# DELTA LOGISTICS 9710 SW DAY RD. CITY OF WILSONVILLE, OR

LAND USE RESUBMITTAL - JULY 26, 2022

**OWNER** 

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GEOTECH CONSULTANT

CONTACT: BRETT SHIPTON EMAIL: BRETT.SHIPTON@NV5.COM TELEPHONE: 503-968-8787

GENERAL CONTRACTOR **BUILT ENVIRONMENTS NORTHWEST** TELEPHONE: 503.650.4086 CONTACT: ANDREI SHUPENKA

FIRE PROTECTION

1 BUILDING PERSPECTIVE

EMAIL: ANDREIS@BE-NW.COM

TO BE DETERMINED TELEPHONE: TBD CONTACT: TBD EMAIL: TBD

**ARCHITECT** 

MACKENZIE 1515 SE WATER AVE, SUITE 100 PORTLAND, OR 97214 TELEPHONE: 503-224-9560 PRINCIPAL: JOSH MCDOWELL ARCHITECT OF RECORD: SCOTT MOORE PROJECT MANAGER: ADAM GOLDBERG

**CIVIL ENGINEER** MACKENZIE

1515 SE WATER AVE, SUITE 100 PORTLAND, OR 97214 TELEPHONE: 503-224-9560 **ENGINEER: BRENT NIELSEN** EMAIL: BNIELSEN@MCKNZE.COM

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LANDSCAPE ARCHITECT

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STRUCTURAL ENGINEER

MACKENZIE 1515 SE WATER AVE, SUITE 100 PORTLAND, OR 97214 TELEPHONE: 503-224-9560 ENGINEER: RYAN BAKER EMAIL: RBAKER@MCKNZE.COM SITE INFORMATION

ADDRESS: 9710 SW DAY RD. CITY OF WILSONVILLE, OR REFER TO CIVIL PLANS FOR ADDITIONAL SITE INFORMATION

**BUILDING INFORMATION** 

SQUARE FEET BUILDING 58,116 SF <u>FLOOR 1</u> WAREHOUSE 55,569 SF 2,437 SF OFFICE (F) (2,037 SF) 2,196 SF

**GEOTECHNICAL REPORT** 

1,833 SF

SEE APPENDIX ONE IN THE SPECIFICATION BOOK FOR GEOTECHNICAL REPORT DATED 6/30/2021 AND ADDENDUM #1 DATED 11/19/2021

**PERMITS** 

MEZZANINE (F)

EARLY GRADING:

**DEFERRED SUBMITTALS** 

 DESIGN BUILD STAIRS OPEN WEB METAL JOIST & GIRDERS STOREFRONT SYSTEM AND ATTACHMENT BUCKLING - RESTRAINED BRACE & CONNECTION

 ELECTRICAL PLUMBING FIRE PROTECTION

MECHANICAL

SEPARATE PERMITS

 DESIGN BUILD FIRE SPRINKLER DESIGN BUILD FIRE ALARM MECHANICAL ELECTRICAL PLUMBING

 PUBLIC WORKS UNDERGROUND FIRE LINES EMERGENCY RESPONSE RADIO COVERAGE (ERRC)

 FIRE PUMP (INSTALLED PER NFPA 20) • DIESEL FUEL TANK (PER 2019 OFC CHPTER 57 & NFPA 30). INCLUDE FUEL FILL PLAN

 KNOXBOX WAREHOUSE RACKING WAREHOUSE EQUIPMENT AND ATTACHMENT

1. DESIGN BUILDERS ARE FULLY RESPONSIBLE FOR THE DESIGN OF THESE SYSTEMS / COMPONENTS. THESE SYSTEMS / COMPONENTS SHOWN ON DOCUMENTS ARE SCHEMATIC ONLY: THEY ARE NOT INTENDED TO REPRESENT FINAL / CODE COMPLIANT DESIGN. PROVIDE DESIGN DOCUMENT SUBMITTAL TO MACKENZIE FOR REVIEW PRIOR TO SUBMITTAL TO CITY OF WILSONVILLE, OREGON.



