:

50% CONSTRUCTION DOCUMENTS
12/8/23

PROJECT TEAM

OWNER
Palindrome Communities
412 NW 51st Ave, Suite 200, Portland, OR 97209
CONTACT: Robert Gibson
503-288-6210 Ext. 325
rgibson@pacificap.com

CONTRACTOR
PacifiCap Construction
615 S Farmer Ave, Suite 1003, Tempe, AZ 85281
CONTACT: Jason Ellis
503-747-6638
jellis@pacificap.com

ARCHITECT
YBA Architects
2514 N Vancouver Ave, Ste. 310, Portland, OR 97227
CONTACT: Tim Schneider
701.400.0017
tim@yb-a.com

CIVIL
Emerio Design
6445 SW Fallbrook Pl Suite 100, Beaverton, OR, 97008
CONTACT: Steve Hansen
503-747-6638
steveh@emeriodesign.com

LANDSCAPE
Shapiro DiWay
1204 SE Wicker Ave, Suite 21, Portland, OR 97214
CONTACT: Brenda Fairbanks
503.232.9520
brenda@shaproidway.com

STRUCTURAL
Valar Consulting Engineering
12042 SE Sunnyside Rd, Suite 357, Clackamas, OR 97015
CONTACT: Bassam Bazzi
503-250-4581
bassam.bazzi@valarengineering.com

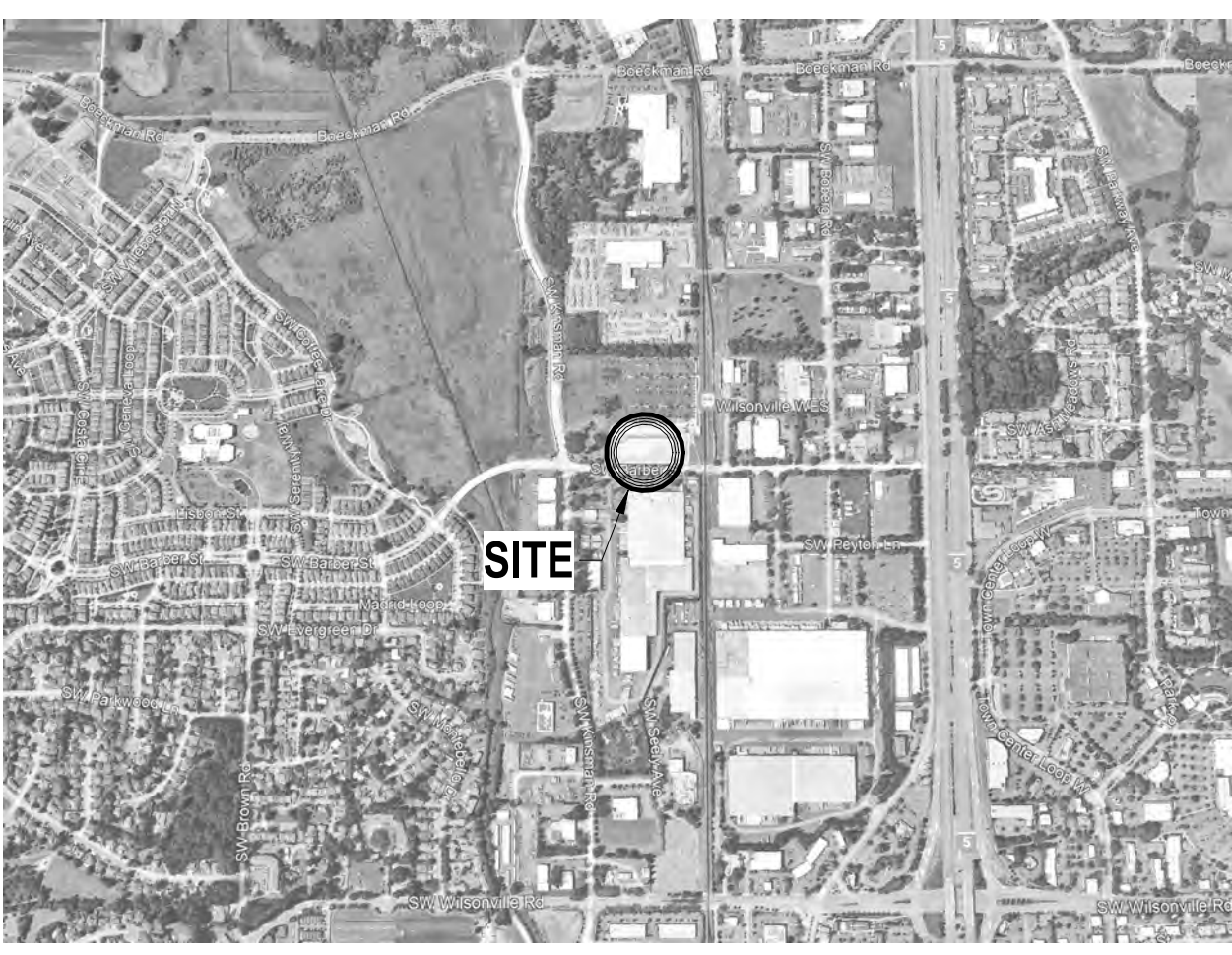
MECHANICAL
Ocean Park Mechanical
7235 SW Bonita Rd, Tigard, OR 97224
CONTACT: Andrew Pavao
510-850-4548
andrew@oceampm.com

ELECTRICAL
Mill Plain Electric
6000 NE 88th St, Vancouver, WA 98665
CONTACT: Mark Divine
360-953-3660
markd@mp-electric.com

PLUMBING
Tapani Plumbing
2103 SE 12th Ave, Battle Ground, WA 98604
CONTACT: Dean Lee
360-953-9869
deanl@tapaniplumbing.com

FIRE SUPPRESSION
Cosco Fire
2501 SE Columbia Way, Suite 100, Vancouver, WA 98661
CONTACT: Gerry Linnell
360-816-8408
glinnell@coscofire.com

AREA MAP



GENERAL FINISH NOTES

- 1. DIMENSIONS SHOWN AS '1/8\"/>

GENERAL BUILDING CODE NOTES

- 1. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING IS OCCUPIED. EGRESS LIGHTING SHALL BE PROVIDED SO THAT IT ILLUMINATES THE EGRESS PATH TO 1 FT CANDLE MEASURED AT THE FLOOR...

GENERAL FIRE SAFETY NOTES

- 1. SEPARATE PERMITS SHALL BE OBTAINED FROM THE CITY OF GRESHAM'S PERMIT CENTER FOR ALTERATIONS TO THE FIRE ALARM AND FIRE SPRINKLER SYSTEM...

GENERAL FIRE SUPPRESSION SYSTEM NOTES

- 1. NFPA 13 SPRINKLER & STANDPIPE INSTALLATION AND DESIGN
UNLESS EXPLICITLY INDICATED IN THE DOCUMENTS, ALL SPRINKLER PIPING SHALL BE DESIGNED TO BE CONCEALED...

GENERAL ACOUSTICAL NOTES

- 1. ALL OUTLETS AND OTHER PENETRATIONS (MUDRINGS, ETC.) HAVE A HILTI CP 617 PUTTY PAD COVERING THE ENTIRE OUTLET...

GENERAL SUBMITTAL NOTES

- 1. ARCHITECT'S REVIEW IS FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AND THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS...

DRAWING LIST

Table with columns: SHEET #, SHEET TITLE. Includes rows for GENERAL (G1-G4), CIVIL (C1.00-C3.13), LANDSCAPE (L1-L5), and ARCHITECTURAL (A001-A900).

Table with columns: SHEET #, SHEET TITLE.

Table with columns: SHEET #, SHEET TITLE.

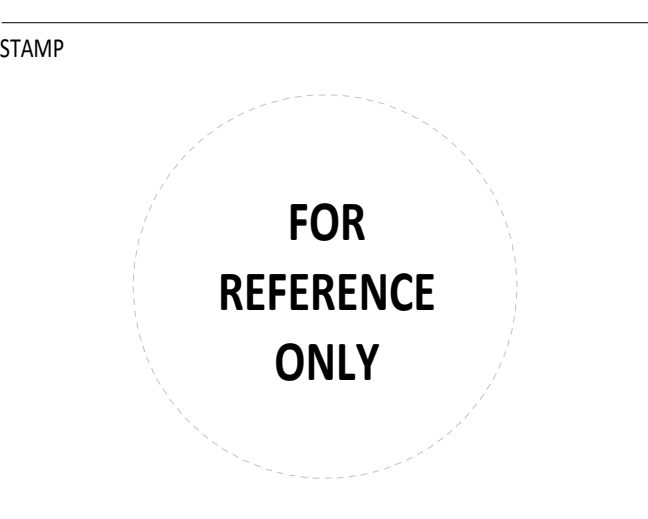


Table with columns: SHEET REVISION NO., REVISION EVENT, REVISION DATE.

WILSONVILLE TOD

PALINDROME COMMUNITIES

ISSUANCE
LAND USE REVIEW
220120

DATE
08/18/23

FULL SHEET SIZE
30 X 42

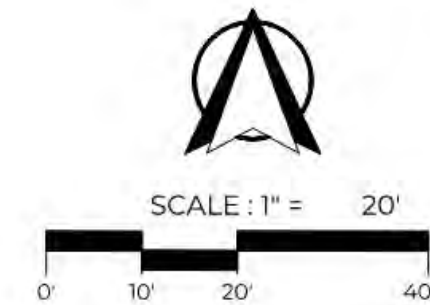
DRAWING TITLE
PROJECT INDEX - LAND USE

SHEET NUMBER

G2

TOPOGRAPHIC SURVEY

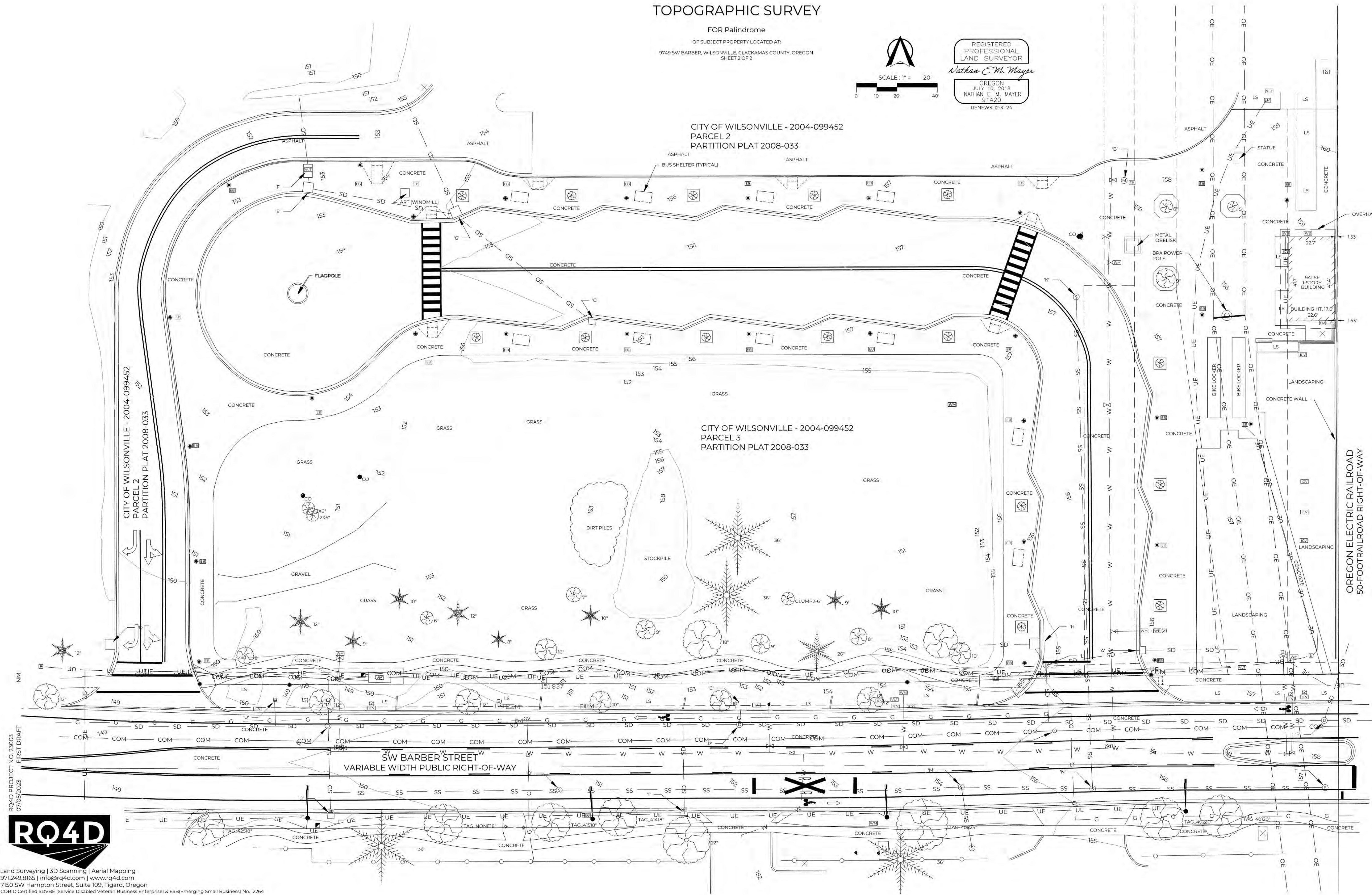
FOR Palindrome
OF SUBJECT PROPERTY LOCATED AT:
9749 SW BARBER, WILSONVILLE, CLATSOP COUNTY, OREGON.
SHEET 2 OF 2



REGISTERED PROFESSIONAL LAND SURVEYOR
Nathan E. Mayer
OREGON
JULY 19, 2018
NATHAN E. MAYER
91420
RENEWS: 12-31-24

CITY OF WILSONVILLE - 2004-099452
PARCEL 2
PARTITION PLAT 2008-033

CITY OF WILSONVILLE - 2004-099452
PARCEL 3
PARTITION PLAT 2008-033



STAMP

FOR REFERENCE ONLY

SHEET REVISION NO.	REVISION EVENT	REVISION DATE

15240 PROJECT NO. 22003
07/18/2023
FIRST DRAFT

RQ4D

Land Surveying | 3D Scanning | Aerial Mapping
971.249.8165 | info@rq4d.com | www.rq4d.com
7150 SW Hampton Street, Suite 109, Tigard, Oregon
COBID Certified SDVBE (Service Disabled Veteran Business Enterprise) & ESBE (Emerging Small Business) No. 12264

TRUE NORTH

WILSONVILLE TOD

PALINDROME COMMUNITIES

ISSUANCE
LAND USE REVIEW
PROJECT NUMBER
220120
DATE
08/18/23
FULL SHEET SIZE
30 X 42
DRAWING TITLE
EXISTING CONDITIONS / SURVEY

SURVEYOR'S NARRATIVE

THE PURPOSE OF THIS SURVEY: TO PARTITION PARCEL 3, PARTITION PLAT 2008-033, CLACKAMAS COUNTY PLAT RECORDS, INTO TWO PARCELS.

BASIS OF BEARINGS: THE BASIS OF BEARINGS IS THE RECORD RELATIONSHIP BETWEEN FOUND MONUMENTS (503) AND (504), REFERENCE DOCUMENT [1], WHERE THE BEARING IS HELD TO BE S 89° 46' 47" W.

BOUNDARY PROCEDURE:

THE SURVEY OF SAID PARCEL 3 WAS RETRACED. ALL MONUMENTS WERE FOUND ALONG THE SOUTHERLY LINES, SOUTHERLY CURVE AND THE EASTERLY LINE. THE WESTERLY AND NORTHERLY LINES AND CURVES MONUMENTS WERE FOUND TO BE OBLITERATED BY CONSTRUCTION; HOWEVER, SAID LINES AND CURVES GENERALLY COINCIDE WITH EXISTING CONCRETE CURB. SAID FOUND MONUMENTS WERE FOUND TO BE IN HARMONY WITH THE RECORD GEOMETRY OF REFERENCE DOCUMENT [1]. THE BOUNDARY IS RESOLVED HOLDING SAID FOUND MONUMENTS AND RECORD GEOMETRY.

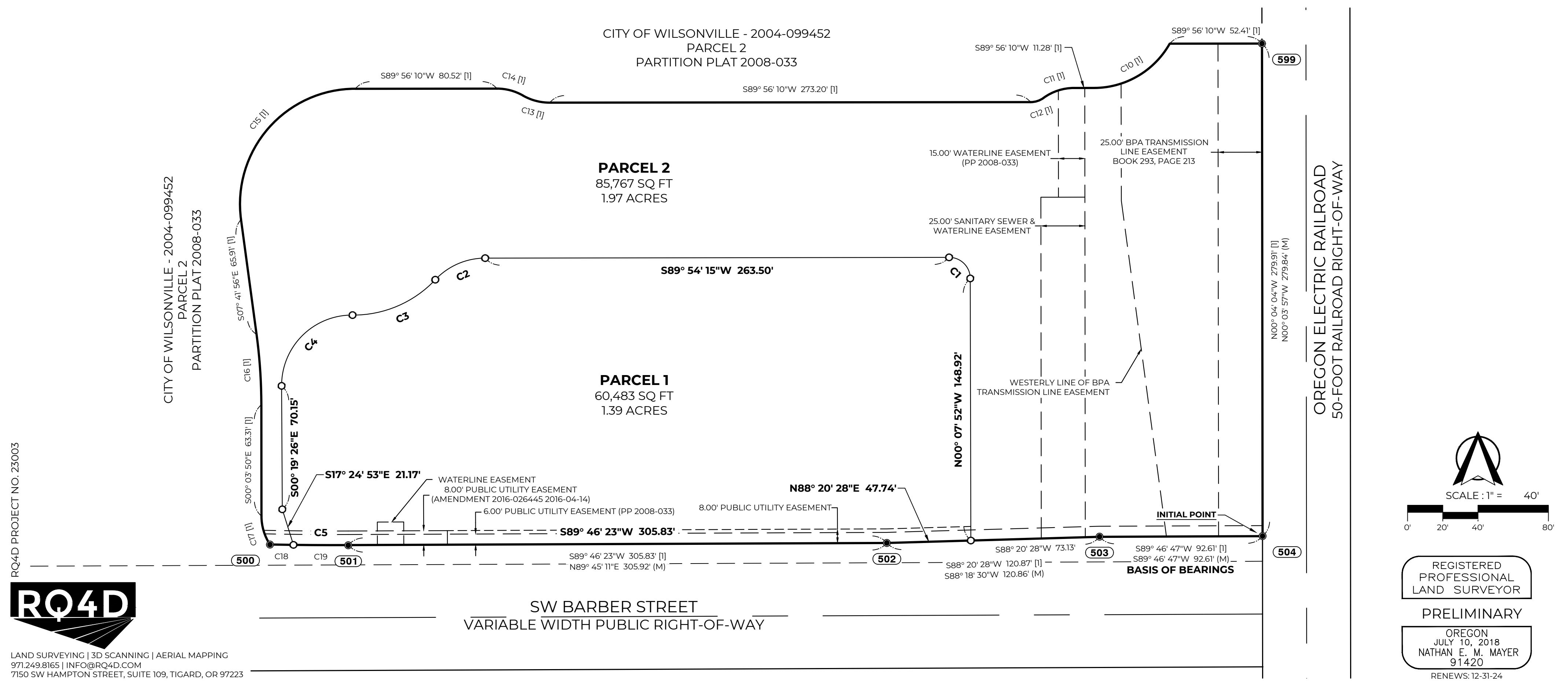
CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CHORD	CHORD BRG
C1	89° 57' 53"	12.00	18.84	16.97	N45° 06' 49" W
C2	46° 36' 04"	39.00	31.72	30.85	S66° 36' 13" W
C3	47° 05' 58"	64.00	52.61	51.14	S66° 51' 09" W
C4	90° 43' 34"	40.00	63.34	56.93	S45° 02' 21" W
C5	0° 54' 41"	1961.50	31.20	31.20	S89° 46' 16" E
C10 [1]	60° 30' 00"	49.50	52.27	49.87	S59° 41' 11" W
C11 [1]	35° 57' 02"	29.50	16.51	16.21	S71° 57' 39" W
C12 [1]	35° 57' 02"	12.50	7.84	7.72	S71° 57' 39" W
C13 [1]	29° 55' 35"	30.50	15.93	15.75	N75° 06' 02" W
C14 [1]	29° 55' 35"	29.50	15.41	15.23	N75° 06' 02" W
C15 [1]	97° 38' 07"	65.50	111.62	98.59	S41° 07' 07" W
C16 [1]	7° 38' 07"	300.50	40.04	40.02	S3° 52' 53" E
C17 [1]	33° 08' 48"	29.50	17.07	16.83	S16° 38' 14" E
C18	0° 23' 24"	1961.50	13.35	13.35	S89° 07' 14" E
C19	0° 54' 41"	1961.50	31.20	31.20	S89° 46' 16" E

FOUND MONUMENTS	
#	DESCRIPTION
500	1-1/16-INCH BRASS DISC STAMPED "S3760", FLUSH, GOOD CONDITION
501	5/8-INCH IR WYPC, UP 0.4, CAP SPLIT
502	5/8-INCH IR WYPC STAMPED "PLS53760", FLUSH, GOOD CONDITION
503	1-1/16-INCH BRASS DISC STAMPED "S3760", FLUSH, GOOD CONDITION
504	1-1/16-INCH BRASS DISC STAMPED "S3760", FLUSH, GOOD CONDITION
599	5/8-INCH IR WYPC STAMPED "DEHASS & ASSOC. INC", UP 0.3, GOOD CONDITION

PARTITION PLAT NO. _____
BEING A PORTION OF THE NW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON
CITY OF WILSONVILLE PLANNING FILE NO. XXXXXX
DECEMBER 11, 2023
SHEET 1 OF 2

- LEGEND:**
- FOUND MONUMENT AS NOTED
 - SET 5/8-INCH IR 30-INCH LONG WITH AN ORANGE PLASTIC CAP STAMPED "RQ4D 91420" UNLESS OTHERWISE NOTED ON xx xxxxxx xx
 - [#] DOCUMENT REFERENCE NUMBER
 - [###] MONUMENT REFERENCE NUMBER
 - (#) MONUMENT REFERENCE NUMBER
 - (M) MEASURED
 - IR IRON ROD
 - WYPC WITH YELLOW PLASTIC CAP

REFERENCE DOCUMENTS:
[1] PARTITION PLAT, PP2008-033, CLACKAMAS COUNTY, OREGON



TRUE NORTH PLAN NORTH

SCALE: 1" = 40'

REGISTERED PROFESSIONAL LAND SURVEYOR

PRELIMINARY

OREGON JULY 10, 2018 NATHAN E. MAYER 91420 RENEWS: 12-31-24

RQ4D

LAND SURVEYING | 3D SCANNING | AERIAL MAPPING
971.249.8163 | INFO@RQ4D.COM
7192 SW HAMPTON STREET, SUITE 109, TIGARD, OR 97223

STAMP

FOR REFERENCE ONLY

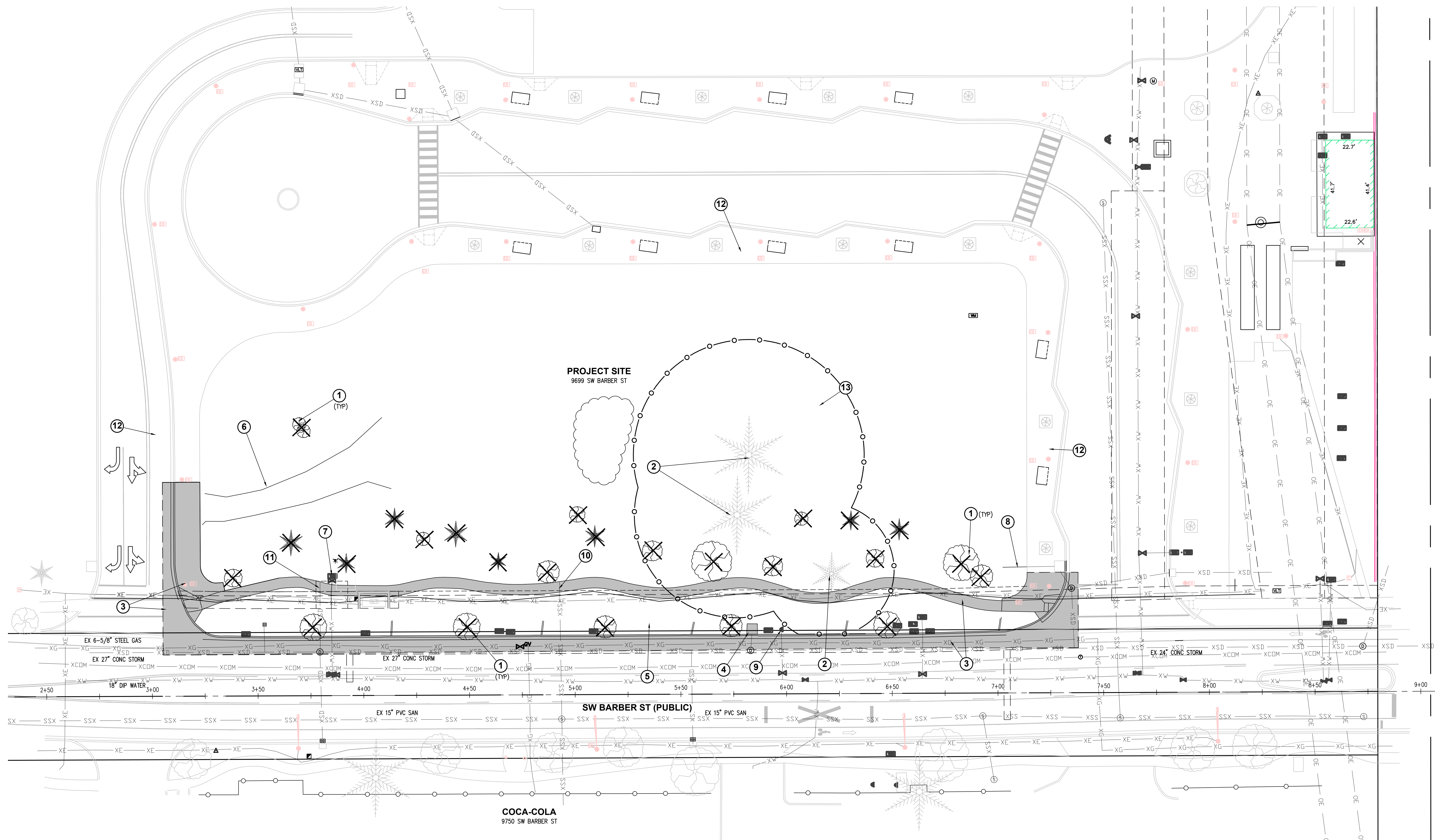
SHEET	REVISION	REVISION
NO.	NO.	DATE

WILSONVILLE TOD

PALINDROME COMMUNITIES

ISSUANCE
LAND USE REVIEW
PROJECT NUMBER
220120
DATE
08/18/23
FULL SHEET SIZE
30 X 42
DRAWING TITLE
TENTATIVE PARTITION PLAT

SHEET NUMBER
G4



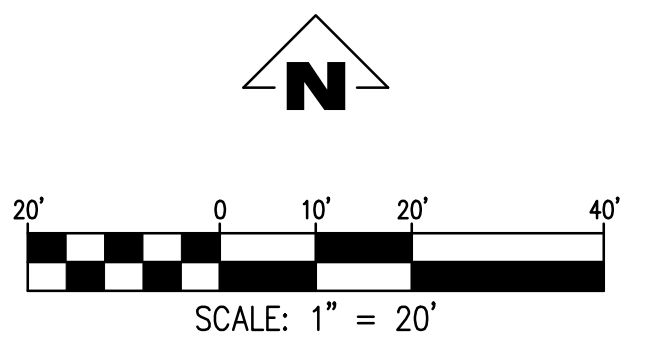
PROJECT SITE
9699 SW BARBER ST

COCA-COLA
9750 SW BARBER ST

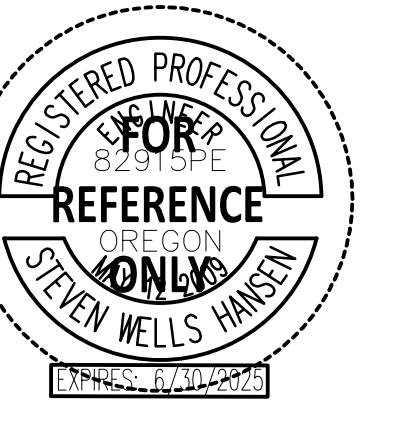
SW BARBER ST (PUBLIC)

- DEMOLITION NOTES**
- EXISTING TREE TO BE REMOVED AND DISPOSED OF OFF SITE.
 - EXISTING TREE TO REMAIN AND BE PROTECTED.
 - SAWCUT AND REMOVE EXISTING SIDEWALK, CURB AND GUTTER
 - EXISTING INLET TO BE REMOVED. EXISTING INLET LEAD TO BE CAPPED AND ABANDONED
 - EXISTING STORMWATER PLANTER SYSTEM TO BE DEMOLISHED, INCLUDING CURB INLETS, IRRIGATION SYSTEM, AND IRRIGATION CONTROL VALVES
 - EXISTING GRAVEL DRIVEWAY TO BE REMOVED
 - EXISTING WATERLINE AND STRUCTURES TO BE DEMOLISHED AND CAPPED AT PROPERTY LINE
 - EXISTING STORM LINE TO BE CAPPED AND ABANDONED
 - EXISTING HYDRANT TO REMAIN AND BE PROTECTED
 - EXISTING SANITARY SEWER LATERAL TO REMAIN AND BE PROTECTED
 - EXISTING STORM DRAIN LATERAL TO REMAIN AND BE PROTECTED/
 - EXISTING SIDEWALK TO REMAIN AND BE PROTECTED
 - INSTALL TREE PROTECTIVE FENCING. ROOT PROTECTION ZONE FENCING CONSISTING OF SIX-FOOT METAL CHAIN-LINK FENCE SECURED WITH 8-FOOT METAL POSTS IN THE GROUND MUST BE PLACED ALONG THE EDGE OF THE ROOT PROTECTION ZONE.

- GENERAL NOTES:**
- SEE ARBORIST REPORT & TREE PROTECTION PLAN BY PETER VAN OSS OF TERAGAN & ASSOCIATES, INC. "WILSONVILLE TOD PROJECT" DATED JULY 25, 2023, FOR MORE INFORMATION ON TREE PROTECTION



STAMP



SHEET REVISION REVISION NO. EVENT REVISION DATE

TRUE NORTH PLAN NORTH

WILSONVILLE TOD

PALINDROME COMMUNITIES

ISSUANCE
LAND USE REVIEW

PROJECT NUMBER
220120

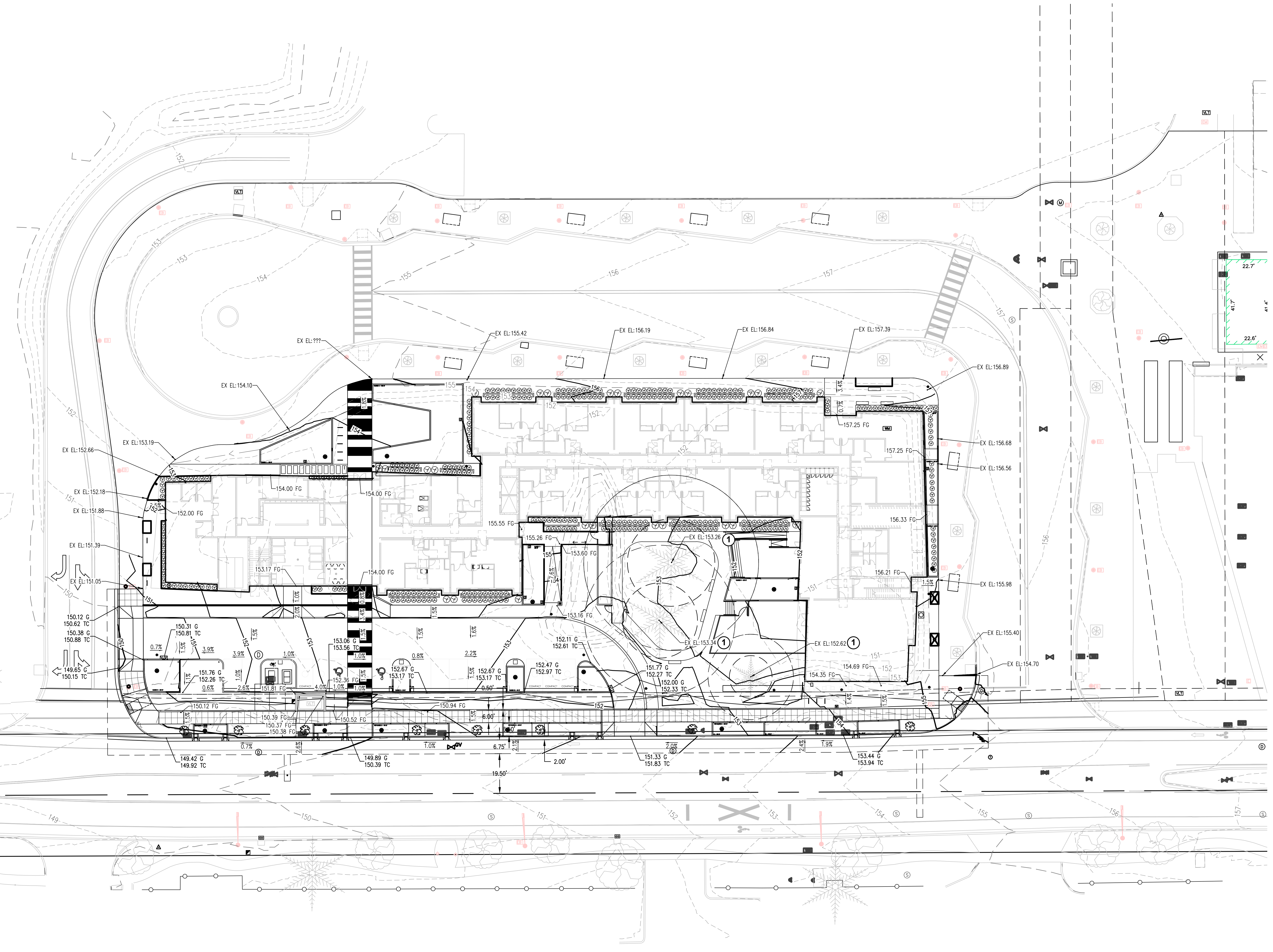
DATE
08/18/23

FULL SHEET SIZE
30 X 42

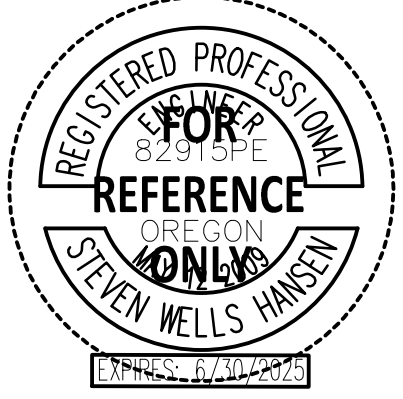
DRAWING TITLE
EXISTING CONDITIONS AND
DEMOLITION PLAN

SHEET NUMBER

C1.00



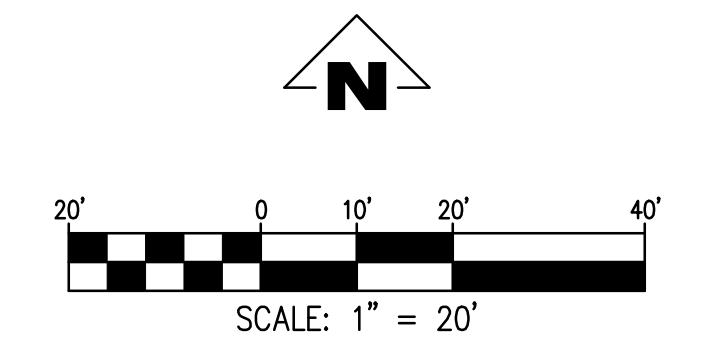
STAMP

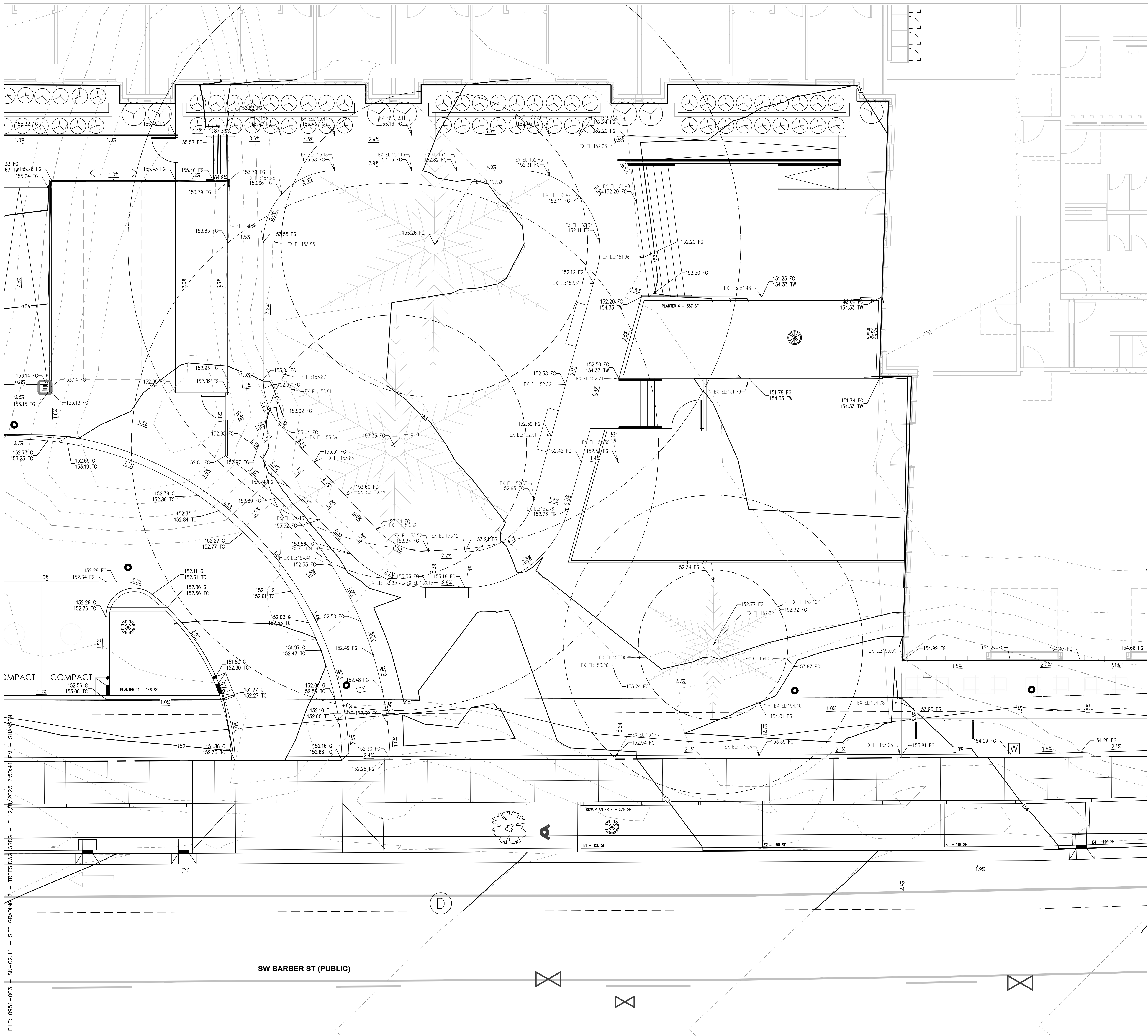


SHEET	REVISION	REVISION	REVISION
NO.	NO.	EVENT	DATE

GENERAL NOTES
SEE SHEET C5.05 FOR PARKING LOT PAVING SECTIONS AND CURB DETAILS

CONSTRUCTION NOTES
1 CONTRACTOR TO MINIMIZE SITE GRADING AROUND EXISTING TREES TO REMAIN
PROTECTION ZONE MEASURED AT A DISTANCE OF 12X THE DIAMETER IN CIRCUMFERENCE OF THE TREES. NO MORE THAN 25% OF THE PROTECTION ZONE MAY BE IMPACTED WITHOUT THE CONSENT OF THE PROJECT ARBORIST.
SEE ARBORIST REPORT & TREE PROTECTION PLAN BY PETER VAN OSS OF TERAGAN & ASSOCIATES, INC. "WILSONVILLE TOD PROJECT" DATED JULY 25, 2023, FOR MORE INFORMATION ON TREE PROTECTION





GENERAL NOTES:

1. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY CENTRAL GEOTECHNICAL SERVICES, "PRELIMINARY GEOTECHNICAL INVESTIGATION: BLUE LAKE PARK MAINTENANCE AND OPERATIONS FACILITY", DATED JULY 6, 2022.
2. EXISTING MATERIALS MAY BE REUSED AS SUBBASE AND PARKING AREAS IF APPROVED BY GEOTECHNICAL ENGINEER.
3. SEE SHEET C-500 FOR PAVEMENT SECTIONS

LEGEND

- FG FINISH GRADE
- G GUTTER
- TC TOP OF CURB
- CURB LINE
- ▭ DRIVE AISLE ASPHALT PAVEMENT
- ▭ PARKING STALL ASPHALT PAVEMENT
- - - EXISTING CONTOUR
- PROPOSED CONTOUR

YBA architects
 3514 N VANCOUVER AVE SUITE 310 - PORTLAND, OR 97227
 T: 971.888.5107 - E: MAIL: INFO@YB-A.COM

EMERIO
 ENGINEERING • SURVEYING • DESIGN
 648699/HA/AL/RENZ/CS/AC/DES/STREB/AGD
 EBEA/BE/RE/UC/OS/REG/DO/06/00/05
 TEL: (503) 746-8812
 FAX: (503) 639-8922
 www.emeriodesign.com

STAMP

 REGISTERED PROFESSIONAL ENGINEER
 FOR
 REFERENCE ONLY
 STEVEN WELLS HANSEN
 LICENSE NO. 12345
 STATE OF OREGON

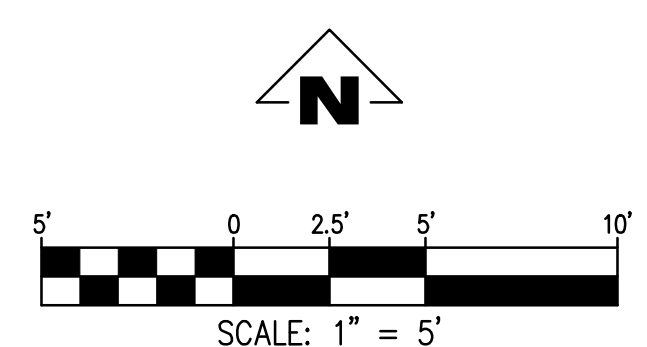
SHEET REVISION NO.	REVISION EVENT	REVISION DATE

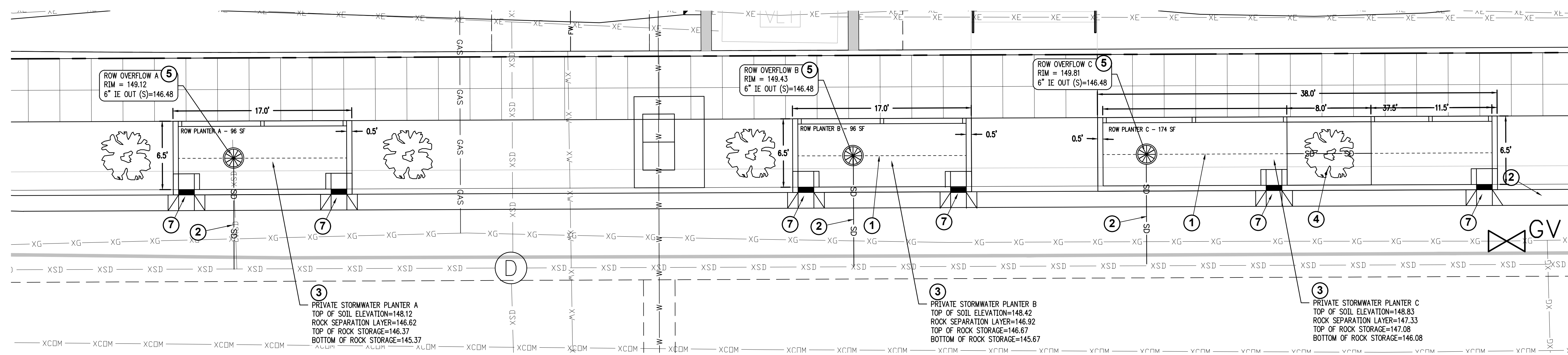
TRUE NORTH PLAN NORTH
WILSONVILLE TOD

PALINDROME COMMUNITIES
 ISSUANCE
 LAND USE REVIEW
 PROJECT NUMBER
220120
 DATE
08/18/23
 FULL SHEET SIZE
30 X 42
 DRAWING TITLE
SITE GRADING PLAN AT EXISTING TREES

SHEET NUMBER
C2.11

FILE: 0951-003 - SK-C2.11 - SITE GRADING 2 - TREES.DWG
 GRDS - E 12/3/2023 2:50:41 PM - SHAWNER





- CONSTRUCTION NOTES**
- 6" PERFORATED PIPE UNDERDRAIN (S=1.0% MIN)
 - 6" PVC STORM LINE FROM PLANTERS (S=1.0% MIN)
 - PUBLIC WATER QUALITY FLOW THROUGH PLANTER WITH OVERFLOW AND PERFORATED 4" PVC PIPE PER CITY OF WILSONVILLE STANDARD DETAIL ST-6005
 - STREET TREE IN ROW PLANTER PER DETAIL ON SHEET C5.03
 - BEEHIVE FLOW CONTROL STRUCTURE PER CITY OF WILSONVILLE STD DWG ST-6120. SEE DETAIL ON SHEET C5.03
 - 4" DRAINAGE NOTCH
 - SWALE INLET PER STD DWG ST-6012
 - CHECK DAM
 - RE-ROUTE 1.5" IRRIGATION WATER SERVICE LINE UNDERNEATH STORMWATER PLANTER

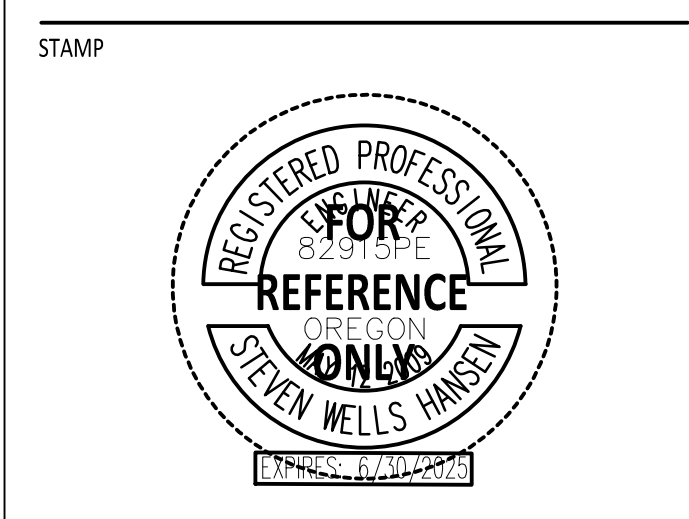
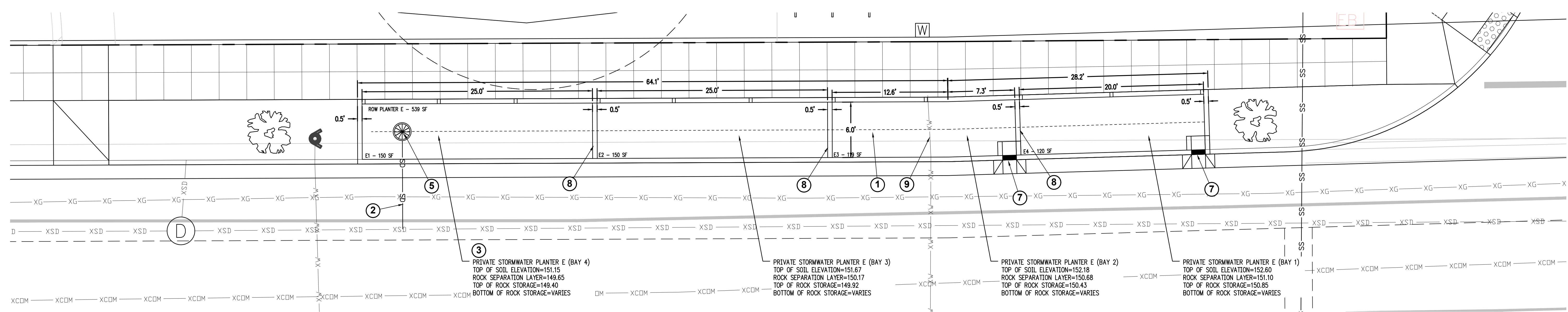
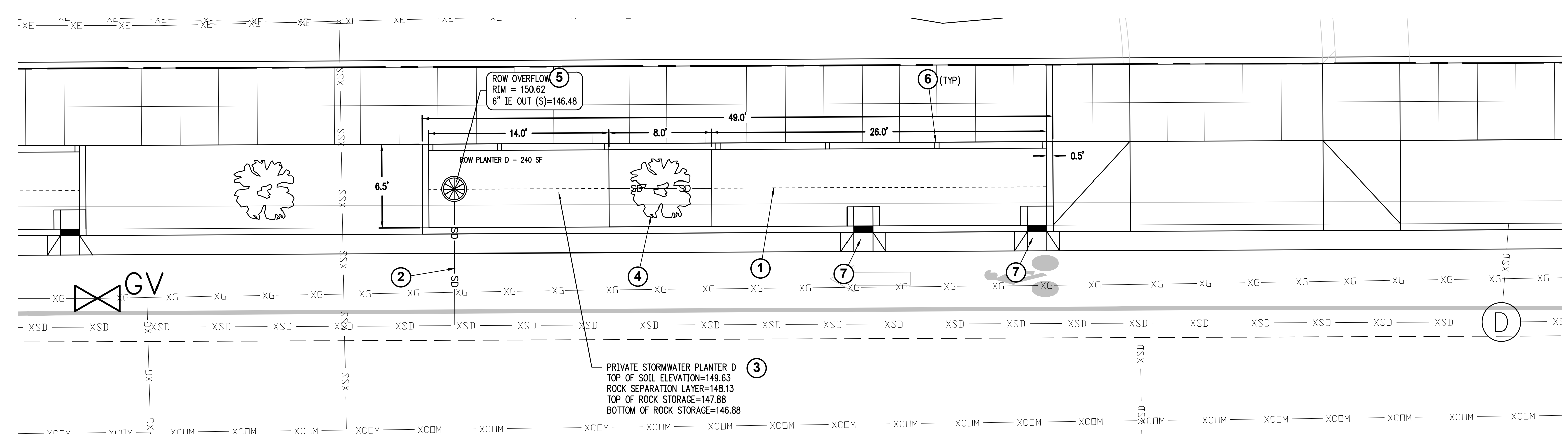
STORMWATER PLANTER DESIGN DATA

PLANTER NUMBER	DRAINAGE BASIN (SF)	FACILITY SIZE (SF)	ORIFICE SIZE (IN)
PLANTER A	694	96	0.2
PLANTER B	1,366	96	0.4
PLANTER C	2,457	174	.05
PLANTER D	3,272	229	0.5
PLANTER E	7,659	539	0.8

STORMWATER PLANTER MEDIA DEPTH DATA

PLANTER NUMBER	GROWING MEDIUM (IN)	ROCK SEPARATION LAYER (IN)	ROCK STORAGE DEPTH (IN)
PLANTER A	18"	3"	12"
PLANTER B	18"	3"	12"
PLANTER C	18"	3"	12"
PLANTER D	18"	3"	12"
PLANTER E	18"	3"	VARIES (12" MIN)

- ABBREVIATIONS**
- G = GUTTER OR PROJECTED GUTTER ELEVATION
 - DG = DEPRESSED GUTTER ELEVATION
 - DN = DRAINAGE NOTCH ELEVATION
 - FG = FINISHED GRADE ELEVATION PLANTER
 - SW = FINISHED GRADE SIDEWALK ELEVATION
 - TW = TOP OF WALL ELEVATION
 - TC = TOP OF CURB OR PROJECTED CURB ELEVATION



STAMP

SHEET REVISION NO.	REVISION EVENT	REVISION DATE

TRUE NORTH PLAN NORTH

WILSONVILLE TOD

PALINDROME COMMUNITIES

ISSUANCE
LAND USE REVIEW

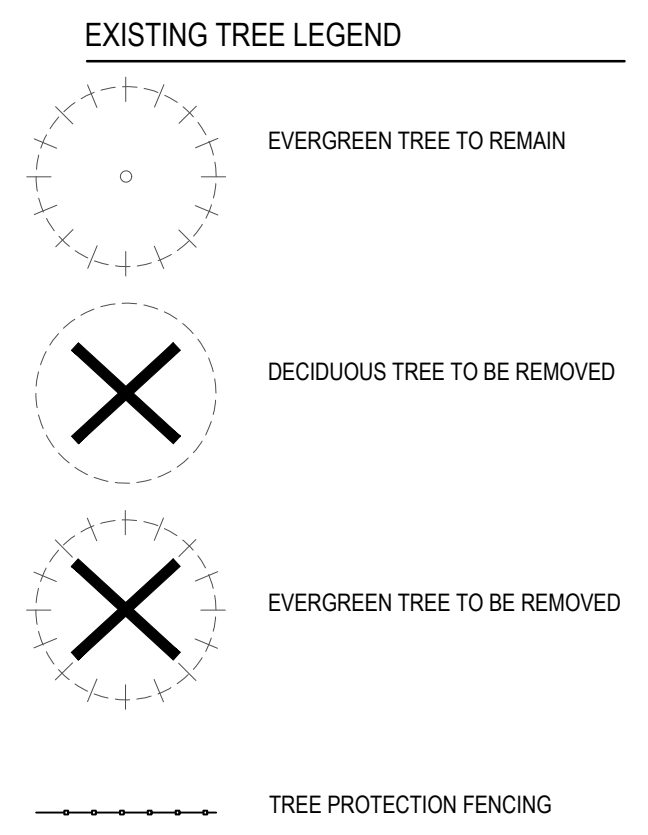
PROJECT NUMBER
220120

DATE
08/18/23

FULL SHEET SIZE
30 X 42

DRAWING TITLE
ROW STORMWATER PLANTERS

FILE: 0951-003 - C3.13 - STORMWATER FACILITIES.DWG UTIL 12/8/2023 3:27:25 PM - SHANSEN

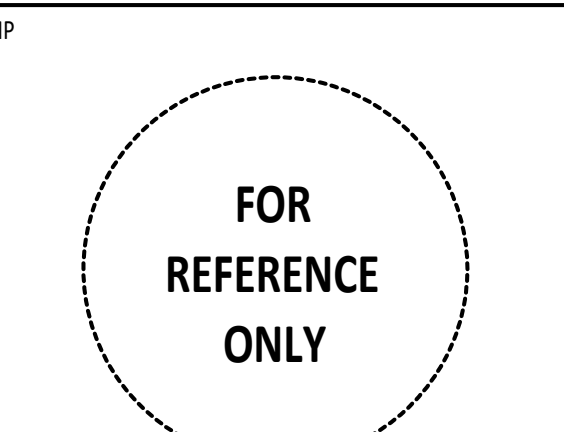


EXISTING TREE SCHEDULE

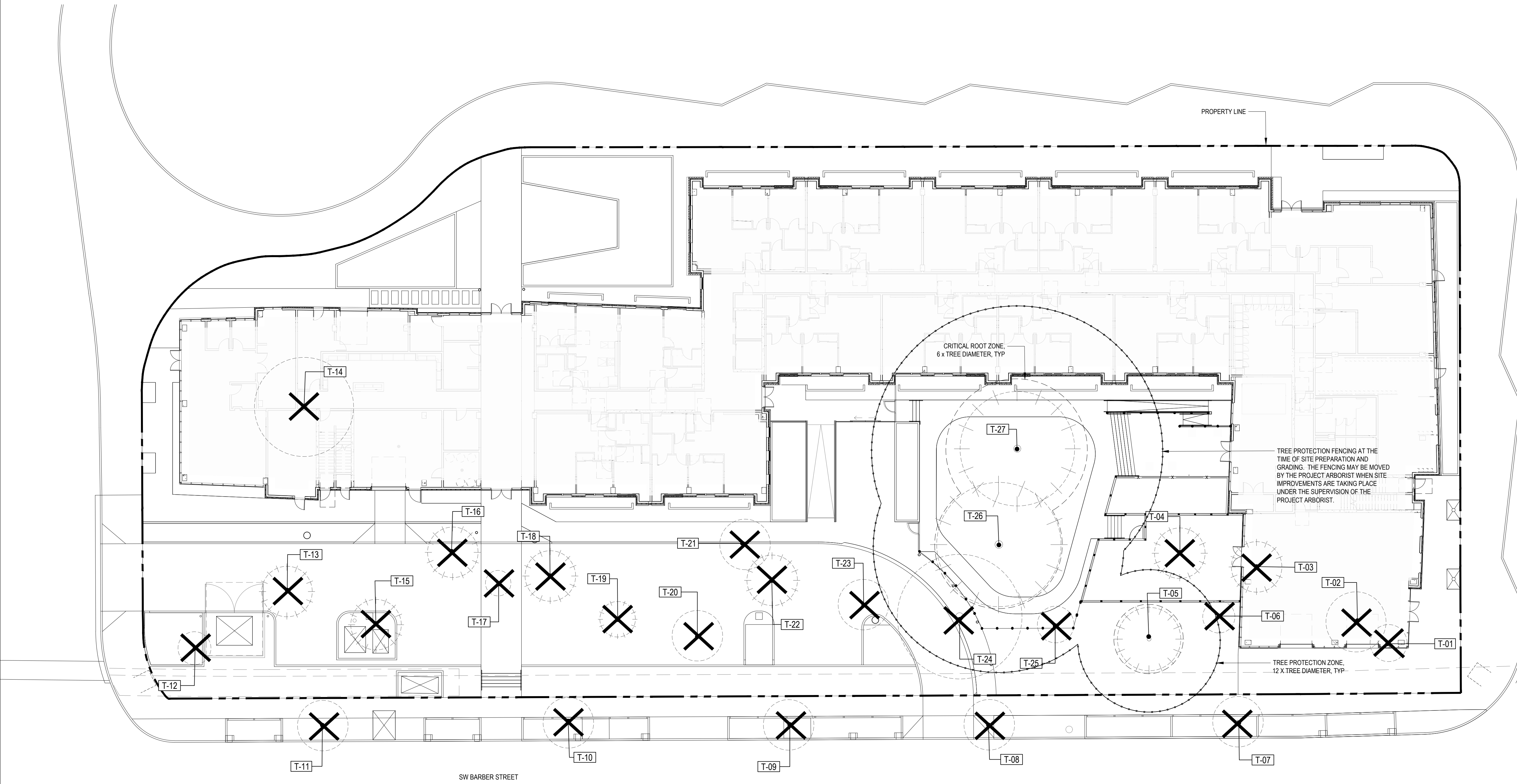
SYMBOL	DESCRIPTION	DBH	ACTION	CONDITION	TREE CREDITS	HEALTH
T-01	ZELKOVA SERRATA	11"	REMOVE			GOOD
T-02	PRUNUS AVIUM	15"	REMOVE	NUISANCE		GOOD
T-03	PSEUDOTSUGA MENZIESII	12"	REMOVE			EXCELLENT
T-04	PINUS RESINOSA	10"	REMOVE			FAIR
T-05	PSEUDOTSUGA MENZIESII	21"	PROTECT	2-FOOT LOWER THAN SIDEWALK	3 CREDITS	EXCELLENT
T-06	ZELKOVA SERRATA	9"	REMOVE	CENTER STEM DEAD		FAIR
T-07	ZELKOVA SERRATA	12"	REMOVE	LOW CANOPY		EXCELLENT
T-08	ZELKOVA SERRATA	11"	REMOVE	LOW CANOPY		EXCELLENT
T-09	ZELKOVA SERRATA	11"	REMOVE	LOW CANOPY		EXCELLENT
T-10	ZELKOVA SERRATA	12"	REMOVE	LOW CANOPY		POOR
T-11	ZELKOVA SERRATA	12"	REMOVE	LOW CANOPY		GOOD
T-12	ZELKOVA SERRATA	9"	REMOVE			EXCELLENT
T-13	PSEUDOTSUGA MENZIESII	14"	REMOVE	SAP OOOZE		GOOD
T-14	CRATAEGUS MONOGYNA	15"	REMOVE	80% CROWN DIE BACK		VERY POOR
T-15	PSEUDOTSUGA MENZIESII	10"	REMOVE			EXCELLENT
T-16	PINUS RESINOSA	15"	REMOVE	CODOMINATE AT 3'		GOOD
T-17	ZELKOVA SERRATA	7"	REMOVE	30% CROWN DIE BACK		FAIR
T-18	PSEUDOTSUGA MENZIESII	13"	REMOVE	SNOW/ICE DAMAGED BRANCHES		GOOD
T-19	PSEUDOTSUGA MENZIESII	9"	REMOVE	SNOW/ICE DAMAGED BRANCHES		GOOD
T-20	ZELKOVA SERRATA	10"	REMOVE	TWIG DIE BACK		GOOD
T-21	ZELKOVA SERRATA	8"	REMOVE			GOOD
T-22	PSEUDOTSUGA MENZIESII	12"	REMOVE			GOOD
T-23	ZELKOVA SERRATA	10"	REMOVE			GOOD
T-24	ACER PLATANOIDES	19"	REMOVE	LEANING		GOOD
T-25	CRATAEGUS MONOGYNA	8"	REMOVE	DEAD		DEAD
T-26	PSEUDOTSUGA MENZIESII	37"	PROTECT	DEAD WOOD IN CROWN	5 CREDITS	GOOD
T-27	PSEUDOTSUGA MENZIESII	43"	PROTECT	DEAD WOOD IN CROWN	5 CREDITS	GOOD

- TREE PROTECTION NOTES**
- PROTECT ALL TREES INDICATED TO REMAIN, INCLUDING BARK AND ROOT ZONES.
 - FENCING SHALL BE INSTALLED PER THE TREE PROTECTION PLAN. FINAL LAYOUT SHALL BE REVIEWED AND APPROVED BY THE PROJECT ARBORIST AND/OR LANDSCAPE ARCHITECT.
 - ALL WORK WITHIN THE TREE PROTECTION ZONE SHALL BE PERFORMED WITH HANDHELD TOOLS OR AIR SPADE. EXCAVATE THE MINIMUM AMOUNT NECESSARY TO ACCOMPLISH PURPOSE FOR EXCAVATION. ROOTS OVER 4" DIAMETER SHALL BE CUT BY THE PROJECT ARBORIST.
 - THE FOLLOWING IS PROHIBITED WITHIN THE ROOT PROTECTION ZONE OF EACH TREE OR OUTSIDE THE LIMITS OF THE DEVELOPMENT IMPACT AREA:
 - GROUND DISTURBANCE OR CONSTRUCTION ACTIVITY INCLUDING VEHICLE OR EQUIPMENT ACCESS (BUT EXCLUDING ACCESS ON EXISTING STREETS OR DRIVEWAYS)
 - STORAGE OF EQUIPMENT OR MATERIALS INCLUDING SOIL, TEMPORARY OR PERMANENT STOCKPILING, PROPOSED BUILDINGS, IMPERVIOUS SURFACES, UNDERGROUND UTILITIES, EXCAVATION OR FILL, TRENCHING OR OTHER WORK ACTIVITIES
 - PROTECTIVE FENCE SHALL BE INSTALLED BEFORE ANY GROUND DISTURBING ACTIVITIES INCLUDING CLEARING AND GRADING, OR CONSTRUCTION STARTS, AND SHALL REMAIN IN PLACE UNTIL FINAL INSPECTION.
 - SIGNAGE DESIGNATING THE PROTECTION ZONE AND PENALTIES FOR VIOLATIONS SHALL BE SECURED IN A PROMINENT LOCATION ON EACH PROTECTION FENCE.
 - TREE PROTECTION ZONE SHALL REMAIN FREE OF ALL CHEMICALLY INJURIOUS MATERIALS AND LIQUIDS.

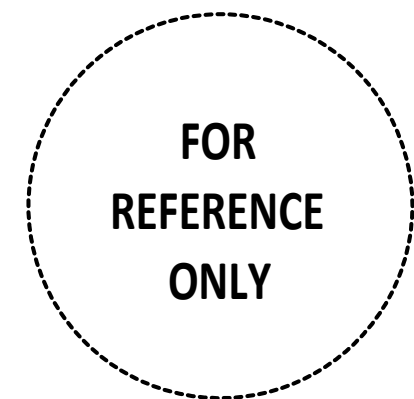
- MAINTENANCE NOTES FOR EXISTING TREES**
- WASH OFF FOULAGE WHICH BECOMES SOILED DURING CONSTRUCTION.
 - WATER TREES AND OTHER VEGETATION WHICH ARE TO REMAIN AS NECESSARY TO MAINTAIN THEIR HEALTH DURING THE COURSE OF THE WORK. RATE AND FREQUENCY OF APPLICATION TO BE DETERMINED BY PROJECT ARBORIST.
 - ALL PRUNING SHALL BE PERFORMED BY A CURRENT ARBORIST LICENSED WITHIN THE STATE/COUNTY/CITY WHERE THE WORK IS TO BE COMPLETED.



SHEET	REVISION	REVISION
REVISION NO.	EVENT	DATE



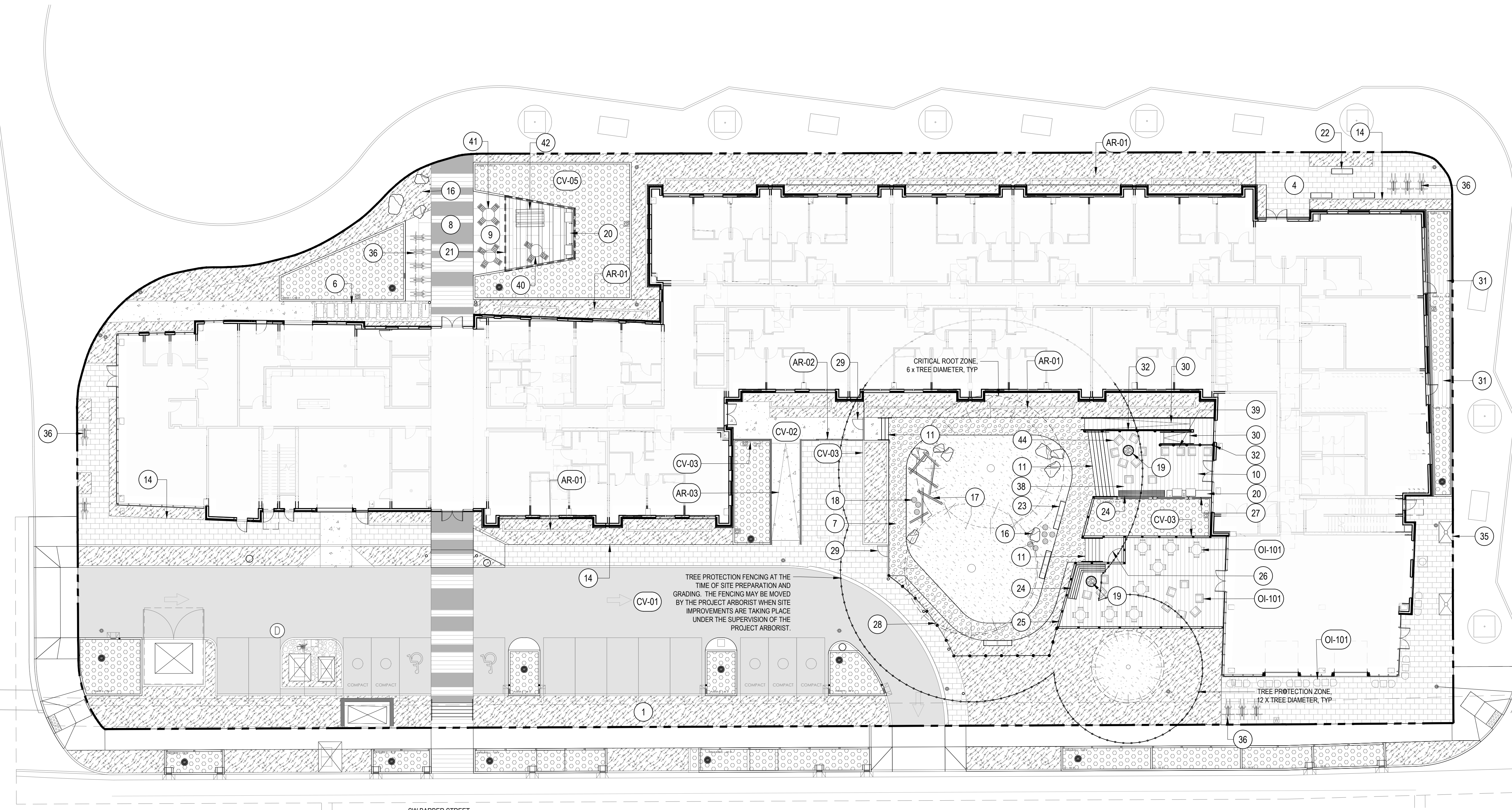
STAMP



SHEET REVISION REVISION
REVISION NO. EVENT DATE

REFERENCE NOTES SCHEDULE

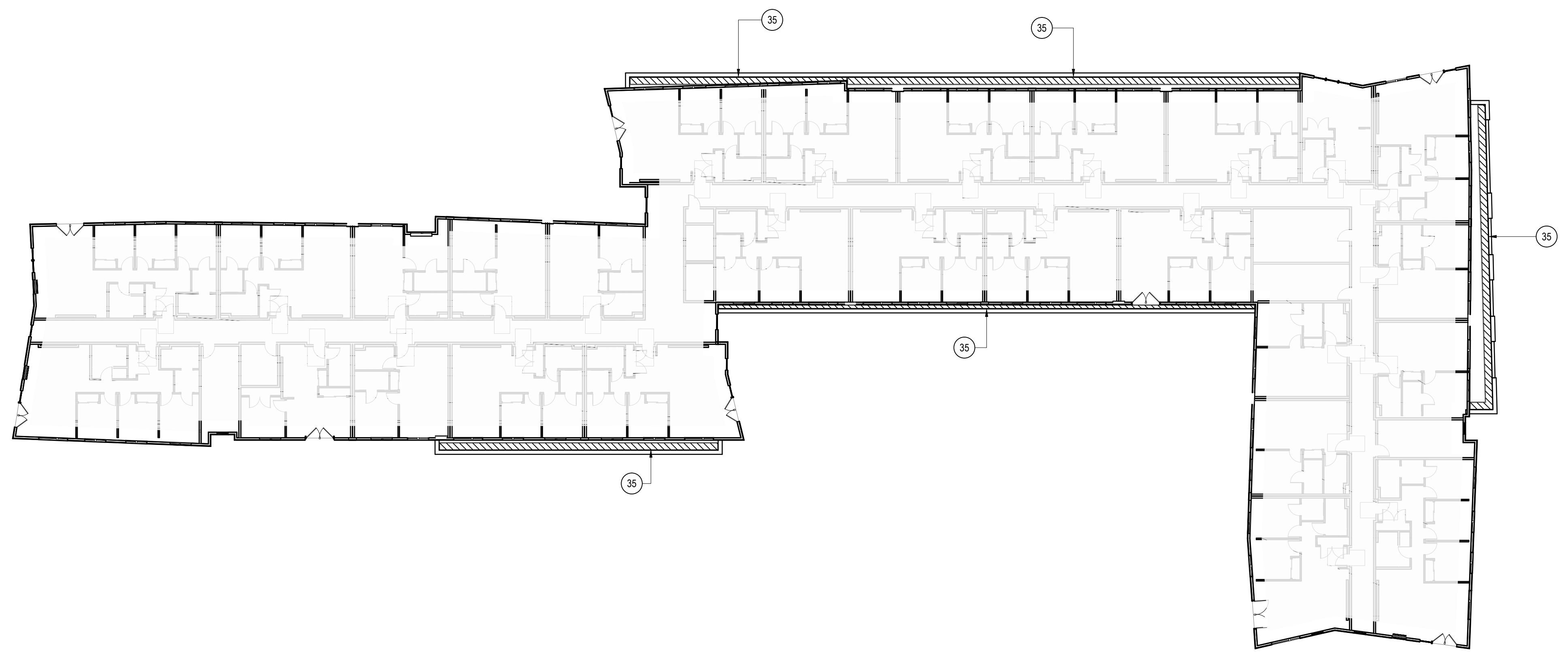
SYMBOL	DESCRIPTION
	1 PLANTING AREA, TYP. SEE LANDSCAPE DRAWINGS / DETAILS / SPECS
	4 PAVER TYPE I - PERMEABLE BELGARD AQUA LINE 3x12 COLOR: DARK CHARCOAL
	6 PAVER TYPE II WAUSAU TILE EXPRESSIONS 24x8 COLOR: DARK CHARCOAL
	7 PAVER TYPE IV - GEO-GRID WITH GRAVEL
	8 CONCRETE SURFACING TYPE II ETCHED / STAMPED CONCRETE
	9 CONCRETE SURFACING TYPE III EXPOSED AGGREGATE SURFACING
	10 POST AND BEAM DECKING CEDAR OR THERMALLY MODIFIED WOOD CONCRETE CAST-IN-PLACE FOOTINGS OR HELICAL PIER AND DECK FOOTING SUPPORT SYSTEM TBD
	11 STAIRS TO MATCH DECKING
	12 3/4-INCH GRAY RIVER COBBLE
	14 METAL EDGE RESTRAINT
	15 4" MULCH TYPE II CEDAR PLAY CHIPS
	16 LANDSCAPE BOULDERS CAMAS GRAY BASALT, ANGULAR APPEARANCE
	17 LOG SCRAMBLE TIMBERS WEATHERIZED LOGS PINNED TOGETHER AND TO GROUND
	18 LOG ROUND WEATHERIZED 16-18 INCH ROUND LOG PLACED ON END
	19 FIRE TABLE, TYP. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL HOOKUP SEE CIVIL DRAWINGS FOR PROPANE HOOK UP
	20 BBQ ENCLOSURE - CONCRETE COUNTER TOP AND THERMALLY MODIFIED WOOD CLADDING. SEE CIVIL DRAWINGS FOR PROPANE HOOKUP SEE ELECTRICAL DRAWINGS FOR ELECTRICAL HOOKUP
	21 POLYGON TRELLIS CEDAR LATILLA ON STEEL FRAME
	22 FIR LOG BENCH 24" DIA. 8-FOOT LONG
	23 FIR LOG BENCH 24" DIA. 8-FOOT LONG
	24 CUSTOM CORNER BENCH CEDAR SLATS ON METAL FRAME
	25 KNOTWOOD ALUMINUM FENCE: SQ. BLACK POSTS, 4" WIDE, WOODGRAIN COLORED, VERTICAL SLATS, W/ 4" GAPS
	26 KNOTWOOD ALUMINUM FENCE: GATE TO MATCH FENCE, ONE-WAY OPEN WITH INTERIOR LOCKING MECHANISM
	27 6.5' TALL KNOTWOOD ALUMINUM FENCE: 4" SQ. POSTS WITH 6" WIDE HORIZONTAL SLATS, WOODGRAIN COLORED
	28 4" DECORATIVE METAL PICKET FENCE POWDER-COATED BLACK
	29 4" DECORATIVE METAL PICKET GATE WITH RESIDENT PASS-KEY MECHANISM, POWDER-COATED BLACK
	30 WOOD DECK RAMP ON STEEL FRAME, NON-SLIP PAINT, TUBE STEEL HANDRAILS
	31 CEDAR OR THERMALLY MODIFIED WOOD PLANK BRIDGE ON STEEL FRAME: BLACK METAL RAILINGS
	32 42" RAILPRO CONTEMPORARY SQUARE PICKET RAILING, BLACK
	35 TREE GRATE CITY STANDARD 4" X 6"
	36 BIKE RACK HUNTO RAMBLER - FLAT PROFILE, BLACK
	38 LANDSCAPE FORMS 28" SQUARE PARK CENTRE BENCH, COLOR TBD
	39 LANDSCAPE FORMS HARPO 24" BACKED BENCH - STEEL FRAME / WIDE WOOD SLATS, EXTERIOR FINISH
	40 DUMOR 42" ROUND STEEL ADA TABLE WITH THREE ATTACHED SEATS - COLOR TBD
	41 DUMOR 42" ROUND STEEL TABLE WITH FOUR ATTACHED SEATS - COLOR TBD
	42 DUMOR 6' ALUMINUM PICNIC TABLE WITH ATTACHED BENCHES - COLOR TBD
	44 LANDSCAPE FORMS HARPO LOUNGE CHAIR - STEEL FRAME WITH WOOD SLATS
	SEE ARCHITECTURAL DRAWINGS / DETAILS / SPECS DESCRIPTION AR-01 18" CONCRETE WALL, TYP
	AR-02 METAL FENCE & MOVEABLE GATES SEE ARCHITECTURE
	AR-03 CONCRETE RAMP AND HANDRAILS
	SEE CIVIL DRAWINGS / DETAILS / SPECS DESCRIPTION CV-01 ASPHALT PAVING
	CV-02 CONCRETE SURFACING TYPE I
	CV-03 RAISED CONCRETE PLANTER
	CV-05 STORMWATER AREA, TYP. SEE LANDSCAPE FOR PLANTINGS SEE CIVIL DRAWINGS / DETAILS / SPECS FOR ADDITIONAL INFORMATION
	SEE ARCHITECTURAL DRAWINGS / DETAILS / SPECS DESCRIPTION OI-101 OWNER FURNISHED, OWNER INSTALLED MOVEABLE TABLE & CHAIRS



STAMP

FOR
REFERENCE
ONLY

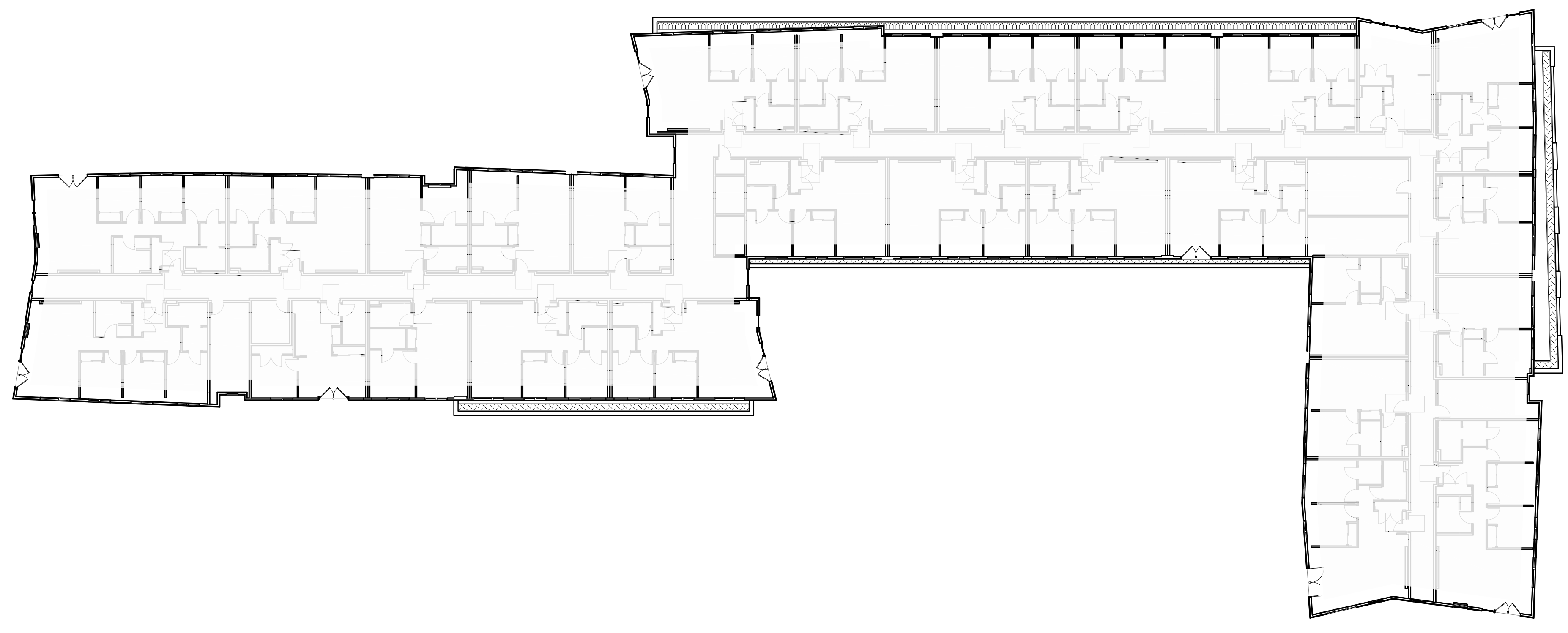
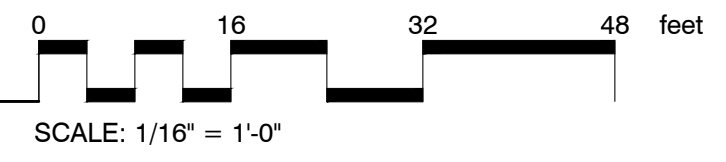
SHEET REVISION REVISION
REVISION NO. EVENT DATE



SOILS SCHEDULE

SYMBOL	DESCRIPTION
	INTENSIVE PLANTING MIX - 1' DEPTH

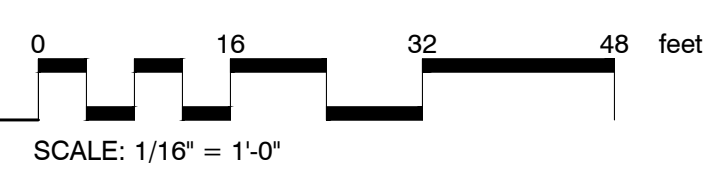
01 LEVEL 2 MATERIALS PLAN



PLANT SCHEDULE

GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SIZE	SPACING
	COEY	CAREX OSHIMENSIS EVERLITE / EVERCOLOR® EVERLITE JAPANESE SEDGE	1 GAL.	12' o.c.
	PAWG	PENNISETUM ALOPECUROIDES HAMELW / HAMELW FOUNTAIN GRASS	1 GAL.	18' o.c.

01 LEVEL 2 PLANTING PLAN



TRUE NORTH PLAN NORTH

WILSONVILLE TOD

PALINDROME COMMUNITIES

ISSUANCE

LAND USE REVIEW

PROJECT NUMBER

220120

DATE

08/18/23

FULL SHEET SIZE

30 X 42

DRAWING TITLE

LEVEL 2 LANDSCAPE PLANS

SHEET NUMBER

L3

PLANT SCHEDULE ON-SITE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	HT	CAL	WATER NEEDS
AV	ACER CIRCINATUM / VINE MAPLE MULTI-STEM (3-5 STEM)	B&B	8'-10"			MOD.
AG	ACER NIGRUM / GREENCOLUMN / GREENCOLUMN BLACK MAPLE	B&B	2" CAL			MOD.
AL	AMELANCHIER LAEVIS 'JFS-ARB' / SPRING FLURRY® ALLEGHENY SERVICEBERRY	B&B	1.75' CAL			MOD.
CM	CUPRESSUS SEMPERVIRENS MONSHEL / TINY TOWER® ITALIAN CYPRESS	B&B	5'-6"			MOD.
FL	FRAXINUS LATIFOLIA / OREGON ASH	B&B	2" CAL			MOD.
MJ	MAGNOLIA VIRGINIANA 'JIM WILSON' / MOONGLOW® SWEETBAY MAGNOLIA	B&B	1.75' CAL			MOD.
PP	PARROTIA PERSICA 'L COLUMNAR' / PERSIAN SPIRE™ PARROTIA	B&B	2" CAL			MOD.
PO	PSEUDOTSUGA MENZIESII / DOUGLAS FIR MITIGATION TREE	B&B	8'-10"			MOD.
OK	QUERCUS ROBUR X ALBA 'JFS-KW1QX' / STREETSPIRE® OAK	B&B	2" CAL			MOD.

SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	HT	CAL	WATER NEEDS
CR	CHOISYA TERNATA 'AZTEC PEARL' / AZTEC PEARL MEXICAN ORANGE	3 GAL	2'-3"			MOD.
EU	EUONYMUS JAPONICUS 'GREEN SPIRE' / GREEN SPIRE JAPANESE EUONYMUS	5 GAL	4'-5"			MOD.
HI	HYDRANGEA ARBORESCENS 'NCHAS' / INVINCIBELLE® WEE WHITE HYDRANGEA	3 GAL				MOD.
HL	HYDRANGEA MACROPHYLLA 'HORTMAVI' / SEASIDE SERENADE® MARTHA'S VINEYARD HYDRANGEA	2 GAL				MOD.
LO	LEUCOTHOE FONTANESIANA 'LITTLE FLAMES' / LEAFSCAPE LITTLE FLAMES LEUCOTHOE	2 GAL				MOD.
LI	LOROPETALUM CHINENSE RUBRUM 'KUROBUNJI' / CERISE CHARM™ FRINGE FLOWER	2 GAL				MOD.
LS	LOROPETALUM CHINENSE RUBRUM 'SUZANNE' / SUZANNE FRINGE FLOWER	3 GAL	3'-4"			MOD.
MQ	MAHONIA AQUIFOLIUM / OREGON GRAPE	3 GAL				MOD.
MX	MAHONIA X 'SOFT CARESS' / SOFT CARESS MAHONIA	3 GAL	2'-3"			MOD.
PO	PHYSCARPUS OPIULIFOLIUS 'SMNPOBLR' / GINGER WINE® NINEBARK	3 GAL				MOD.
PL	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / OTTO LUYKEN ENGLISH LAUREL	3 GAL	2'-3"			MOD.
RH	RHOODODENDRON X 'HARDY GARDENIA' / SNOWBALL AZALEA	2 GAL				MOD.
SD	SPIRAEA JAPONICA 'TRACY' / DOUBLE PLAY BIG BANG® SPIREA	3 GAL	3'-4"			MOD.

GRASSES / SEDGES / RUSHES	CODE	BOTANICAL / COMMON NAME	SIZE	WATER NEEDS
CL	CAREX OSHIMENSIS 'EVERGLOW' / EVERCOLOR® EVERGLOW JAPANESE SEDGE	1 GAL		MOD.
DB	DRYOPTERIS ERYTHROSORA 'BRILLIANCE' / BRILLIANCE AUTUMN FERN	1 GAL		MOD.
HE	HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE' / SAPPHIRE BLUE OAT GRASS	1 GAL		LOW
PM	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	1 GAL		LOW
HP	HEMEROCALLIS X 'RUBY SPIDER' / RUBY SPIDER DAYLILY	1 GAL		LOW
HD	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL		LOW
HB	HEUCHERA X 'RED LIGHTNING' / RED LIGHTNING CORAL BELLS	1 GAL		LOW
HT	HEUCHERA X 'TINEUNER' / NORTHERN EXPOSURE™ RED CORAL BELLS	1 GAL		LOW
RE	RUDBECKIA FULGIDA 'EARLY BIRD GOLD' / EARLY BIRD GOLD CONEFLOWER	1 GAL		LOW

PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	WATER NEEDS
APUJ	ARCTOSTAPHYLOS UVA-URSI / KINNIKINNIK	1 GAL		LOW
COEE	CAREX OSHIMENSIS 'EVERGLOW' / EVERCOLOR® EVERGLOW JAPANESE SEDGE	1 GAL		MOD.
COEV	CAREX OSHIMENSIS 'EVERLITE' / EVERCOLOR® EVERLITE JAPANESE SEDGE	1 GAL		MOD.
DCNL	DESCHAMPSIA CESPITOSA 'NORTHERN LIGHTS' / NORTHERN LIGHTS TUFTED HAIR GRASS	1 GAL		MOD.
LMPE	LIRIOPE MISCARI 'EXC 052' / PURPLE EXPLOSION™ LILYTURF	1 GAL		LOW
LLBM	LOMANDRA LONGIFOLIA 'LM300' / BREEZE™ MAT RUSH	1 GAL		LOW
MRRD	MAHONIA REPENS 'MONRWS' / DARKSTAR® CREEPING OREGON GRAPE	1 GAL		LOW
OFTA	OPHIPOGON FORMOSANUM / TAIWAN MONDO GRASS	1 GAL		LOW
PAHG	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL		LOW
PALG	PENNISETUM ALOPECUROIDES 'JS JOMMENIK' / LUMEN GOLD™ DWARF FOUNTAIN GRASS	1 GAL		LOW

GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SIZE	SPACING	WATER NEEDS
APUJ	ARCTOSTAPHYLOS UVA-URSI / KINNIKINNIK	1 GAL	18" o.c.	LOW	
COEE	CAREX OSHIMENSIS 'EVERGLOW' / EVERCOLOR® EVERGLOW JAPANESE SEDGE	1 GAL	18" o.c.	MOD.	
COEV	CAREX OSHIMENSIS 'EVERLITE' / EVERCOLOR® EVERLITE JAPANESE SEDGE	1 GAL	12" o.c.	MOD.	
DCNL	DESCHAMPSIA CESPITOSA 'NORTHERN LIGHTS' / NORTHERN LIGHTS TUFTED HAIR GRASS	1 GAL	12" o.c.	MOD.	
LMPE	LIRIOPE MISCARI 'EXC 052' / PURPLE EXPLOSION™ LILYTURF	1 GAL	12" o.c.	LOW	
LLBM	LOMANDRA LONGIFOLIA 'LM300' / BREEZE™ MAT RUSH	1 GAL	18" o.c.	LOW	
MRRD	MAHONIA REPENS 'MONRWS' / DARKSTAR® CREEPING OREGON GRAPE	1 GAL	24" o.c.	LOW	
OFTA	OPHIPOGON FORMOSANUM / TAIWAN MONDO GRASS	1 GAL	12" o.c.	LOW	
PAHG	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL	18" o.c.	LOW	
PALG	PENNISETUM ALOPECUROIDES 'JS JOMMENIK' / LUMEN GOLD™ DWARF FOUNTAIN GRASS	1 GAL	24" o.c.	LOW	

STORMWATER FACILITY PLANTING TYPES I & II

HERBACEOUS PLANTS - 115 PLANTS PER 100SF	SIZE	HEIGHT	SPACING	WATER NEEDS
CAREX OSHIMENSIS 'EVERGLOW' / EVERCOLOR® EVERGLOW JAPANESE SEDGE	1 GAL	1' 0"	1' 0"	LOW
CAREX RUPESTRIS / CURLY SEDGE	1 GAL	1' 0"	1' 0"	LOW
CAREX TESTACEA 'PRAIRIE FIRE' / PRAIRIE FIRE ORANGE SEDGE	1 GAL	1' 0"	1' 0"	LOW
JUNCUS PATENS 'ELK BLUE' / SPREADING RUSH	1 GAL	1' 0"	1' 0"	LOW

SHRUBS / GROUNDCOVER - 4 PER 100SF	SIZE	HEIGHT	SPACING	WATER NEEDS
CORNUS SERICEA 'KELSEY' / KELSEY'S DWARF RED TWIG DOGWOOD	1 GAL	2' 0"		LOW
MAHONIA AQUIFOLIUM / OREGON GRAPE	1 GAL	3' 0"		LOW
PHYSCARPUS CAPITATUS 'PACIFIC NINEBARK' / PACIFIC NINEBARK	1 GAL	3' 0"		LOW
POLYSTICHUM MUNITUM / WESTERN SWORD FERN	1 GAL	2' 0"		LOW

LARGE SHRUBS / SMALL TREES - 3 PER 100SF	SIZE	HEIGHT	SPACING	WATER NEEDS
SALIX PURPUREA 'NANA' / DWARF PURPLE OSIER WILLOW	3 GAL	2'-6"	6' 0"	LOW
SPIRAEA DOUGLASSI / WESTERN SPIREA	1 GAL	2'-6"	4' 0"	LOW
VBURNUM EDDLE / HIGHBUSH CRANBERRY	1 GAL	2'-6"	4' 0"	LOW

STORMWATER FACILITY PLANTINGS TYPE II TREE SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	HT	CAL	WATER NEEDS
AC	ACER CIRCINATUM / VINE MAPLE	B&B	5'-6"			MOD.
AB	ACER RUBRUM 'BOWHALL' / BOWHALL RED MAPLE	B&B	1.75' CAL			MOD.
AF	ACER RUBRUM 'FRANKRED' / RED SUNSET® MAPLE	B&B	2" CAL			MOD.

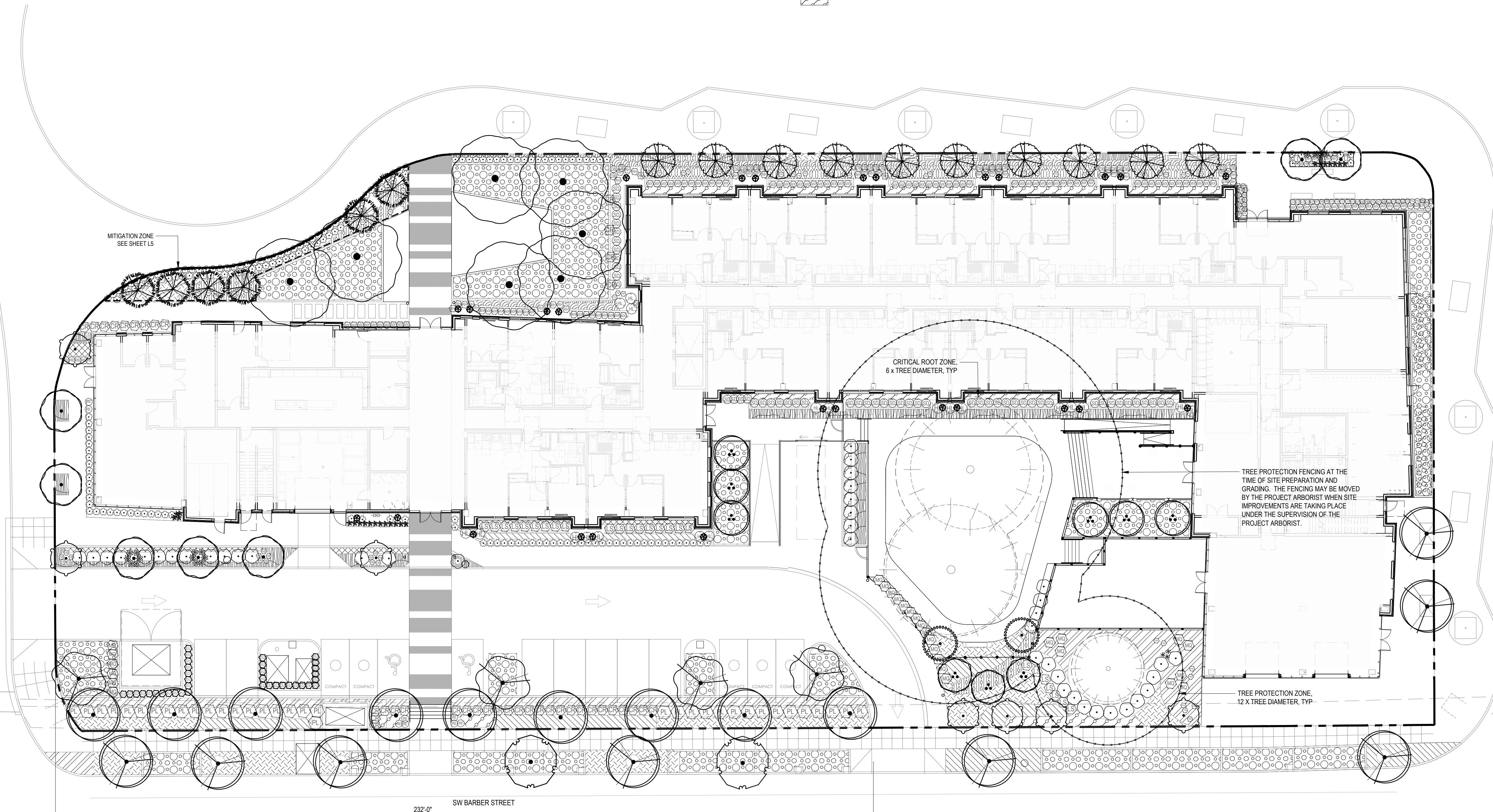
PLANT SCHEDULE ROW

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CAL	WATER NEEDS
AG	ACER NIGRUM / GREENCOLUMN / GREENCOLUMN BLACK MAPLE	B&B	2" CAL		MOD.

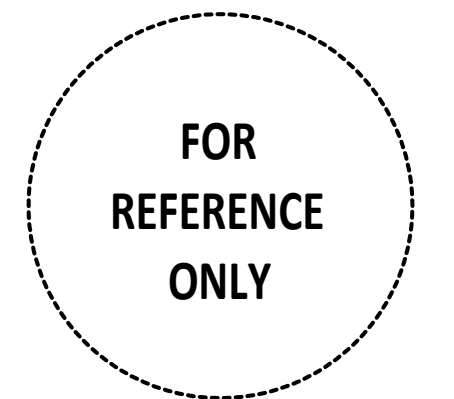
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SIZE	SPACING	WATER NEEDS
APUJ	ARCTOSTAPHYLOS UVA-URSI / KINNIKINNIK	1 GAL	18" o.c.	LOW	
LLBM	LOMANDRA LONGIFOLIA 'LM300' / BREEZE™ MAT RUSH	1 GAL	18" o.c.	LOW	
PAHG	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL	18" o.c.	LOW	

FOR REFERENCE ONLY

SHEET	REVISION	REVISION
REVISION NO.	EVENT	DATE



STAMP

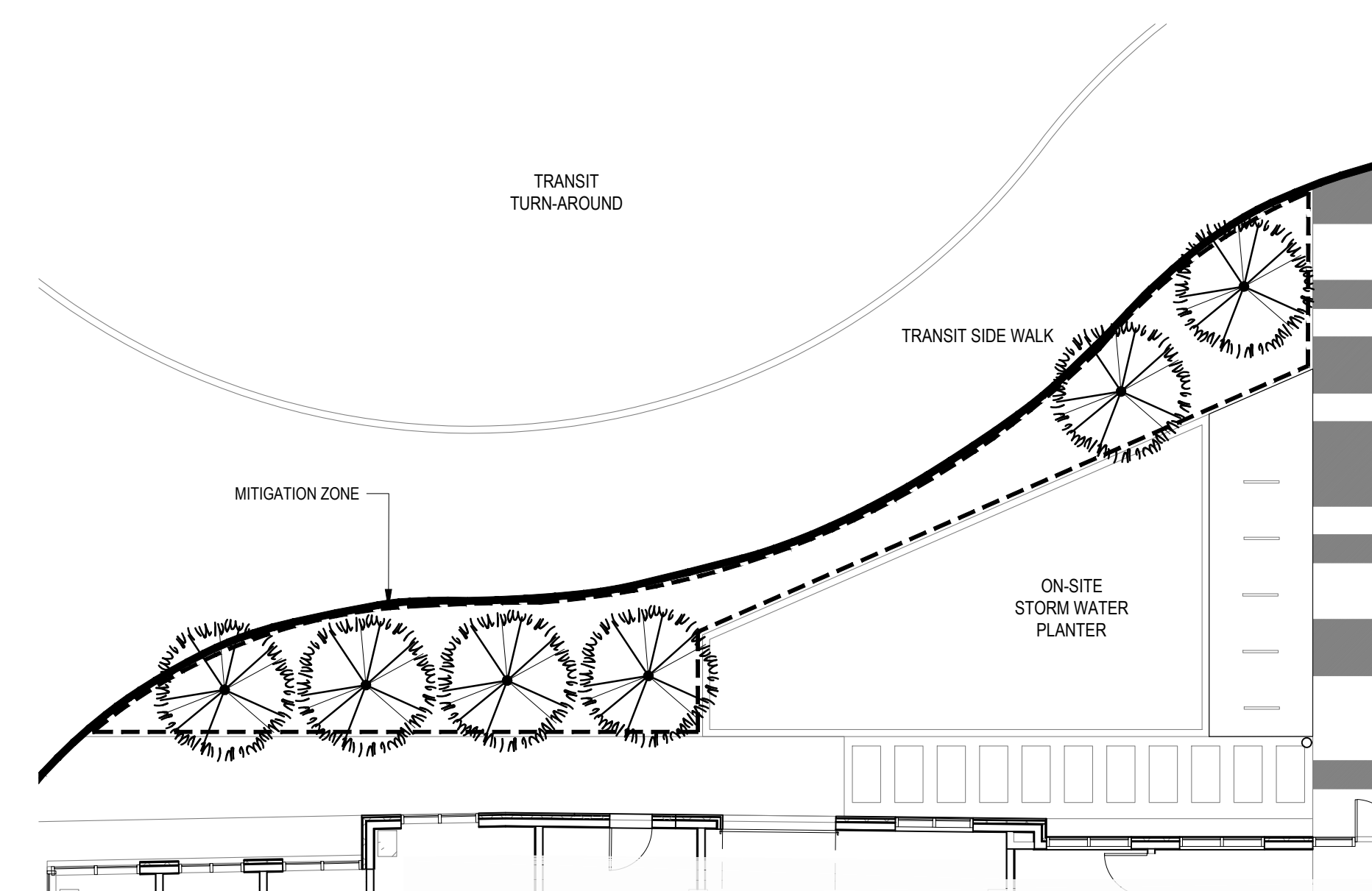


SHEET	REVISION	REVISION
REVISION NO.	EVENT	DATE

MITIGATION NOTES

- A. PLANT MATERIALS ARE TO BE NATIVE AND ARE SUBJECT TO APPROVAL BY THE CITY OF WILSONVILLE, OREGON. PLANTS MUST BE AS LOCAL AS POSSIBLE, NURSERY PROPAGATED OR TAKEN FROM A PRE-APPROVED TRANSPLANTATION AREA. PLANT MATERIALS SHALL BE OF THE TYPE AND SIZE INDICATED ON THE MITIGATION PLAN DRAWINGS.
- B. PESTICIDES, FUNGICIDES AND FERTILIZERS SHALL NOT BE EMPLOYED IN MITIGATION AREAS UNLESS SPECIFICALLY AUTHORIZED AND APPROVED.
- C. NATIVE PLANTS SHALL BE PLANTED IN SUITABLE SOIL CONDITIONS. TREES SHALL BE SUPPORTED ONLY WHEN NECESSARY BECAUSE OF EXTREME WINDS AT THE SITE. WHERE SUPPORT IS NECESSARY, ALL STAKES, GUY WIRES AND OTHER MEASURES ARE TO BE REMOVED AS SOON AS THE PLANTS CAN SUPPORT THEMSELVES. PROTECT FROM ANIMAL AND FOWL PREDATION AND FORAGING UNTIL ESTABLISHMENT.
- D. TEMPORARY IRRIGATION SHALL BE PROVIDED WITHIN THE MITIGATION ZONE BY A DEDICATED DRIP ZONE. TEMPORARY IRRIGATION SHALL BE PROVIDED WITHIN MITIGATION ZONE FOR A MINIMUM OF ONE COMPLETE GROWING SEASON, OR UNTIL TREES BECOME ESTABLISHED, WHICHEVER IS THE LONGEST. ONCE TREES ARE ESTABLISHED, ZONE SHALL BE TURNED OFF, BUT SHALL REMAIN IN PLACE FOR POSSIBLE USE IN TIMES OF EXTREME DROUGHT IN THE FUTURE.
- E. MONITORING OF NATIVE LANDSCAPE AREAS IS THE ON-GOING RESPONSIBILITY OF THE PROPERTY OWNER. PLANTS THAT DIE ARE TO BE REPLACED IN KIND AND QUANTITY WITHIN ONE YEAR. WRITTEN PROOF OF THE SURVIVAL OF ALL PLANTS SHALL BE REQUIRED TO BE SUBMITTED TO THE CITY'S PLANNING DEPARTMENT ONE YEAR AFTER THE PLANTING IS COMPLETED.

CITY OF WILSONVILLE, OREGON PLANNING AND DEVELOPMENT CODE LANDSCAPED AREAS		
MITIGATION PLAN	EXISTING NATIVE TREES REMOVED	NEW NATIVE TREES PROVIDED
1 NEW NATIVE TREE FOR EACH NATIVE TREE REMOVED	6	6



MITIGATION TREE SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	HT	QTY
	PD	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	B&B	8'-10'	6

01 MITIGATION PLAN

SCALE: 1" = 10'-0"



WILSONVILLE TOD

PALINDROME COMMUNITIES

ISSUANCE

LAND USE REVIEW

PROJECT NUMBER

220120

DATE

08/18/23

FULL SHEET SIZE

30 X 42

DRAWING TITLE

MITIGATION PLAN

SHEET NUMBER

L5

LAND USE SUMMARY

PROJECT INFORMATION		PROPOSED USES		OFF-STREET PARKING (4.155(.03))	
SITE ADDRESS:	9749 SW Barber St, Wilsonville OR 97070	MULTI-FAMILY RESIDENTIAL	121 UNITS	RESIDENTIAL (MULTIFAMILY):	QTY. 121 UNITS
TAXLOT ID:	31W148 00703	COMMERCIAL TENANTS (ASSUMED):		COMMERCIAL (EXCLUDES SMART TRANSIT CENTER):	REQ. NONE
RECORD NUMBER:	5020822	FOOD BANK	~1,600 SF		PROVIDED 7
GROSS SITE AREA:	60,695 SF (~1.39 ACRES)	CAFE/TAPROOM	~2,150 SF	ADA STALLS:	2
		SMART TRANSIT CENTER	~1,150 SF	STANDARD STALLS (INCLUDES ADA):	9
				COMPACT (40% MAX):	5
BASE ZONE:	PLANNED DEVELOPMENT INDUSTRIAL (PDI)			REQUIRED BICYCLE PARKING (4.155(.04))	
MINIMUM LOT SIZE:	NO LIMIT	SITE AREAS:		RESIDENTIAL:	QTY. 121 UNITS
MAXIMUM LOT COVERAGE:	NO LIMIT	PARKING LOT AREA:	7,278 SF	COMMERCIAL:	REQ. 121
FRONT YARD SETBACK:	30'	IMPERMEABLE PAVING COVERAGE:	9,910 SF		PROVIDED 140
REAR AND SIDE YARD SETBACK:	30'	PERMEABLE PAVING AREA:	7,698 SF	LOCATED IN INTERNAL BIKE ROOMS:	130
OVERLAY ZONES:	LIGHTING ZONE 2 (L22)			EXTERIOR/SITE:	26
BUILDING DATA:	5 STORIES, 80'-8" BUILDING HEIGHT	OPEN SPACE (4.133(.01)(C))		LONG-TERM PARKING SPACES:	50%
	TYPE VIA OVER TYPE IA CONSTRUCTION	REQ. 25% GROSS SITE AREA (15,174 SF)	PROVIDED 20,518 SF		62
GROSS AREA:	~133,575 SF	USABLE OPEN SPACE (4.133(.01)(C))			130
NET RENTABLE:	~106,025 SF	REQ. 12.5% GROSS SITE AREA (7,587 SF)	PROVIDED 9,095 SF		
BUILDING FOOTPRINT:	~28,711 SF	LANDSCAPE AREA (4.176(.03))			
COMMERCIAL USE:	~4,900 SF	REQ. 15% GROSS SITE AREA (9,104 SF)	PROVIDED 16,079 SF		
RESIDENTIAL USE:	~128,675 SF				
DENSITY:	~87 UNITS/ACRE				

KEY NOTES

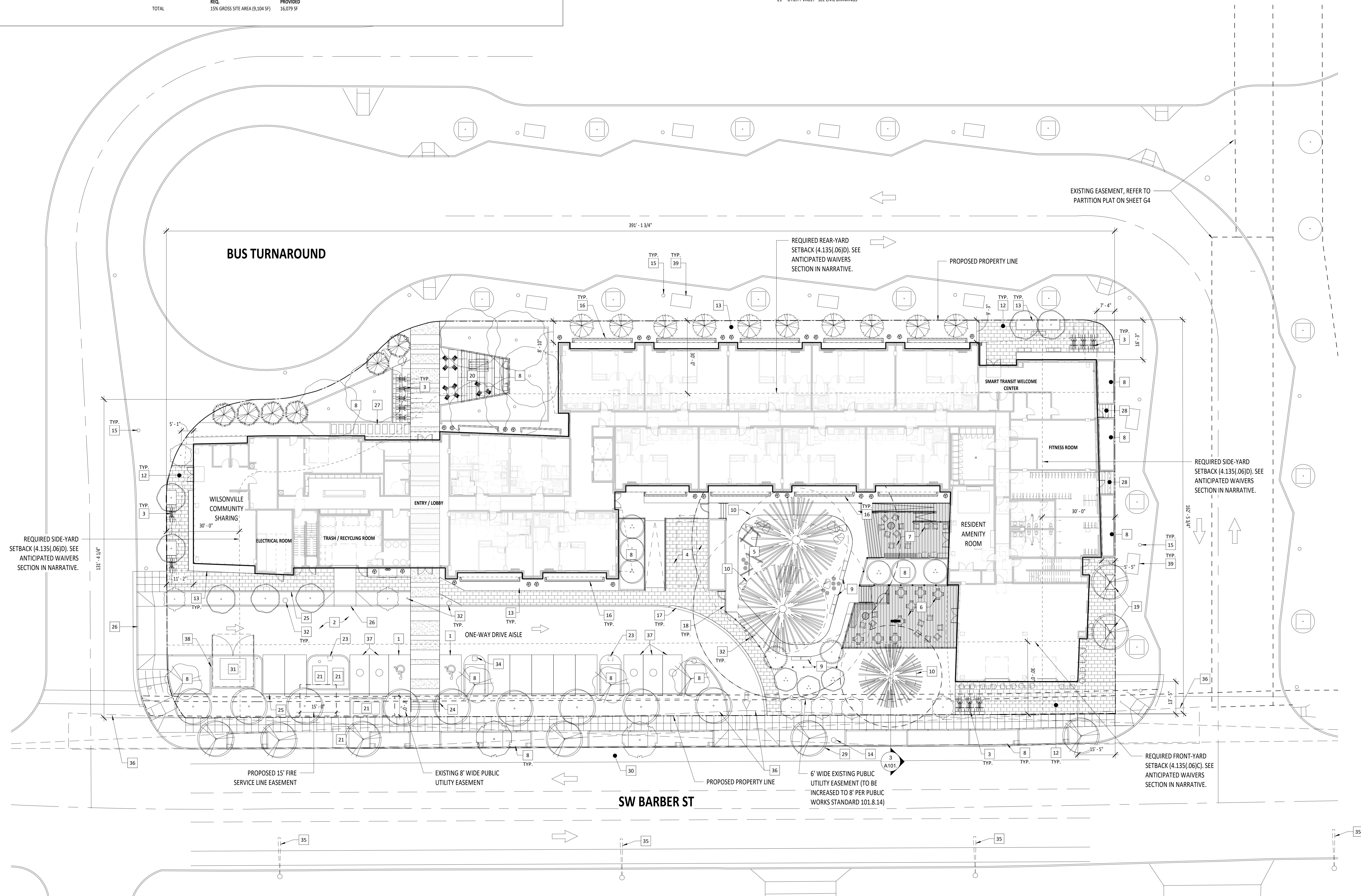
- ADA PARKING STALL
- TRASH/RECYCLING PICKUP ZONE - SEE SHEET A101. FOR ADDITIONAL INFORMATION
- SHORT-TERM BICYCLE PARKING HOOP (2'X6' ZONE WITH 5' DEEP ACCESS BEHIND) - SEE LANDSCAPE DRAWINGS
- RESIDENT LOADING ZONE
- NATURAL PLAY AREA - SEE LANDSCAPE DRAWINGS
- CAFE SEATING ON RAISED DECK - SEE LANDSCAPE
- RESIDENT AMENITY SPACE ON RAISED DECK - SEE LANDSCAPE
- STORMWATER PLANTER - SEE CIVIL DRAWINGS
- BENCH SEATING - SEE LANDSCAPE DRAWINGS
- CRITICAL ROOT ZONE AT TREE TO REMAIN
- PERMEABLE PAVERS - SEE LANDSCAPE DRAWINGS
- AT-GRADE PLANTER - SEE LANDSCAPE DRAWINGS
- EXISTING FIRE HYDRANT, TO REMAIN
- EXISTING STREET LIGHT
- 18" TALL BOWARD-FORMED CONCRETE WALL AT GROUND FLOOR UNITS
- ROLLED CURB - SEE CIVIL DRAWINGS
- FENCE - SEE LANDSCAPE DRAWINGS
- TREE GRATE - SEE LANDSCAPE DRAWINGS
- RESIDENT PLAZA/BBQ AREA - SEE LANDSCAPE DRAWINGS
- UTILITY VAULT - SEE CIVIL DRAWINGS
- FUTURE EV CHARGING STATION LOCATION, REFER TO ELECTRICAL. CONDUIT TO BE RUN TO THIS LOCATION FOR FUTURE INSTALLATION OF EV CHARGER.
- STEPS WITH 1-1/2" DIA STEEL, POWDERCOATED HANDRAILS
- LOW RETAINING WALL/CURB - SEE CIVIL DRAWINGS
- CURB CUT - SEE CIVIL DRAWINGS
- PRECAST CONCRETE PAVERS WITH GRAVEL INFILL, SEE LANDSCAPE DRAWINGS
- WOOD PLANK BRIDGE OVER STORMWATER PLANTER - SEE LANDSCAPE DRAWINGS
- STREET TREE - SEE CIVIL & LANDSCAPE DRAWINGS
- EXISTING BIKE LANE
- PGE VAULT AND SURFACE-MOUNTED TRANSFORMER
- EXTERIOR SITE LIGHTING - SEE SHEET A003
- DUAL-HEAD EV CHARGING STATION - SEE ELECTRICAL DRAWINGS
- STORMWATER PLANTER - SEE CIVIL DRAWINGS
- CLEAR VISION AREA COMPLYING WITH PUBLIC WORKS STANDARD 2012.22
- COMPACT PARKING STALL
- 80" TALL FENCE SCREENING ELECTRICAL TRANSFORMER, TO BE MADE OF STEEL STUD FRAMING AND CEMENTITIOUS PLANK SIDING. GATE TO FULLY OPEN TO PROVIDE 10' ACCESS CLEARANCE AT TRANSFORMER
- EXISTING BUS SHELTER

GENERAL NOTES - SITE PLAN

- FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION. IF SITE CONDITIONS VARY FROM CONTRACT DOCUMENTS, NOTIFY ARCHITECT IN WRITING IMMEDIATELY.

SITE PLAN LEGEND

RAISED DECK, SEE LANDSCAPE DRAWINGS



STAMP

FOR REFERENCE ONLY

SHEET REVISION NO.	REVISION EVENT	PLAN NORTH	REVISION DATE

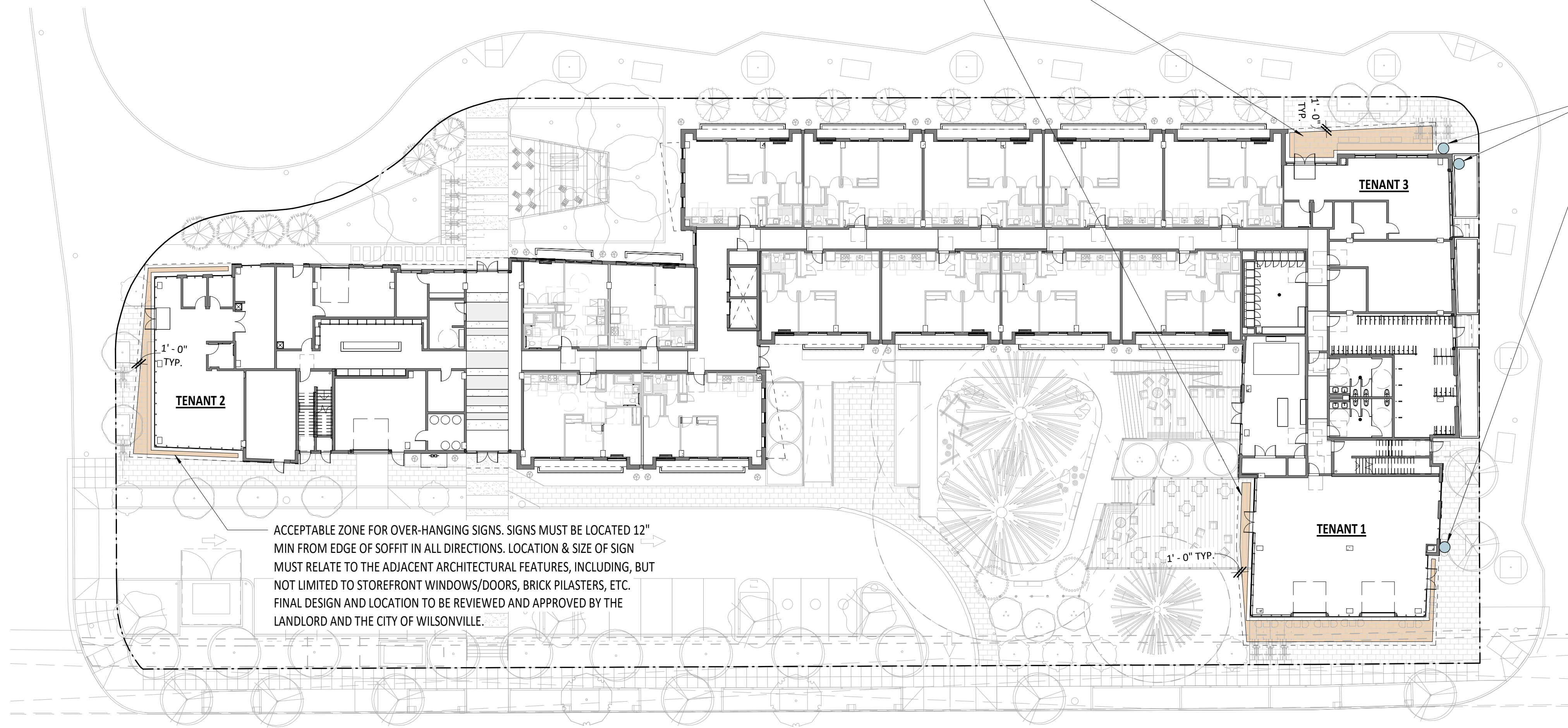


ISSUANCE
LAND USE REVIEW
PROJECT NUMBER
220120
DATE
08/18/23
FULL SHEET SIZE
30 X 42
DRAWING TITLE
LAND USE SITE PLAN

SHEET NUMBER
A001

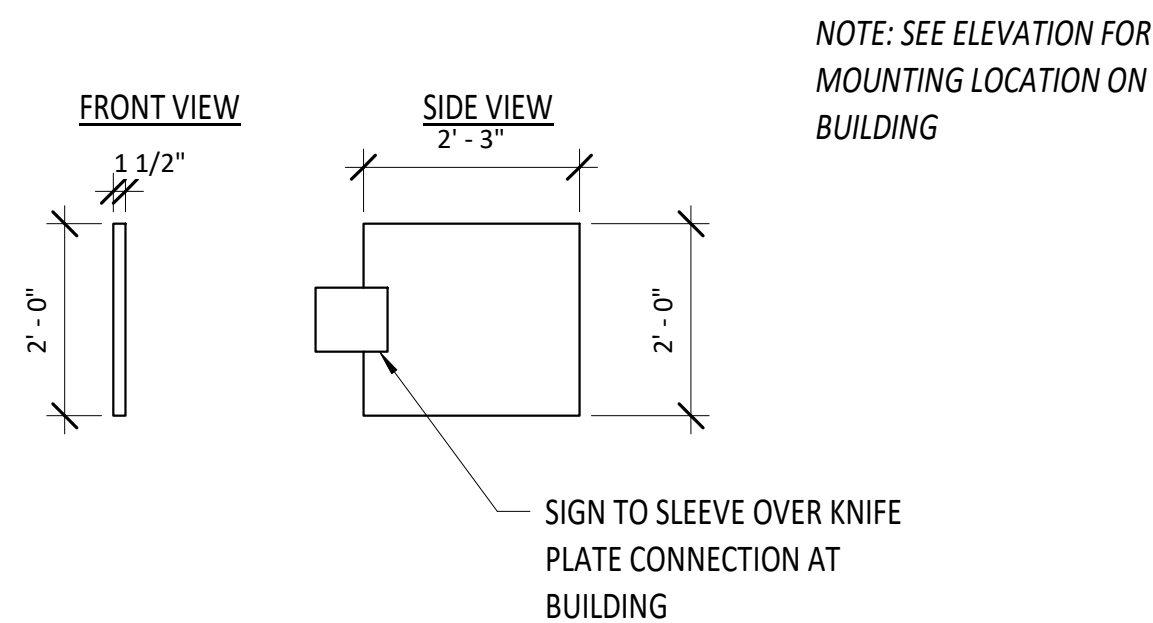
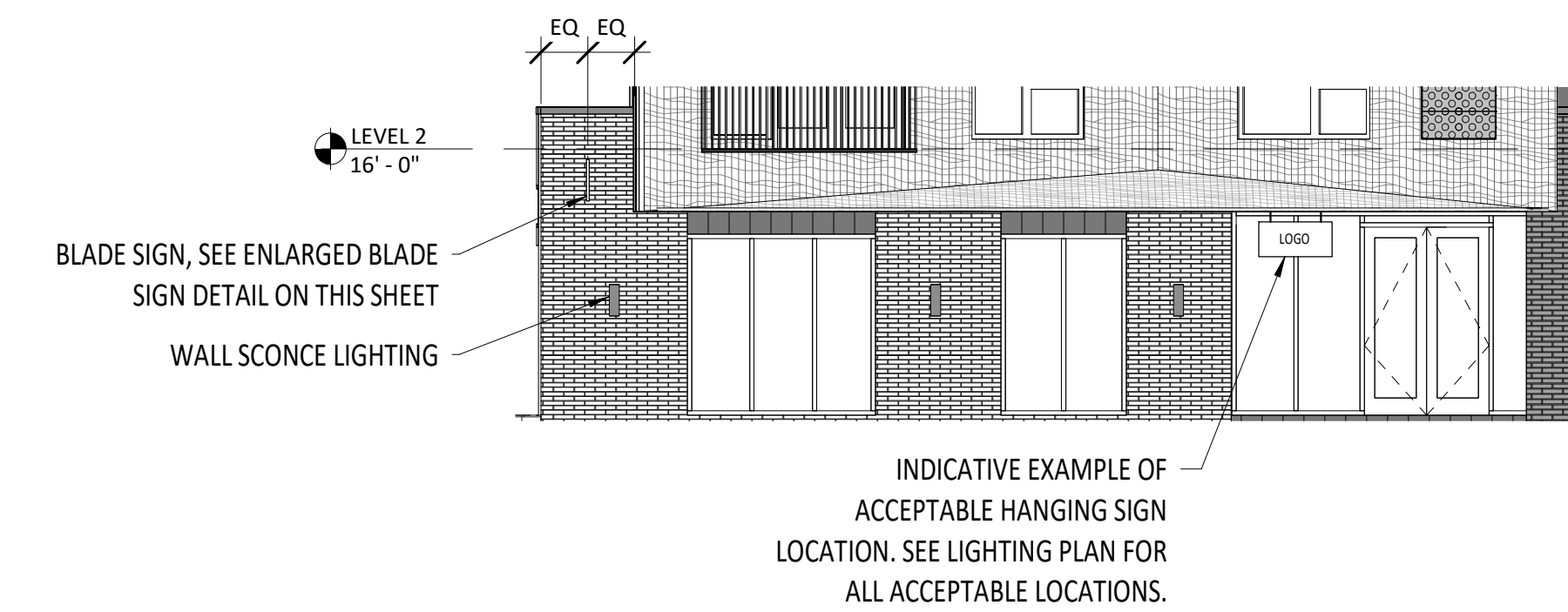
ACCEPTABLE ZONE FOR OVER-HANGING SIGNS. SIGNS MUST BE LOCATED 12" MIN FROM EDGE OF SOFFIT IN ALL DIRECTIONS. LOCATION & SIZE OF SIGN MUST RELATE TO THE ADJACENT ARCHITECTURAL FEATURES, INCLUDING, BUT NOT LIMITED TO STOREFRONT WINDOWS/DOORS, BRICK PILASTERS, ETC. FINAL DESIGN AND LOCATION TO BE REVIEWED AND APPROVED BY THE LANDLORD AND THE CITY OF WILSONVILLE.

ACCEPTABLE BLADE SIGN LOCATIONS. SEE ELEVATION FOR ADDITIONAL INFORMATION.



ACCEPTABLE ZONE FOR OVER-HANGING SIGNS. SIGNS MUST BE LOCATED 12" MIN FROM EDGE OF SOFFIT IN ALL DIRECTIONS. LOCATION & SIZE OF SIGN MUST RELATE TO THE ADJACENT ARCHITECTURAL FEATURES, INCLUDING, BUT NOT LIMITED TO STOREFRONT WINDOWS/DOORS, BRICK PILASTERS, ETC. FINAL DESIGN AND LOCATION TO BE REVIEWED AND APPROVED BY THE LANDLORD AND THE CITY OF WILSONVILLE.

1 EXTERIOR SIGNAGE PLAN
A002 / 3/64" = 1'-0"



NOTE: SEE ELEVATION FOR MOUNTING LOCATION ON BUILDING

2 COMMERCIAL TENANT SIGNAGE
A002 / 1/8" = 1'-0"

3 BLADE SIGN
A002 / 1/2" = 1'-0"

GENERAL NOTES - SIGNAGE PLAN

1. ALL SIGNAGE DEFERRED TO FUTURE PERMITS AND TO ADHERE TO THE MASTER SIGN PLAN AND DEVELOPER'S APPROVED GUIDELINES.
2. REFER TO MASTER SIGN PLAN DOCUMENTATION ON SHEET A002 FOR DESIGN GUIDELINES AND MATERIALS.
3. FUTURE TENANT SIGNAGE LOCATIONS INDICATED ON DRAWINGS 1/A002 & 2/A002. EACH TENANT WILL BE LIMITED TO TWO SIGNS - EITHER TWO OVER-HANGING SIGNS OR ONE OVER-HANGING SIGN AND ONE BLADE SIGN.

STAMP

FOR
REFERENCE
ONLY

SHEET REVISION NO.	REVISION EVENT	REVISION DATE

MASTER SIGN PLAN DOCUMENTATION

MASTER SIGN PLAN

To ensure design & visual integrity of the Wilsonville Transit-Oriented-Development project (W TOD), all procedural guidelines for Tenant signage work as specified will be required. All proposed design solutions must be reviewed and approved by the Landlord and the City of Wilsonville prior to fabrication. It will be the Tenant's responsibility to provide a copy of these guidelines to the Sign Contractor. The Tenant is responsible for applying for building and/or sign permits as required by the City of Wilsonville.

These guidelines have been established to assist future tenants in creating a retail design solution that highlights their product or service while also reinforcing the design excellence of the W TOD project as a whole. This criterion aims to support tenants throughout the design review process and establish baseline standards and objectives for the visual appearance of the buildings and site. All signage should fulfill both the communicative purposes of a sign and its aesthetic integration with the overall retail concept.

The signage and logos of tenants located within the W TOD project should express a refined urban sophistication through the use of clean and contemporary shapes and forms. It is recommended to use the same building materials for the signage as the rest of the structure to create a seamless transition between the building and the tenant space. The design of tenant signage should be suitable and indicative of the tenant's business activities. The tenant sign designs should complement and enhance the building's overall character by using appropriate scale, color, materials, and lighting levels.

Signage zones are shown on the plans and elevations as indicated, and is the specific area in which Tenant signage must be installed. All signs are to meet the City of Wilsonville, Section 4.156.08 Sign Regulations in the PDC, TC, PDI, and PF Zones.

STOREFRONT SIGNAGE CRITERIA

EXTERIOR SIGNAGE

All signage designed for exterior identification of a retail space shall be designed for complete compatibility with building finishes, color scheme, and lighting levels, to maintain a design standard throughout the building. All primary signage will be limited to trade names and logos.

FORMAT, FABRICATION, COLOR & LIGHTING OF SIGNAGE

The design format, construction techniques, and intricacies of a retail sign program facilitate it's seamless integration into the building, while also enabling the Tenant's branding identity to be distinctly visible. Adhering to the aforementioned standards, as well as those listed below, will ensure that the Tenant establishes a vital connection between their design statement and signage program.

ACCEPTABLE LOCATIONS

Pre-approved location, hanging signs, and blade signs. These locations follow the specific height and placement limitations as outlined in the plan & elevations.

ACCEPTABLE FORMAT AND PROPORTIONS FOR SIGNS

Building standard letter height and sign format area are determined by signage guidelines based on the architectural design and City sign codes. General limitations are outlined in the images below.



Non-illuminated blade sign Illuminated blade sign



Overhanging blade sign Illuminated overhanging blade sign

ACCEPTABLE FABRICATION METHODS AND MATERIALS FOR SIGNAGE

Signs shall be constructed of high-quality, durable materials. All materials used should relate to the architectural character and material of the building.

ACCEPTABLE COLORS

- Any colors that are integral to the Tenant logo, or word mark, and are limited to use within the graphic sign field. Colors that are indigenous to the sign material, as in finished metals.
- All sign structure colors/finishes should be complementary to the building.

- Paint finish and architectural metals that connect to the building architecture should reflect the materials/color palette of the building.
- Color Material finishes will be reviewed and approved by the Landlord.

UNACCEPTABLE LIGHTING

- Custom armature with integrated light fixtures.
- Internally illuminated sign cabinets that illuminate the logo or word mark and not the overall sign panel.
- All signs shall use energy efficient lighting: LED.
- Blade Signs can be non-illuminated or illuminated.

UNACCEPTABLE LOCATIONS

Any signage applied directly to the building that does not comply with the outlined standard of this Master Sign Plan.

UNACCEPTABLE FORMAT, LETTER, AND HEIGHTS FOR SIGNS

Refer to sample images below. In addition, no freestanding or ground mounted signs will be allowed. A-frame signage is not covered in these guidelines.



Neon Signs Vacuum formed letters Flashing Signs



Unpainted Steel Letters

Portable Signs

Unacceptable Signs

UNACCEPTABLE FABRICATION METHODS AND MATERIALS

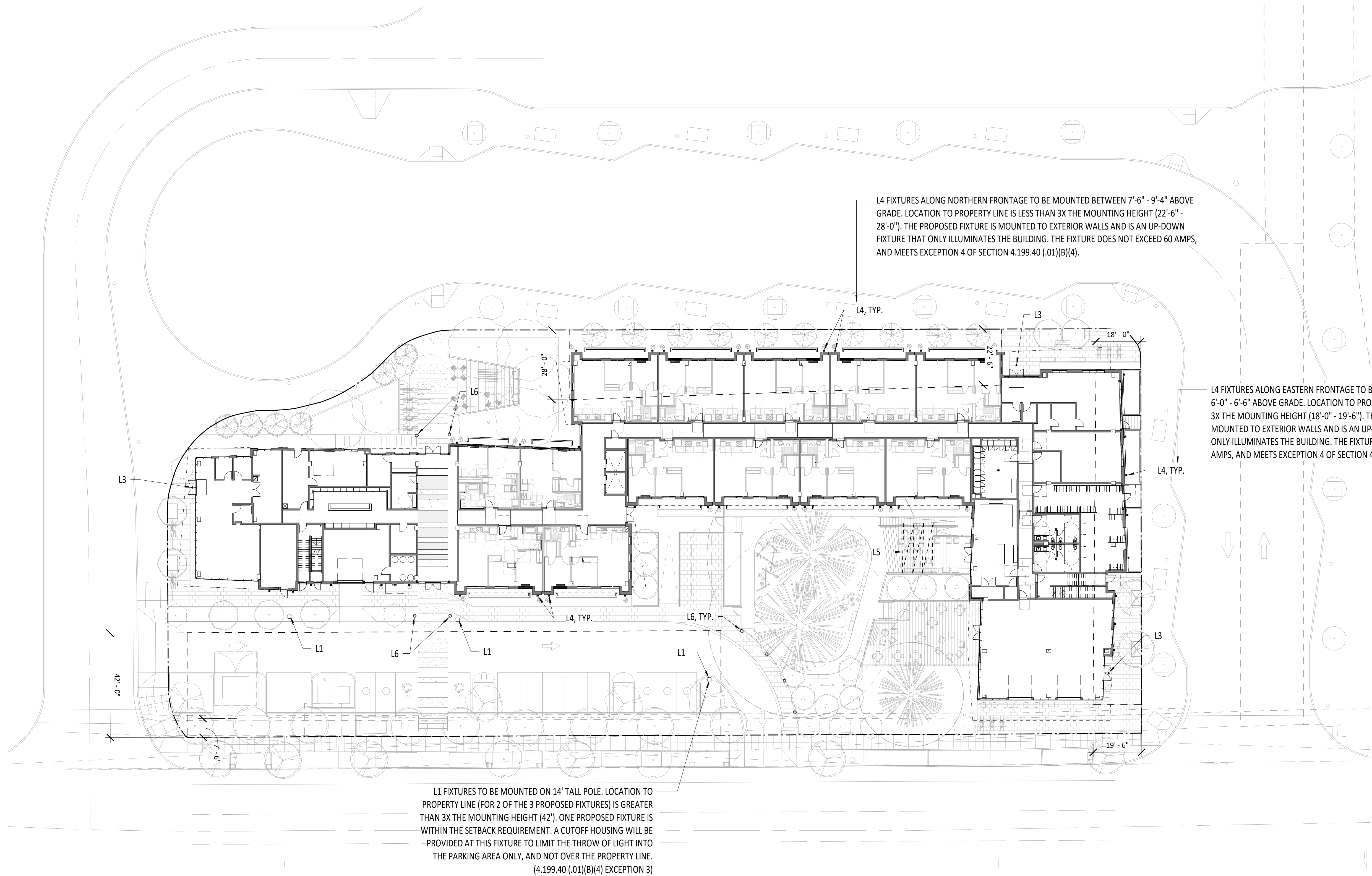
- Unpainted steel or other unfinished metals, aside from stainless steel.
- Vacuum formed plastic letters, logos, and word marks.
- Any fabrication with exposed fasteners, unless architecturally integral to the sign and relates to the architectural design of the building. Sign must be reviewed and approved by the Landlord.
- There should be limited visibility of exposed conduits, tubing and raceways. Transformers or related equipment shall be concealed whenever possible, and not visible to the public.

UNACCEPTABLE COLORS

- Day-Glo or reflective paints.

UNACCEPTABLE LIGHTING

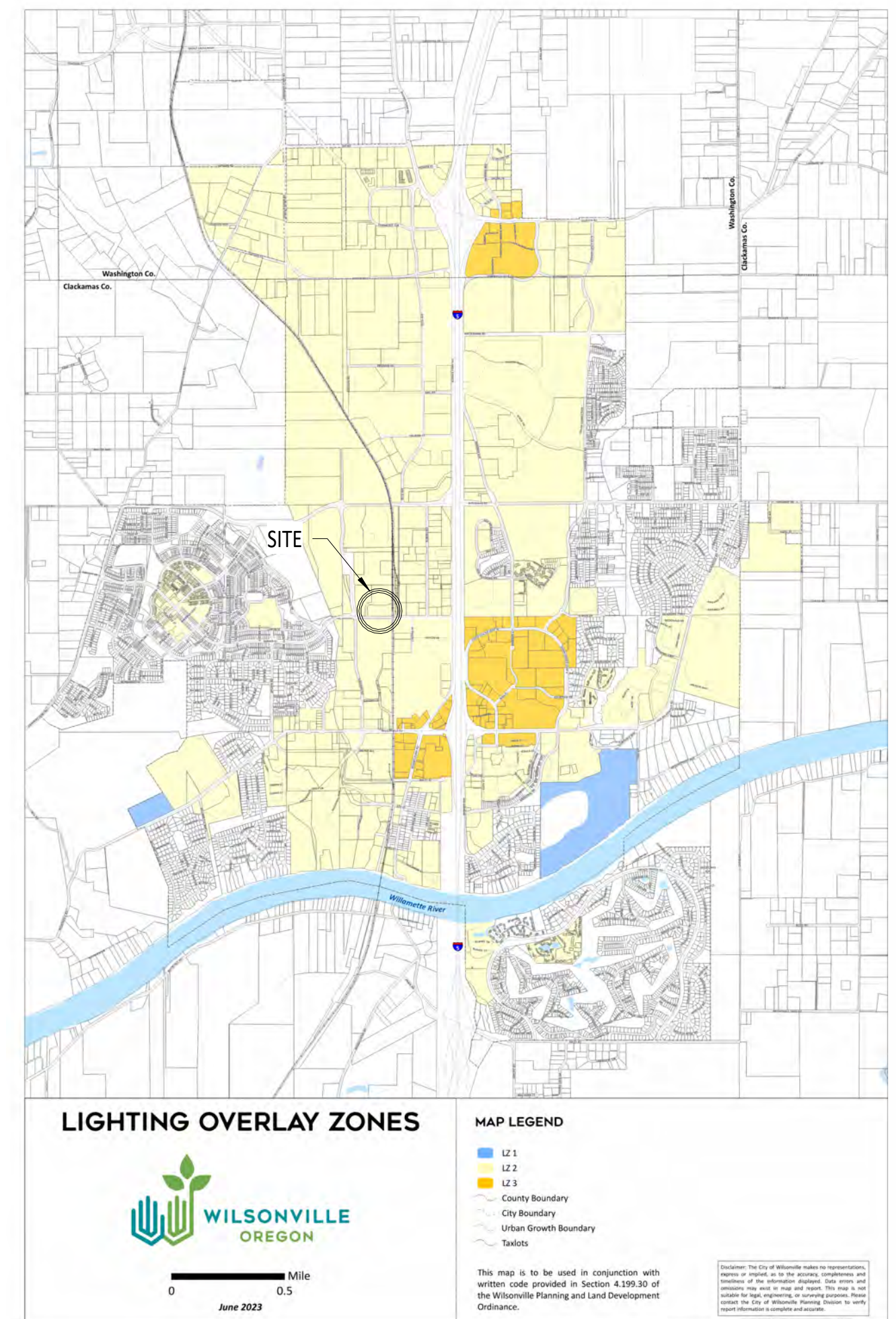
- Signs with flashing or strobing lights, or lighting that changes color.



EXTERIOR LIGHT FIXTURE LEGEND

PLAN SYMBOL	NOTE: SEE LIGHTING CUTSHEETS FOR THESE FIXTURES, PROVIDED IN APPENDIX 'A' OF THE WRITTEN NARRATIVE PORTION OF THIS APPLICATION.
	L1: LUMARK PREVAL (PRV-C15-D-UNV-T4-R2) AREA AND ROADWAY LUMINAIRE, 70 CRI, 4,000K LED AND TYPE IV OPTIC, BLACK FINISH. TO BE MOUNTED ON 14" TALL POLE.
	L3: COOPER - HALO (SMD6R12930WH) 6" ROUND SURFACE MOUNT PUCK LIGHT AT EXTERIOR SOFFITS, 3,000K CCT, 90 CRI LEDS, TUSCAN BRONZE TRIM FINISH.
	L4: GENERATION BRANDS (7000WTEG18UDWVCUNV830V) 18" TALL WALL-MOUNTED UP/DOWN LUMINAIRE, 3000K, 80 CRI, LED, BLACK FINISH.
	L5: TOKSTAR - EXHIBITOR (UB-EX_IW_G19-F) STRING LIGHTS AT COVERED RESIDENT AMENITY AREAS, 3000K, BLACK CABLE & SOCKET COLOR.
	L6: SELUX - INULA BOLLARD (IBL-X-4QS-30-XX-UNV) LIGHTED BOLLARDS AT MAIN RESIDENTIAL BUILDING ENTRIES & AT BIKE PARKING ALONG BARBER. 3,000K, >80 CRI, LED, BLACK FINISH.

1 EXTERIOR LIGHTING PLAN
A003 3/64" = 1'-0"



STAMP

FOR REFERENCE ONLY

SHEET REVISION NO.	REVISION EVENT	REVISION DATE

KEY NOTES

- 2 BUILDING OVERHANG ABOVE
- 9 TRASH CHUTE EXHAUST SHAFT
- 13 30" DIAMETER TRASH CHUTE

GENERAL NOTES - PLANS

1. FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION. IF SITE CONDITIONS VARY FROM CONTRACT DOCUMENTS, NOTIFY ARCHITECT IN WRITING IMMEDIATELY.
2. PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES AND CABINETS. PROVIDE BLOCKING AT FUTURE GRAB BAR LOCATIONS. SEE ANSI DESIGN STANDARDS FOR GRAB BAR LOCATIONS.
3. ALL INTERIOR DOOR ROUGH OPENINGS ARE TO BE 4" FROM FACE OF STUD OF THE CLOSEST ADJACENT WALL, UNLESS NOTED OTHERWISE.
4. REFER TO CIVIL DRAWINGS FOR GRADING AND HORIZONTAL CONTROL DRAWINGS.
5. REFER TO LANDSCAPE DRAWINGS FOR ALL SITE MATERIALS, LAYOUT, AND ACCESS COMPLIANCE SITE PATH OF TRAVEL DRAWINGS.
6. MAINTAIN 7'-0" CLEAR OVERHEAD AT VAN ACCESSIBLE PARKING, PEDESTRIAN CIRCULATION, AND VEHICULAR DRIVE LANES AND MANEUVERING AREAS.
7. STAGGER ELECTRICAL OUTLETS IN DIFFERENT STUD BAYS TO AVOID BACK TO BACK CONDITIONS.
8. INSTALL CEMENTITIOUS BACKER BOARD AT ALL TILE LOCATIONS.
9. REFER TO STRUCTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS OF STRUCTURAL SLAB AND WALL ELEMENTS.
10. REFER TO EXTERIOR ELEVATIONS FOR VINYL WINDOW / DOOR LOCATIONS.
11. REFER TO ENLARGED UNIT & FINISH PLANS BEGINNING ON SHEET A410 FOR ADDITIONAL INFORMATION.
12. REFER TO SHEETS A500 - A580 FOR TYPICAL BUILDING DETAILS.
13. DASHED FFE TO BE PROVIDED BY TENANT.
14. SEE SHEET G011 FOR BUILDING AND DWELLING UNIT GROSS AREAS.

STAMP

**FOR
REFERENCE
ONLY**

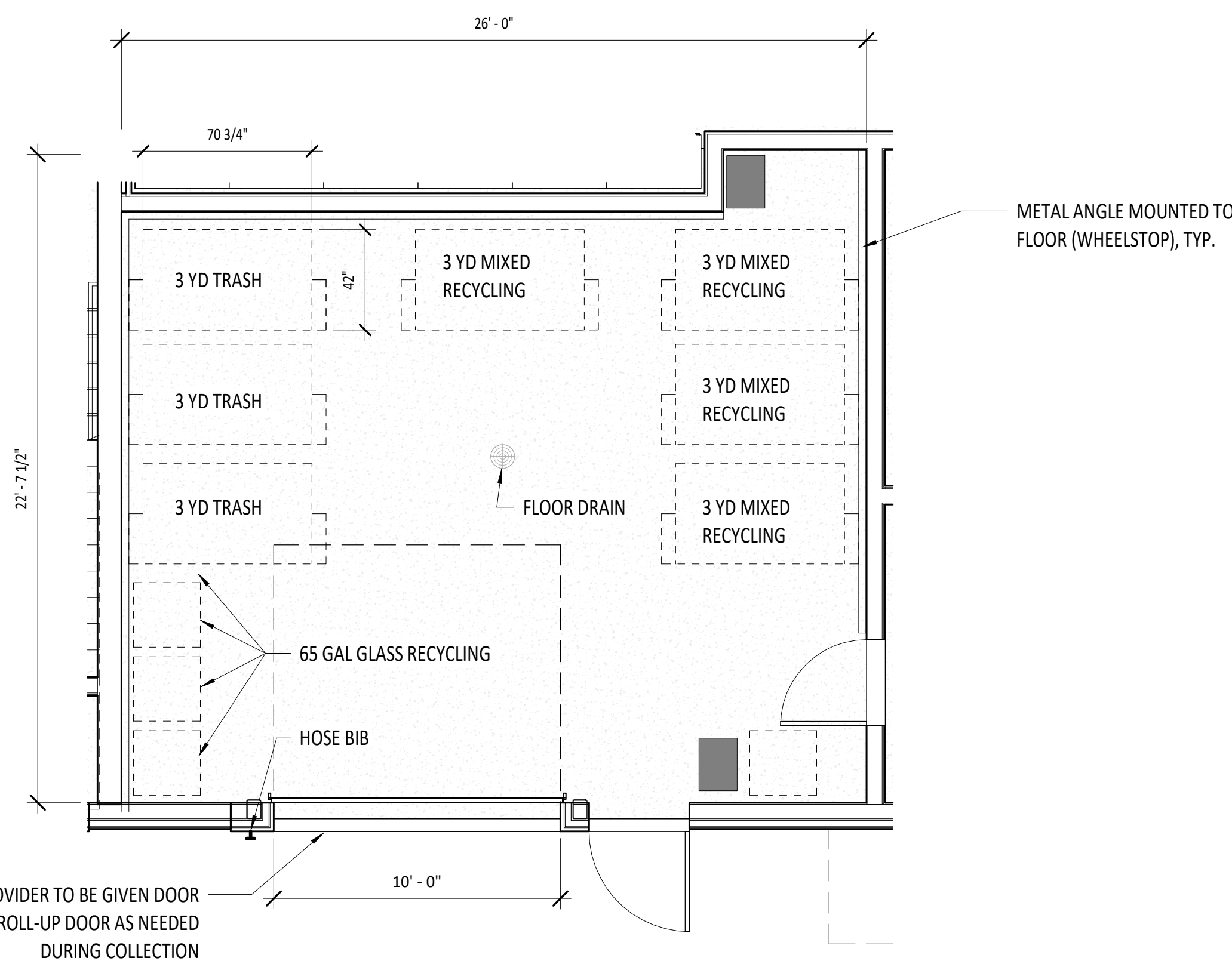
SHEET REVISION NO.	REVISION EVENT	PLAN REVISION DATE

TRUE NORTH PLAN NORTH
WILSONVILLE TOD

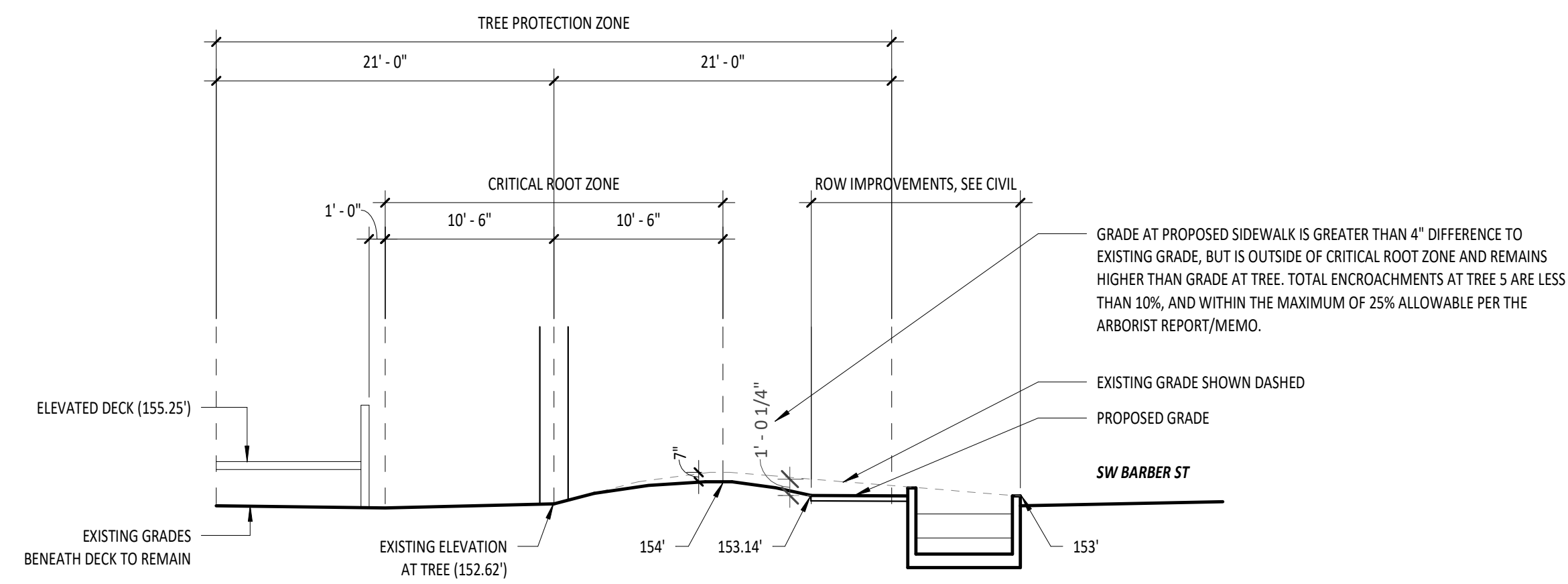
PALINDROME COMMUNITIES

ISSUANCE
LAND USE REVIEW
PROJECT NUMBER
220120
DATE
08/18/23
FULL SHEET SIZE
30 X 42
DRAWING TITLE
FLOOR PLAN - LEVEL 1 (LU)

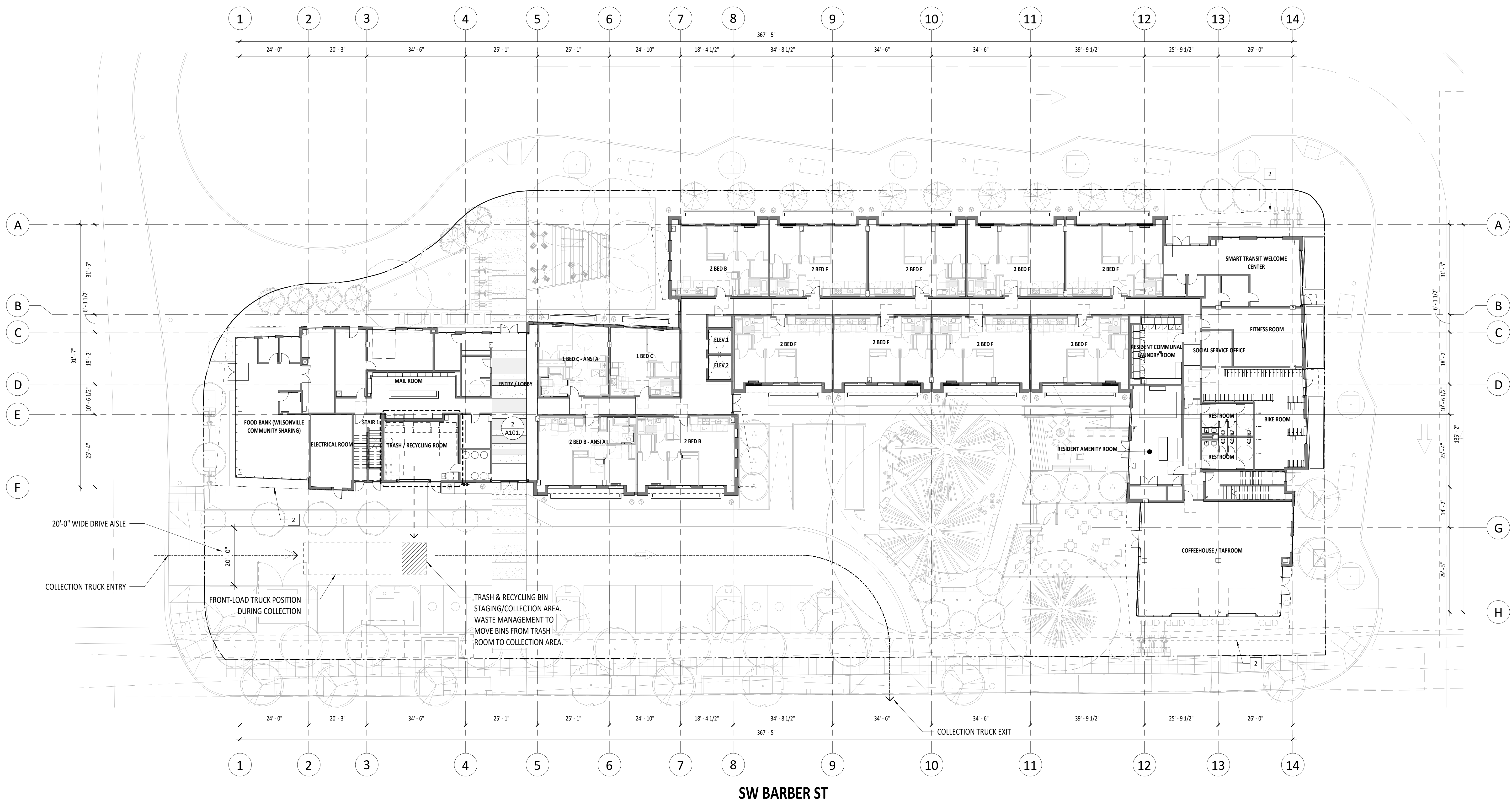
SHEET NUMBER
A101.



2 GROUND FLOOR TRASH ROOM
1/4" = 1'-0"



3 TREE 5 GRADING SECTION
1/8" = 1'-0"



1 FLOOR PLAN - LEVEL 1 (LU)
1/16" = 1'-0"

SW BARBER ST

KEY NOTES

- 2 BUILDING OVERHANG ABOVE
- 9 TRASH CHUTE EXHAUST SHAFT
- 13 30" DIAMETER TRASH CHUTE

GENERAL NOTES - PLANS

- 1. FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION. IF SITE CONDITIONS VARY FROM CONTRACT DOCUMENTS, NOTIFY ARCHITECT IN WRITING IMMEDIATELY.
- 2. PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES AND CABINETS. PROVIDE BLOCKING AT FUTURE GRAB BAR LOCATIONS. SEE ANSI DESIGN STANDARDS FOR GRAB BAR LOCATIONS.
- 3. ALL INTERIOR DOOR ROUGH OPENINGS ARE TO BE 4" FROM FACE OF STUD OF THE CLOSEST ADJACENT WALL, UNLESS NOTED OTHERWISE.
- 4. REFER TO CIVIL DRAWINGS FOR GRADING AND HORIZONTAL CONTROL DRAWINGS.
- 5. REFER TO LANDSCAPE DRAWINGS FOR ALL SITE MATERIALS, LAYOUT, AND ACCESS COMPLIANCE SITE PATH OF TRAVEL DRAWINGS.
- 6. MAINTAIN 7'-0" CLEAR OVERHEAD AT VAN ACCESSIBLE PARKING, PEDESTRIAN CIRCULATION, AND VEHICULAR DRIVE LANES AND MANEUVERING AREAS.
- 7. STAGGER ELECTRICAL OUTLETS IN DIFFERENT STUD BAYS TO AVOID BACK TO BACK CONDITIONS.
- 8. INSTALL CEMENTITIOUS BACKER BOARD AT ALL TILE LOCATIONS.
- 9. REFER TO STRUCTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS OF STRUCTURAL SLAB AND WALL ELEMENTS.
- 10. REFER TO EXTERIOR ELEVATIONS FOR VINYL WINDOW / DOOR LOCATIONS.
- 11. REFER TO ENLARGED UNIT & FINISH PLANS BEGINNING ON SHEET A410 FOR ADDITIONAL INFORMATION.
- 12. REFER TO SHEETS A500 - A580 FOR TYPICAL BUILDING DETAILS.
- 13. DASHED FFE TO BE PROVIDED BY TENANT.
- 14. SEE SHEET G011 FOR BUILDING AND DWELLING UNIT GROSS AREAS.

STAMP

FOR
REFERENCE
ONLY

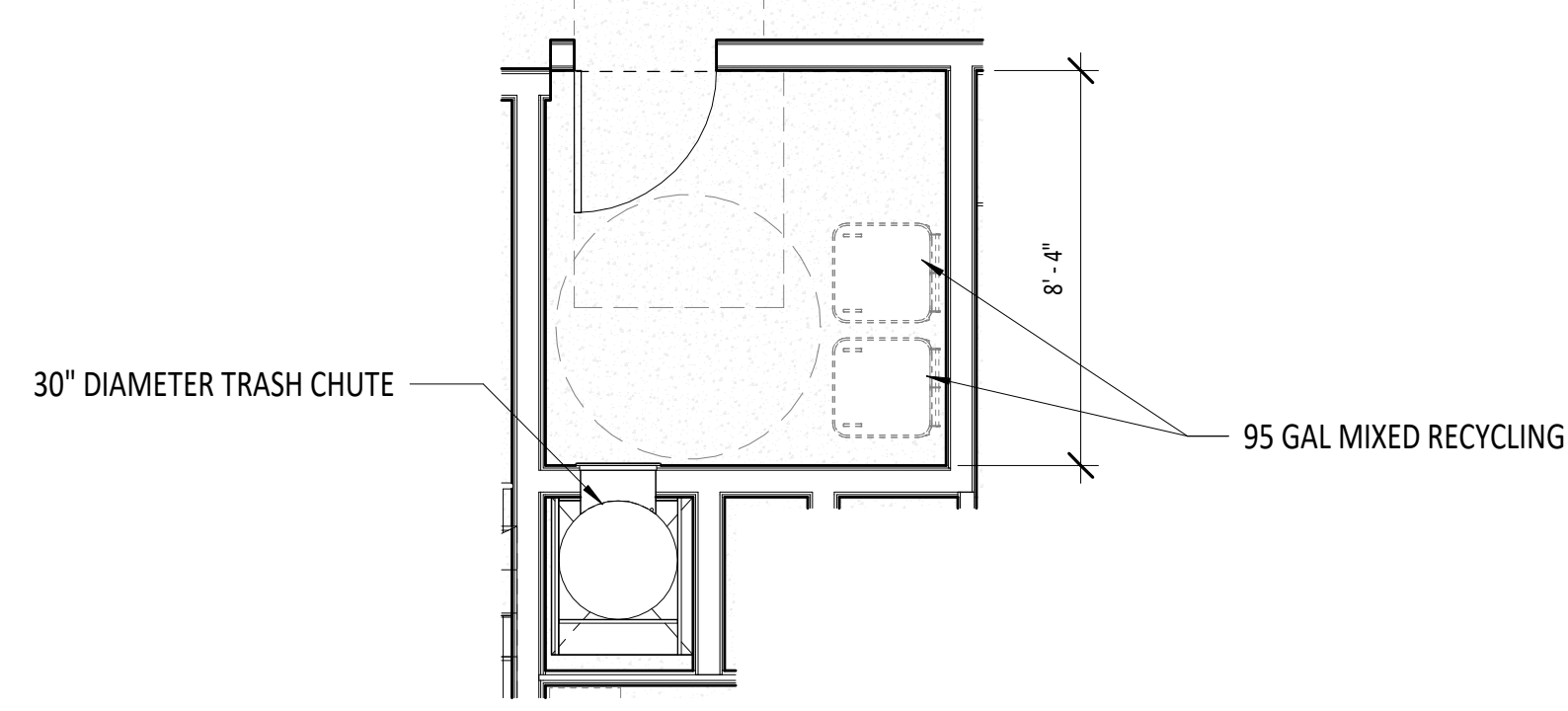
SHEET REVISION REVISION NO. EVENT DATE

TRUE PLAN
NORTH NORTH
WILSONVILLE TOD

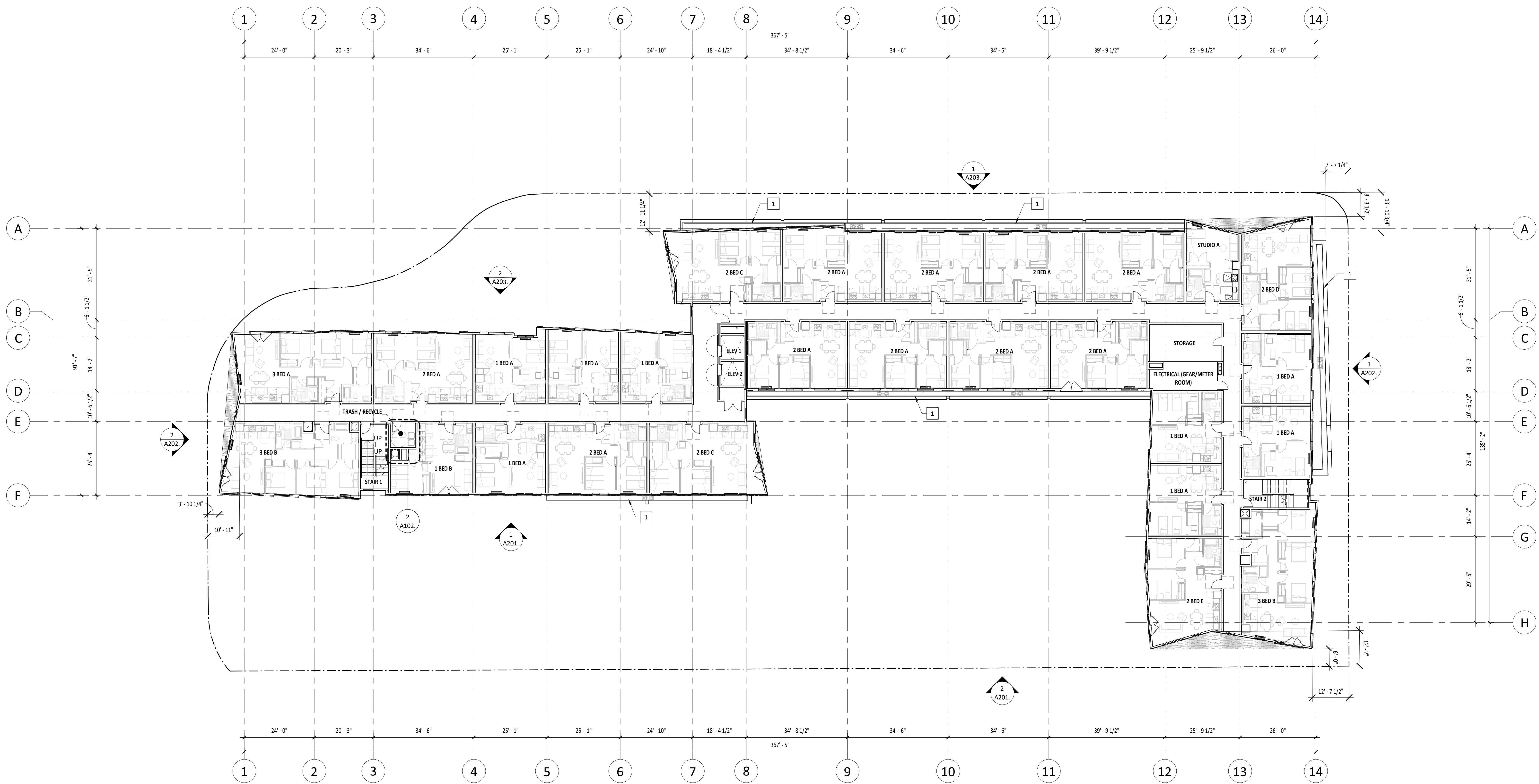
PALINDROME COMMUNITIES

ISSUANCE
LAND USE REVIEW
PROJECT NUMBER
220120
DATE
08/18/23
FULL SHEET SIZE
30 X 42
DRAWING TITLE
FLOOR PLAN - LEVEL 2 (LU)

SHEET NUMBER
A102.



2 TRASH ROOM - UPPER FLOOR, TYP. (LU)
A102. 1/4" = 1'-0"



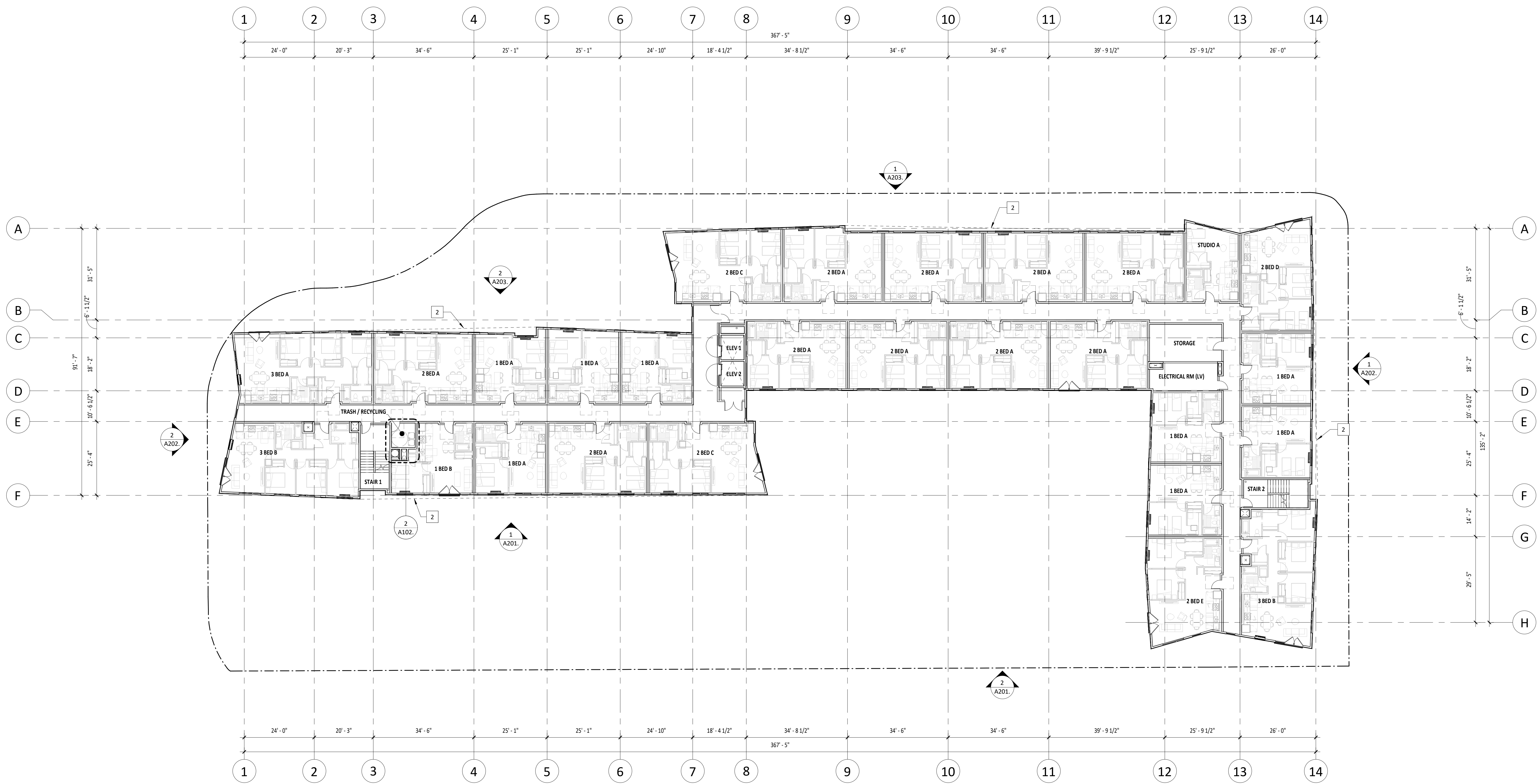
1 FLOOR PLAN - LEVEL 2 (LU)
A102. 1/16" = 1'-0"

KEY NOTES

- 1 PREFABRICATED PLANTER - SEE LANDSCAPE DRAWINGS
- 2 BUILDING OVERHANG ABOVE
- 3 RECESSED MAILBOX, TYPE 4CADD-10
- 4 PARCEL PENDING LOCKERS
- 5 MOP SINK, REFERENCE PLUMBING DRAWINGS
- 6 WATER HEATER, REFERENCE PLUMBING DRAWINGS
- 7 FLOOR-MOUNT BIKE HOOP
- 8 FLOOR-MOUNT HANGING BIKE RACK
- 9 TRASH CHUTE EXHAUST SHAFT
- 10 MECHANICAL SHAFT, REFERENCE MECHANICAL
- 11 TYPE I HOOD SHAFT
- 12 STANDPIPE, FINAL LOCATION TO BE DETERMINED BY FIRE MARSHALL
- 13 30" DIAMETER TRASH CHUTE
- 14 JULIET BALCONY RAILING, REFERENCE ELEVATIONS
- 15 GAS METERS, REFERENCE CIVIL AND PLUMBING DRAWINGS
- 16 HANDRAIL, 1-1/2" DIAMETER STEEL, INSTALL 36" ABOVE RAMP.
- 17 ELECTRICAL SHAFT, REFERENCE ELECTRICAL DRAWINGS
- 18 DAS SHAFT, REFERENCE LOW VOLTAGE DRAWINGS

GENERAL NOTES - PLANS

1. FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION. IF SITE CONDITIONS VARY FROM CONTRACT DOCUMENTS, NOTIFY ARCHITECT IN WRITING IMMEDIATELY.
2. PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES AND CABINETS. PROVIDE BLOCKING AT FUTURE GRAB BAR LOCATIONS. SEE ANSI DESIGN STANDARDS FOR GRAB BAR LOCATIONS.
3. ALL INTERIOR DOOR ROUGH OPENINGS ARE TO BE 4" FROM FACE OF STUD OF THE CLOSEST ADJACENT WALL, UNLESS NOTED OTHERWISE.
4. REFER TO CIVIL DRAWINGS FOR GRADING AND HORIZONTAL CONTROL DRAWINGS.
5. REFER TO LANDSCAPE DRAWINGS FOR ALL SITE MATERIALS, LAYOUT, AND ACCESS COMPLIANCE SITE PATH OF TRAVEL DRAWINGS.
6. MAINTAIN 7'-0" CLEAR OVERHEAD AT VAN ACCESSIBLE PARKING, PEDESTRIAN CIRCULATION, AND VEHICULAR DRIVE LANES AND MANEUVERING AREAS.
7. STAGGER ELECTRICAL OUTLETS IN DIFFERENT STUD BAYS TO AVOID BACK TO BACK CONDITIONS.
8. INSTALL CEMENTITIOUS BACKER BOARD AT ALL TILE LOCATIONS.
9. REFER TO STRUCTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS OF STRUCTURAL SLAB AND WALL ELEMENTS.
10. REFER TO EXTERIOR ELEVATIONS FOR VINYL WINDOW / DOOR LOCATIONS.
11. REFER TO ENLARGED UNIT & FINISH PLANS BEGINNING ON SHEET A410 FOR ADDITIONAL INFORMATION.
12. REFER TO SHEETS A500 - A580 FOR TYPICAL BUILDING DETAILS.
13. DASHED FFE TO BE PROVIDED BY TENANT.



STAMP

FOR
REFERENCE
ONLY

SHEET REVISION NO.	REVISION EVENT	PLAN REVISION DATE

TRUE NORTH PLAN NORTH
WILSONVILLE TOD

PALINDROME COMMUNITIES

ISSUANCE

LAND USE REVIEW

PROJECT NUMBER

220120

DATE

08/18/23

FULL SHEET SIZE

30 X 42

DRAWING TITLE

FLOOR PLAN - LEVEL 3 (LU)

SHEET NUMBER

A103.

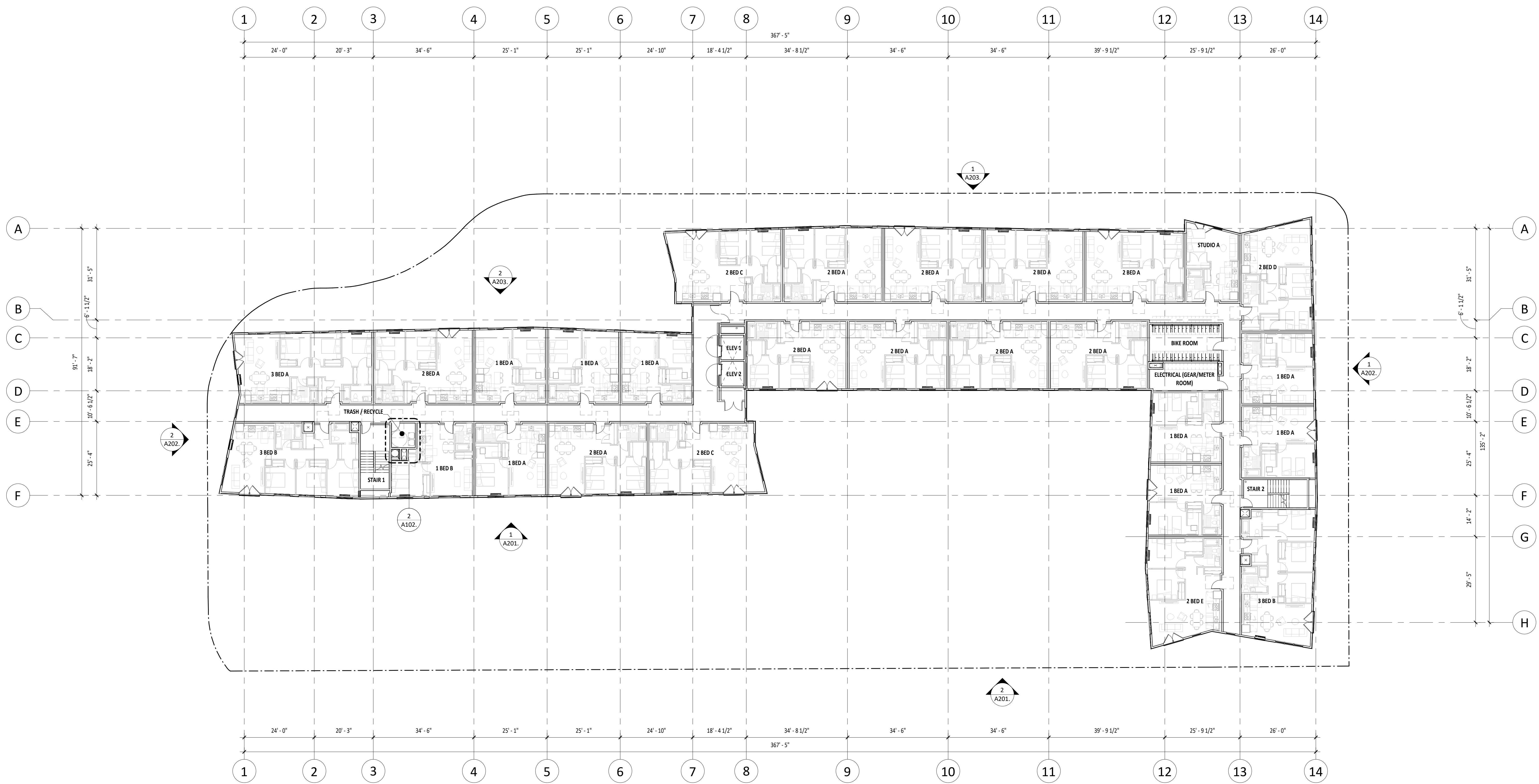
1 FLOOR PLAN - LEVEL 3 (LU)
1/16" = 1'-0"

KEY NOTES

- 1 PREFABRICATED PLANTER - SEE LANDSCAPE DRAWINGS
- 2 BUILDING OVERHANG ABOVE
- 3 RECESSED MAILBOX, TYPE 4CADD-10
- 4 PARCEL PENDING LOCKERS
- 5 MOP SINK, REFERENCE PLUMBING DRAWINGS
- 6 WATER HEATER, REFERENCE PLUMBING DRAWINGS
- 7 FLOOR-MOUNT BIKE HOOP
- 8 FLOOR-MOUNT HANGING BIKE RACK
- 9 TRASH CHUTE EXHAUST SHAFT
- 10 MECHANICAL SHAFT, REFERENCE MECHANICAL
- 11 TYPE I HOOD SHAFT
- 12 STANDPIPE, FINAL LOCATION TO BE DETERMINED BY FIRE MARSHALL
- 13 30" DIAMETER TRASH CHUTE
- 14 JULIET BALCONY RAILING, REFERENCE ELEVATIONS
- 15 GAS METERS, REFERENCE CIVIL AND PLUMBING DRAWINGS
- 16 HANDRAIL, 1-1/2" DIAMETER STEEL, INSTALL 36" ABOVE RAMP.
- 17 ELECTRICAL SHAFT, REFERENCE ELECTRICAL DRAWINGS
- 18 DAS SHAFT, REFERENCE LOW VOLTAGE DRAWINGS

GENERAL NOTES - PLANS

1. FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION. IF SITE CONDITIONS VARY FROM CONTRACT DOCUMENTS, NOTIFY ARCHITECT IN WRITING IMMEDIATELY.
2. PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES AND CABINETS. PROVIDE BLOCKING AT FUTURE GRAB BAR LOCATIONS. SEE ANS DESIGN STANDARDS FOR GRAB BAR LOCATIONS.
3. ALL INTERIOR DOOR ROUGH OPENINGS ARE TO BE 4" FROM FACE OF STUD OF THE CLOSEST ADJACENT WALL, UNLESS NOTED OTHERWISE.
4. REFER TO CIVIL DRAWINGS FOR GRADING AND HORIZONTAL CONTROL DRAWINGS.
5. REFER TO LANDSCAPE DRAWINGS FOR ALL SITE MATERIALS, LAYOUT, AND ACCESS COMPLIANCE SITE PATH OF TRAVEL DRAWINGS.
6. MAINTAIN 7'-0" CLEAR OVERHEAD AT VAN ACCESSIBLE PARKING, PEDESTRIAN CIRCULATION, AND VEHICULAR DRIVE LANES AND MANEUVERING AREAS.
7. STAGGER ELECTRICAL OUTLETS IN DIFFERENT STUD BAYS TO AVOID BACK TO BACK CONDITIONS.
8. INSTALL CEMENTITIOUS BACKER BOARD AT ALL TILE LOCATIONS.
9. REFER TO STRUCTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS OF STRUCTURAL SLAB AND WALL ELEMENTS.
10. REFER TO EXTERIOR ELEVATIONS FOR VINYL WINDOW / DOOR LOCATIONS.
11. REFER TO ENLARGED UNIT & FINISH PLANS BEGINNING ON SHEET A410 FOR ADDITIONAL INFORMATION.
12. REFER TO SHEETS A500 - A580 FOR TYPICAL BUILDING DETAILS.
13. DASHED FFE TO BE PROVIDED BY TENANT.



STAMP

FOR
REFERENCE
ONLY

SHEET REVISION NO.	REVISION EVENT	PLAN REVISION DATE



PALINDROME COMMUNITIES

ISSUANCE
LAND USE REVIEW
PROJECT NUMBER
220120
DATE
08/18/23
FULL SHEET SIZE
30 X 42
DRAWING TITLE
FLOOR PLAN - LEVEL 4 (LU)

SHEET NUMBER
A104.

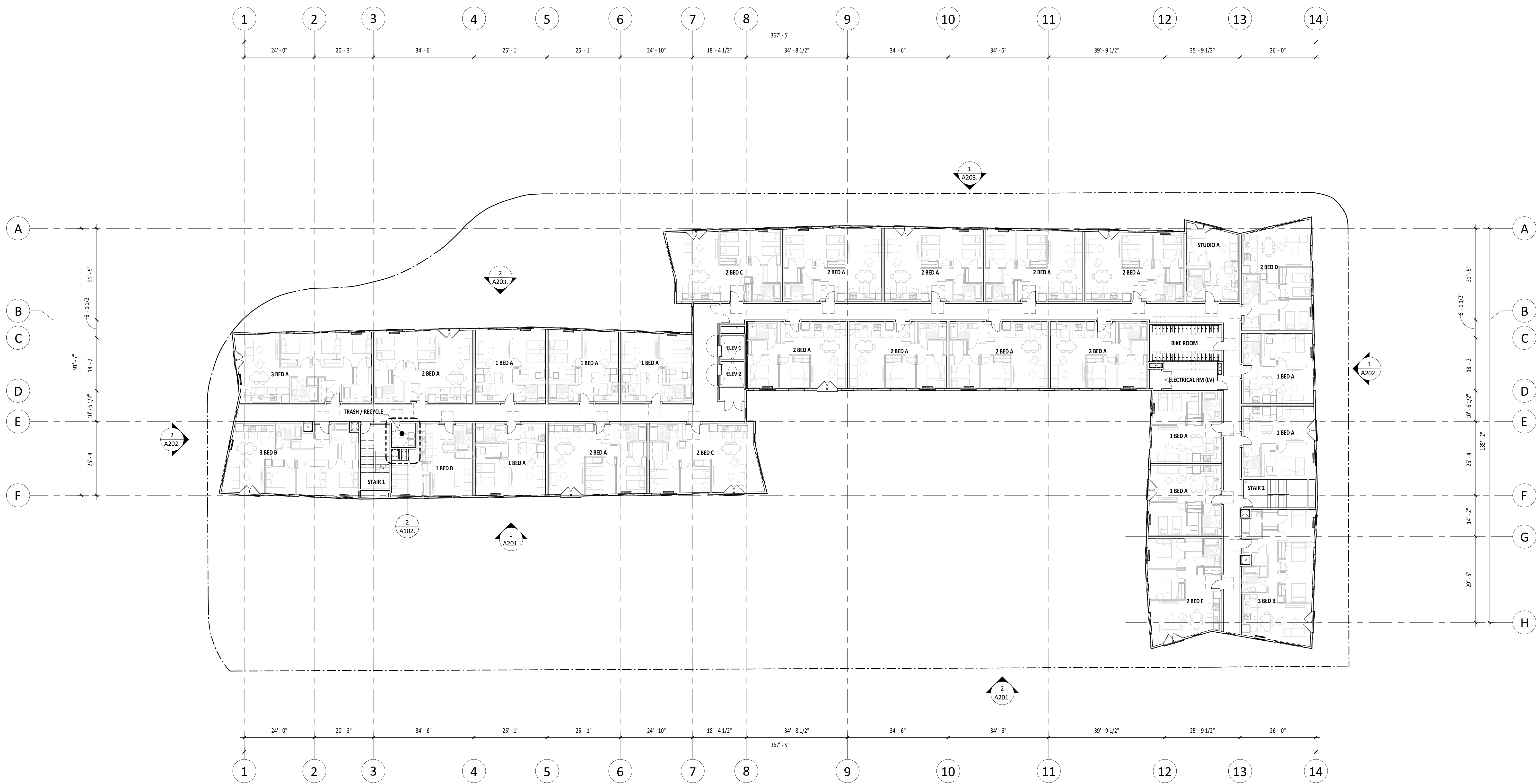
1 FLOOR PLAN - LEVEL 4 (LU)
A104 1/16" = 1'-0"

KEY NOTES

- 1 PREFABRICATED PLANTER - SEE LANDSCAPE DRAWINGS
- 2 BUILDING OVERHANG ABOVE
- 3 RECESSED MAILBOX, TYPE 4CADD-10
- 4 PARCEL PENDING LOCKERS
- 5 MOP SINK, REFERENCE PLUMBING DRAWINGS
- 6 WATER HEATER, REFERENCE PLUMBING DRAWINGS
- 7 FLOOR-MOUNT BIKE HOOP
- 8 FLOOR-MOUNT HANGING BIKE RACK
- 9 TRASH CHUTE EXHAUST SHAFT
- 10 MECHANICAL SHAFT, REFERENCE MECHANICAL
- 11 TYPE I HOOD SHAFT
- 12 STANDPIPE, FINAL LOCATION TO BE DETERMINED BY FIRE MARSHALL
- 13 30" DIAMETER TRASH CHUTE
- 14 JULIET BALCONY RAILING, REFERENCE ELEVATIONS
- 15 GAS METERS, REFERENCE CIVIL AND PLUMBING DRAWINGS
- 16 HANDRAIL, 1-1/2" DIAMETER STEEL, INSTALL 36" ABOVE RAMP.
- 17 ELECTRICAL SHAFT, REFERENCE ELECTRICAL DRAWINGS
- 18 DAS SHAFT, REFERENCE LOW VOLTAGE DRAWINGS

GENERAL NOTES - PLANS

1. FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION. IF SITE CONDITIONS VARY FROM CONTRACT DOCUMENTS, NOTIFY ARCHITECT IN WRITING IMMEDIATELY.
2. PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES AND CABINETS. PROVIDE BLOCKING AT FUTURE GRAB BAR LOCATIONS. SEE ANSI DESIGN STANDARDS FOR GRAB BAR LOCATIONS.
3. ALL INTERIOR DOOR ROUGH OPENINGS ARE TO BE 4" FROM FACE OF STUD OF THE CLOSEST ADJACENT WALL, UNLESS NOTED OTHERWISE.
4. REFER TO CIVIL DRAWINGS FOR GRADING AND HORIZONTAL CONTROL DRAWINGS.
5. REFER TO LANDSCAPE DRAWINGS FOR ALL SITE MATERIALS, LAYOUT, AND ACCESS COMPLIANCE SITE PATH OF TRAVEL DRAWINGS.
6. MAINTAIN 7'-0" CLEAR OVERHEAD AT VAN ACCESSIBLE PARKING, PEDESTRIAN CIRCULATION, AND VEHICULAR DRIVE LANES AND MANEUVERING AREAS.
7. STAGGER ELECTRICAL OUTLETS IN DIFFERENT STUD BAYS TO AVOID BACK TO BACK CONDITIONS.
8. INSTALL CEMENTITIOUS BACKER BOARD AT ALL TILE LOCATIONS.
9. REFER TO STRUCTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS OF STRUCTURAL SLAB AND WALL ELEMENTS.
10. REFER TO EXTERIOR ELEVATIONS FOR VINYL WINDOW / DOOR LOCATIONS.
11. REFER TO ENLARGED UNIT & FINISH PLANS BEGINNING ON SHEET A410 FOR ADDITIONAL INFORMATION.
12. REFER TO SHEETS A500 - A580 FOR TYPICAL BUILDING DETAILS.
13. DASHED FFE TO BE PROVIDED BY TENANT.



STAMP

FOR
REFERENCE
ONLY

SHEET REVISION NO.	REVISION EVENT	PLAN REVISION DATE

TRUE NORTH PLAN NORTH
WILSONVILLE TOD

PALINDROME COMMUNITIES
ISSUANCE
LAND USE REVIEW
PROJECT NUMBER
220120
DATE
08/18/23
FULL SHEET SIZE
30 X 42
DRAWING TITLE
FLOOR PLAN - LEVEL 5 (LU)

SHEET NUMBER
A105.

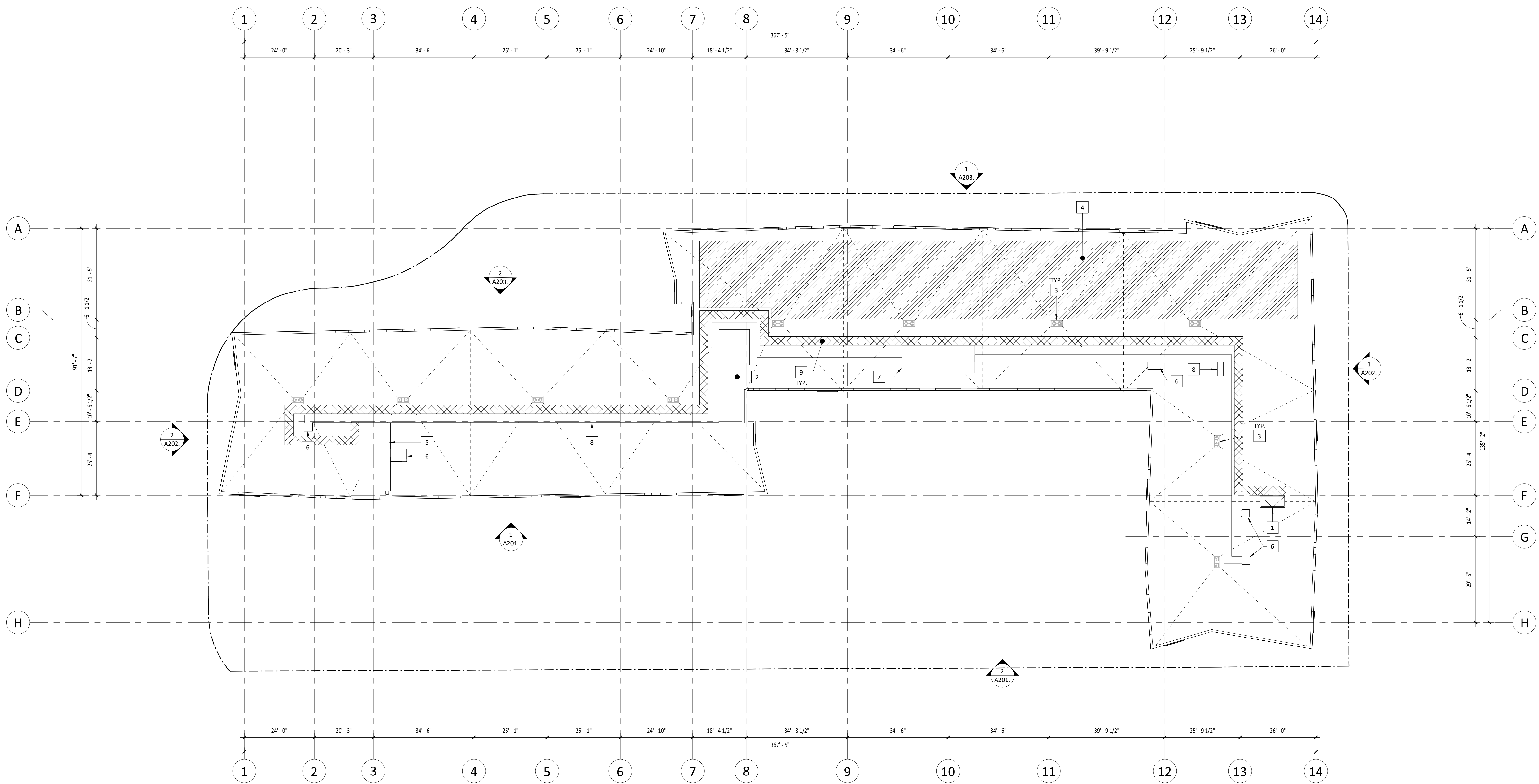
1 FLOOR PLAN - LEVEL 5 (LU)
A105. 1/16" = 1'-0"

KEY NOTES

- 1 ROOF ACCESS HATCH
- 2 ELEVATOR OVERRUN
- 3 ROOF DRAIN WITH OVERFLOW, REFERENCE PLUMBING
- 4 PV ARRAY
- 5 STAIR OVERRUN - FULL STAIR ACCESS TO ROOF
- 6 MECHANICAL CURB
- 7 MECHANICAL ROOFTOP UNIT, REFERENCE MECHANICAL
- 8 MECHANICAL DUCT, REFERENCE MECHANICAL
- 9 36" WIDE NON-SUP WALKING SURFACE

GENERAL NOTES - PLANS

1. FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION. IF SITE CONDITIONS VARY FROM CONTRACT DOCUMENTS, NOTIFY ARCHITECT IN WRITING IMMEDIATELY.
2. PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES AND CABINETS. PROVIDE BLOCKING AT FUTURE GRAB BAR LOCATIONS. SEE ANSI DESIGN STANDARDS FOR GRAB BAR LOCATIONS.
3. ALL INTERIOR DOOR ROUGH OPENINGS ARE TO BE 4" FROM FACE OF STUD OF THE CLOSEST ADJACENT WALL, UNLESS NOTED OTHERWISE.
4. REFER TO CIVIL DRAWINGS FOR GRADING AND HORIZONTAL CONTROL DRAWINGS.
5. REFER TO LANDSCAPE DRAWINGS FOR ALL SITE MATERIALS, LAYOUT, AND ACCESS COMPLIANCE SITE PATH OF TRAVEL DRAWINGS.
6. MAINTAIN 7'-0" CLEAR OVERHEAD AT VAN ACCESSIBLE PARKING, PEDESTRIAN CIRCULATION, AND VEHICULAR DRIVE LANES AND MANEUVERING AREAS.
7. STAGGER ELECTRICAL OUTLETS IN DIFFERENT STUD BAYS TO AVOID BACK TO BACK CONDITIONS.
8. INSTALL CEMENTITIOUS BACKER BOARD AT ALL TILE LOCATIONS.
9. REFER TO STRUCTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS OF STRUCTURAL SLAB AND WALL ELEMENTS.
10. REFER TO EXTERIOR ELEVATIONS FOR VINYL WINDOW / DOOR LOCATIONS.
11. REFER TO ENLARGED UNIT & FINISH PLANS BEGINNING ON SHEET A410 FOR ADDITIONAL INFORMATION.
12. REFER TO SHEETS A500 - A580 FOR TYPICAL BUILDING DETAILS.
13. DASHED FFE TO BE PROVIDED BY TENANT.



STAMP

FOR
REFERENCE
ONLY

SHEET REVISION NO. EVENT REVISION DATE

TRUE PLAN NORTH NORTH
WILSONVILLE TOD

PALINDROME COMMUNITIES
ISSUANCE
LAND USE REVIEW
PROJECT NUMBER
220120
DATE
08/18/23
FULL SHEET SIZE
30 X 42
DRAWING TITLE
ROOF PLAN (LU)

SHEET NUMBER
A106.

1 ROOF PLAN (LU)
A106 1/16" = 1'-0"

KEYNOTES

NOTE: SEE SHEET A500 FOR IMAGES OF PROPOSED EXTERIOR MATERIALS & ADDITIONAL INFORMATION NOT SHOWN HERE.

1. BRICK VENEER 1
2. BRICK VENEER 2
3. METAL PANEL 1
4. METAL PANEL 2
5. METAL PANEL 3
6. COMPOSITE WOOD PLANK CLADDING
7. 18" TALL BOARD-FORMED CONCRETE WALL, STAINED BLACK
8. PERFORATED METAL PANEL AT UNIT INTAKE VENT SLOTS & PTHP EXHAUST
9. MECHANICAL LOUVER, BLACK
10. EXTERIOR WALL SCONCE, BLACK
11. VINYL WINDOW, BLACK
12. VINYL SWING DOOR, BLACK
13. STEEL PICKET BALCONY RAILING, BLACK
14. ALUMINUM STOREFRONT SYSTEM, BLACK
15. STEEL PLATE CANOPY, BLACK
16. RAISED DECK PLANTER AT LEVEL 2 - SEE LANDSCAPE DRAWINGS
17. GLAZED OVERHEAD DOOR
18. METAL FENCE, REFERENCE LANDSCAPE DRAWINGS

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO CIVIL DRAWINGS FOR GRADING.
2. FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION, IF SITE CONDITIONS VARY FROM CONTRACT DOCUMENTS, NOTIFY ARCHITECT IN WRITING IMMEDIATELY.
3. SEE PLANS FOR ALL DOOR TAGS.



1 SOUTH ELEVATION 1 - LAND USE REVIEW
A201 / 1/8" = 1'-0"



2 SOUTH ELEVATION 2 - LAND USE REVIEW
A201 / 1/8" = 1'-0"

STAMP

FOR
REFERENCE
ONLY

SHEET REVISION NO. EVENT REVISION DATE

TRUE NORTH
WILSONVILLE TOD

PALINDROME COMMUNITIES

ISSUANCE

LAND USE REVIEW

PROJECT NUMBER

220120

DATE

08/18/23

FULL SHEET SIZE

30 X 42

DRAWING TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201

KEYNOTES

NOTE: SEE SHEET A500 FOR IMAGES OF PROPOSED EXTERIOR MATERIALS & ADDITIONAL INFORMATION NOT SHOWN HERE.

1. BRICK VENEER 1
2. BRICK VENEER 2
3. METAL PANEL 1
4. METAL PANEL 2
5. METAL PANEL 3
6. COMPOSITE WOOD PLANK CLADDING
7. 18" TALL BOARD-FORMED CONCRETE WALL, STAINED BLACK
8. PERFORATED METAL PANEL AT UNIT INTAKE VENT SLOTS & PHP EXHAUST
9. MECHANICAL LOUVER, BLACK
10. EXTERIOR WALL SCONCE, BLACK
11. VINYL WINDOW, BLACK
12. VINYL SWING DOOR, BLACK
13. STEEL PICKET BALCONY RAILING, BLACK
14. ALUMINUM STOREFRONT SYSTEM, BLACK
15. STEEL PLATE CANOPY, BLACK
16. RAISED DECK PLANTER AT LEVEL 2 - SEE LANDSCAPE DRAWINGS
17. GLAZED OVERHEAD DOOR
18. METAL FENCE, REFERENCE LANDSCAPE DRAWINGS

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO CIVIL DRAWINGS FOR GRADING.
2. FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION, IF SITE CONDITIONS VARY FROM CONTRACT DOCUMENTS, NOTIFY ARCHITECT IN WRITING IMMEDIATELY.
3. SEE PLANS FOR ALL DOOR TAGS.

STAMP

FOR
REFERENCE
ONLY

SHEET	REVISION	REVISION	REVISION
REVISION NO.	EVENT	DATE	DATE



1 EAST ELEVATION - LAND USE REVIEW
A202 1/8" = 1'-0"



2 WEST ELEVATION - LAND USE REVIEW
A202 1/8" = 1'-0"

KEYNOTES

NOTE: SEE SHEET A300 FOR IMAGES OF PROPOSED EXTERIOR MATERIALS & ADDITIONAL INFORMATION NOT SHOWN HERE.

1. BRICK VENEER 1
2. BRICK VENEER 2
3. METAL PANEL 1
4. METAL PANEL 2
5. METAL PANEL 3
6. COMPOSITE WOOD PLANK CLADDING
7. 18" TALL BOARD-FORMED CONCRETE WALL, STAINED BLACK
8. PERFORATED METAL PANEL AT UNIT INTAKE VENT SLOTS & PTHP EXHAUST
9. MECHANICAL LOUVER, BLACK
10. EXTERIOR WALL SCONCE, BLACK
11. VINYL WINDOW, BLACK
12. VINYL SWING DOOR, BLACK
13. STEEL PICKET BALCONY RAILING, BLACK
14. ALUMINUM STOREFRONT SYSTEM, BLACK
15. STEEL PLATE CANOPY, BLACK
16. RAISED DECK PLANTER AT LEVEL 2 - SEE LANDSCAPE DRAWINGS
17. GLAZED OVERHEAD DOOR
18. METAL FENCE, REFERENCE LANDSCAPE DRAWINGS

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO CIVIL DRAWINGS FOR GRADING.
2. FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION, IF SITE CONDITIONS VARY FROM CONTRACT DOCUMENTS, NOTIFY ARCHITECT IN WRITING IMMEDIATELY.
3. SEE PLANS FOR ALL DOOR TAGS.



1 NORTH ELEVATION 1 - LAND USE REVIEW
1/8" = 1'-0"



2 NORTH ELEVATION 2 - LAND USE REVIEW
1/8" = 1'-0"

STAMP

FOR
REFERENCE
ONLY

SHEET REVISION NO.	REVISION EVENT	REVISION DATE

TRUE NORTH
WILSONVILLE TOD

PALINDROME COMMUNITIES

ISSUANCE
LAND USE REVIEW

PROJECT NUMBER
220120

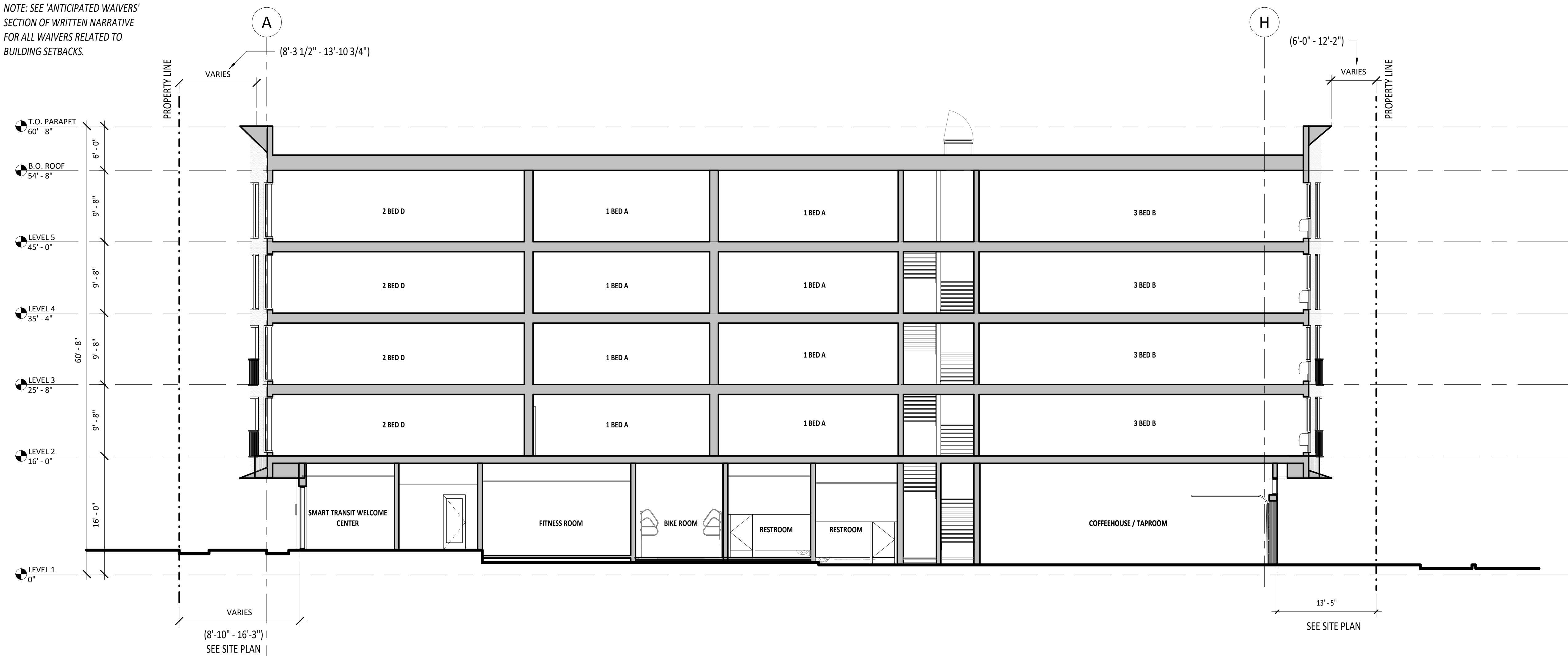
DATE
08/18/23

FULL SHEET SIZE
30 X 42

DRAWING TITLE
EXTERIOR ELEVATIONS

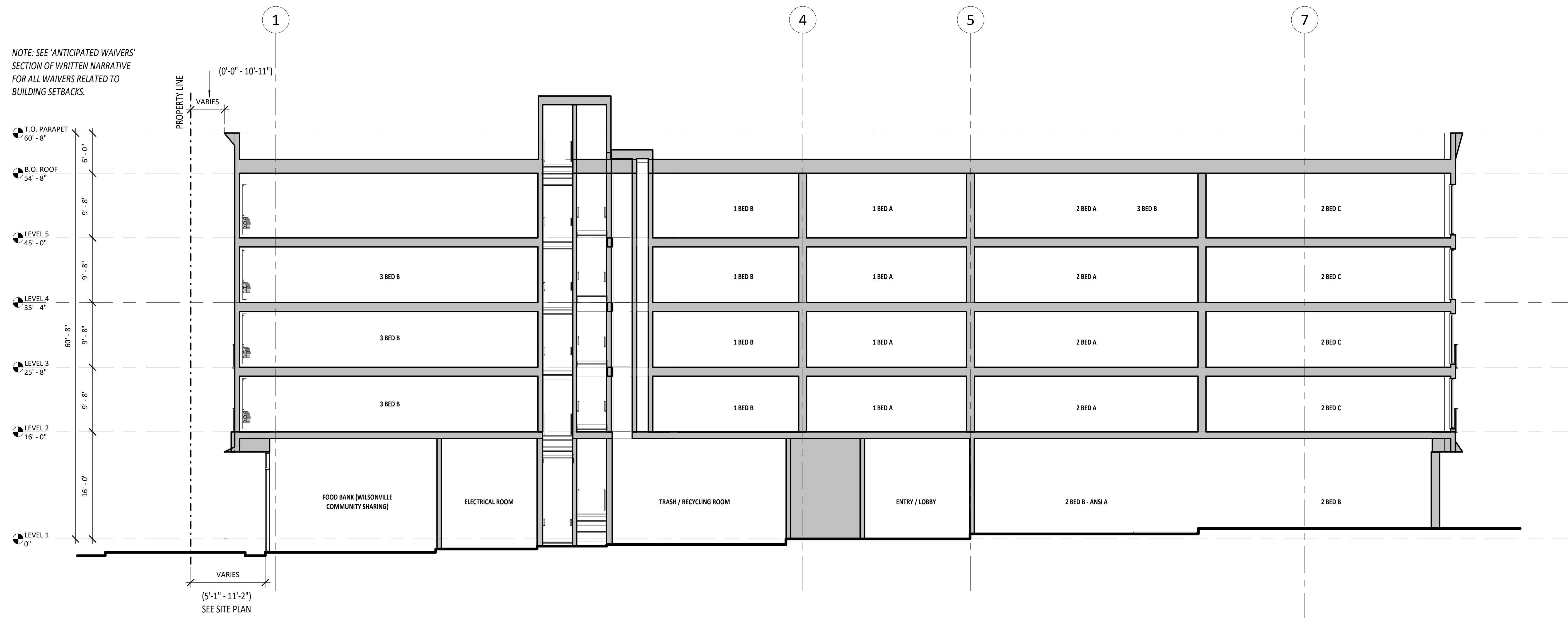
SHEET NUMBER
A203

NOTE: SEE 'ANTICIPATED WAIVERS' SECTION OF WRITTEN NARRATIVE FOR ALL WAIVERS RELATED TO BUILDING SETBACKS.



3 BUILDING SECTION A (LU)
A301. 1/8" = 1'-0"

NOTE: SEE 'ANTICIPATED WAIVERS' SECTION OF WRITTEN NARRATIVE FOR ALL WAIVERS RELATED TO BUILDING SETBACKS.



2 BUILDING SECTION B (LU)
A301. 1/8" = 1'-0"

GENERAL NOTES - BUILDING SECTIONS

1. FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION. IF SITE CONDITIONS VARY FROM CONTRACT DOCUMENTS, NOTIFY ARCHITECT IN WRITING IMMEDIATELY.
2. ALL STAIRS, HANDRAILS AND GUARDRAILS ARE TO MEET CODE REQUIREMENTS.
3. ALL STRUCTURAL MEMBERS SHOWN HERE ARE DIAGNOSTIC - SEE STRUCTURAL.
4. REFER TO G-000 SERIES DRAWINGS FOR CODE SUMMARY AND EXTENT OF FIRE-RATED CONSTRUCTION.
5. REFER TO CIVIL DRAWINGS FOR GRADING AND HORIZONTAL CONTROL DRAWINGS.
6. REFER TO LANDSCAPE DRAWINGS FOR ALL SITE MATERIALS, LAYOUT, AND ACCESS COMPLIANCE SITE PATH OF TRAVEL DRAWINGS.

KEY NOTES

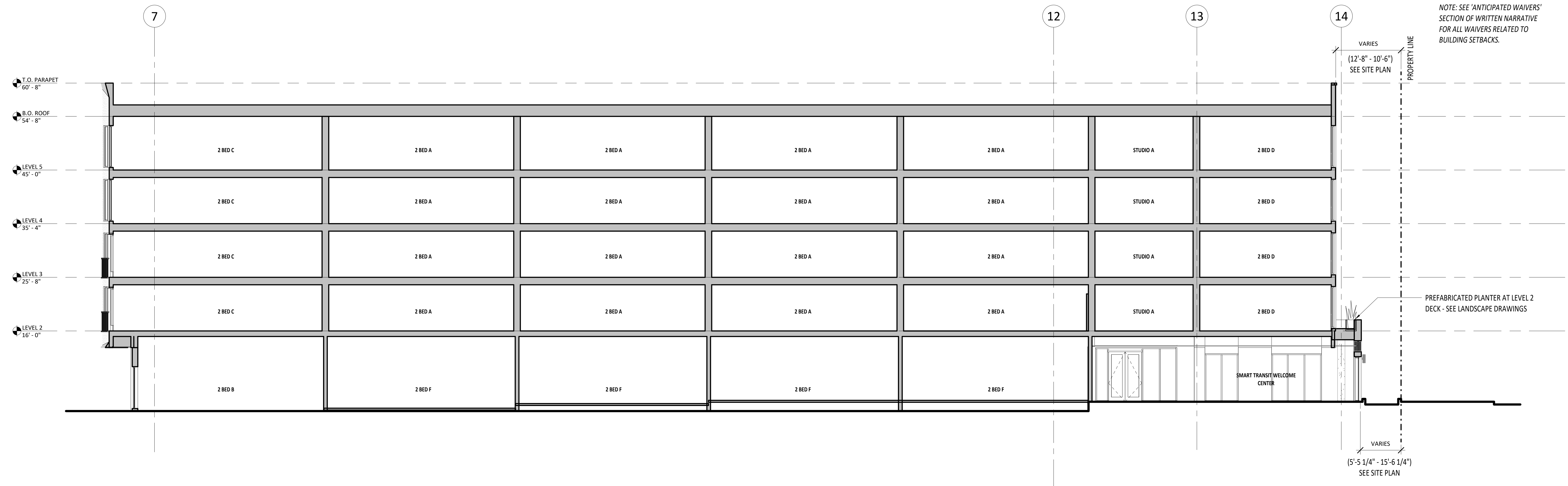
STAMP

FOR
REFERENCE
ONLY

SHEET	REVISION	REVISION
REVISION NO.	EVENT	DATE

GENERAL NOTES - BUILDING SECTIONS

1. FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION. IF SITE CONDITIONS VARY FROM CONTRACT DOCUMENTS, NOTIFY ARCHITECT IN WRITING IMMEDIATELY.
2. ALL STAIRS, HANDRAILS AND GUARDRAILS ARE TO MEET CODE REQUIREMENTS. MAXIMUM STAIR RISE = 7". MINIMUM STAIR RUN = 11".
3. ALL STRUCTURAL MEMBERS SHOWN HERE ARE DIAGRAMMATIC. SEE STRUCTURAL DRAWINGS FOR CODE SUMMARY AND EXTENT OF FIRE-RATED CONSTRUCTION.
4. REFER TO G-000 SERIES DRAWINGS FOR CODE SUMMARY AND EXTENT OF FIRE-RATED CONSTRUCTION.
5. REFER TO CIVIL DRAWINGS FOR GRADING AND HORIZONTAL CONTROL DRAWINGS.
6. REFER TO LANDSCAPE DRAWINGS FOR ALL SITE MATERIALS, LAYOUT, AND ACCESS COMPLIANCE SITE PATH OF TRAVEL DRAWINGS.



1 BUILDING SECTION C (LU)
A302. 1/8" = 1'-0"

STAMP

FOR
REFERENCE
ONLY

SHEET REVISION NO.	REVISION EVENT	REVISION DATE



VIEW FROM SOUTHEAST CORNER



VIEW FROM NORTHEAST



VIEW FROM NORTHWEST

MATERIAL LEGEND

<p>BRICK VENEER 1: FULL BRICK FINISH: GLAZED, BLUE COLOR LOCATION: GROUND FLOOR MAIN FACADES</p>	<p>BRICK VENEER 2: FULL BRICK FINISH: CLINKER, CHARCOAL COLOR LOCATION: GROUND FLOOR MAIN FACADES</p>	<p>METAL PANEL 1: 18-20 GAUGE METAL PANEL FINISH: BLUE LOCATION: UPPER FLOOR FACADES</p>	<p>METAL PANEL 2: 18-20 GAUGE METAL PANEL FINISH: CHARCOAL GRAY LOCATION: UPPER FLOOR FACADES</p>	<p>METAL PANEL 3: 18-20 GAUGE METAL PANEL FINISH: BLACK LOCATION: METAL PANEL BETWEEN WINDOWS, AND AT UNIT VENTING SLOTS</p>
<p>COMPOSITE WOOD PLANK CLADDING 4"-6" WIDE PLANK LOCATION: UPPER FLOOR PROMINENT FACADES, BUILDING ENTRIES/EXITS, EXTERIOR SOFFITS</p>	<p>BOARD-FORMED CONCRETE, STAINED LOCATION: GROUND FLOOR UNIT PLANTER/ LOW SCREENING WALLS</p>	<p>PERFORATED METAL PANEL LOCATION: UPPER FLOOR FACADES, USED TO CONCEAL UNIT INTAKE VENTS</p>	<p>CUSTOM LOUVER BLACK FINISH LOCATION: EXHAUST VENTS FOR RESIDENTIAL UNITS & GENERAL BUILDING VENTING</p>	<p>EXTERIOR WALL SCONCE - UP/DOWN LIGHT BLACK FINISH</p>
<p>RESIDENTIAL WINDOWS / DOORS VINYL, BLACK</p>	<p>RESIDENTIAL JULIET BALCONY RAILINGS PICKET RAILING, BLACK</p>	<p>ALUMINUM STOREFRONT SYSTEM, BLACK LOCATION: RETAIL/COMMERCIAL TENANT SPACES, GROUND FLOOR COMMON RESIDENTIAL SPACES</p>	<p>STEEL PLATE CANOPIES BLACK TO MATCH STOREFRONTS</p>	

STAMP

FOR
REFERENCE
ONLY

SHEET REVISION NO. EVENT REVISION DATE