2 VICINITY MAP
G0.01 NTS

Planning - Engineering

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BUILDING ELEVATIONS TILT DETAILS

Vancouver, WA 360.695.7879 Seattle, WA 206.749.9993 www.mcknze.com MACKENZIE

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REVISION SCHEDULE

TITLE SHEET **INDEX** 

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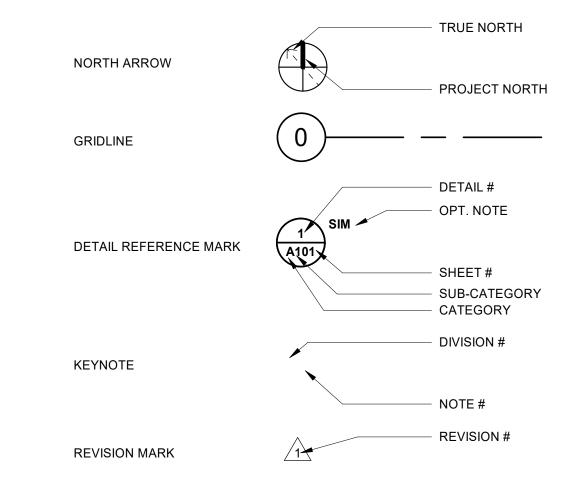
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LAND USE RESUBMITTAL 07/26/22

#### STANDARD ABBREVIATIONS

STANDAR	RD ABBREVIATIONS						
						_	
@ ^P	AT ANCHOR BOLT	EOP EP	EDGE OF PANEL EPOXY PAINT / EDGE OF PAVEMENT	L	ANGLE LAMINATE	R RAD	RADIUS RADIUL
AB AC	ASPHALTIC CONCRETE	EPDM	ETHYLENE PROPYLENE DIENE	LAM LAV	LAVATORY	RAD RB	RUBBER BASE
ACI	AMERICAN CONCRETE INSTITUTE	LI DIVI	MONOMER	LB	LAG BOLT	RBE	ROOF BASE ELEVATION
ADA	AMERICANS WITH DISIBILITIES ACT	EQ	EQUAL	LL	LIVE LOAD	RCP	REFLECTED CEILING PLAN
ADD'L	ADDITIONAL	ES	EACH SIDE	LLV	LONG LEG VERTICAL	RD	ROOF DRAIN
ADJ	ADJACENT/ ADJUSTABLE	ETC	EPOXY TRAFFIC COATING / ETCETERA	LONG / LONGIT	LONGITUDINAL	RECEPT	RECEPTION(IST)
AESS	ARCHITECTURALLY EXPOSED	EW	EACH WAY	LP	LOWPOINT	REF	REFERENCE / REFRIGERATOR
٨٢٢	STRUCTURAL STEEL ABOVE FINISH FLOOR	EXP EXP JT / EJ	EXPOSED STRUCTURE EXPANSION JOINT	LSL	LAMINATED STRAND LUMBER	REINF	REINFORCING
AFF AISC	AMERICAN INSTITUTE OF STEEL	EXP J1 / EJ	EXTERIOR	LVL	LAMINATED VENEER LUMBER	REQ / REQ'D	REQUIRED
Aloo	CONSTRUCTION	LXI	EXTERIOR	LWC	LIGHTWEIGHT CONCRETE	REV RM	REVISION ROOM
AL / ALUM	ALUMINUM	F/	FACE OF	M	MIRROR	RO	ROUGH OPENING
ALT	ALTERNATE	F/STUD	FACE OF STUD	M/E/P	MECHANICAL/ ELECTRICAL/ PLUMBING	ROW	RIGHT OF WAY
APPROX	APPROXIMATE	FB	FLAT BAR		OR PROCESS		
ARCH	ARCHITECT(URAL)	FC	FACE OF CURB	MANF	MANUFACTURER	S	STAIN
ATR	ALL-THREAD ROD	FD	FLOOR DRAIN	MAS	MASONRY	SAT	SUSPENDED ACOUSTICAL TILE
D/	BOTTOM OF	FDC	FIRE DEPARTMENT CONNECTION	MATL	MATERIAL	SC	SEALED CONCRETE / SOLID CORE
B/ BATT	BATTEN INSULATION	FE FF	FIRE EXTINGUISHER FACTORY FINISH / FINISHED FACE	MAX	MAXIMUM	COLIED	WOOD
BD	BOARD	FFE FFE	FINISH FLOOR ELEVATION	MB MDF/MDO	MACHINE BOLT MEDIUM DENSITY FIBERBOARD /	SCHED SCM	SCHEDULE STRUCTURAL CLAY MASONRY
BLD / BLDG	BUILDING	FIN	FINISH(ED)	IVIDI /IVIDO	OVERLAY	SF	STORE FRONT / SQUARE FEET
BLK	BLOCK	FL	FLUSH	MECH	MECHANICAL	SFRS	SEISMIC FORCE RESISTING SYSTEM
BLKG	BLOCKING	FLR	FLOOR	MFD	MANUFACTURED	SHTG / SHT'G	SHEATHING
BM	BENCHMARK / BEAM	FM	FACTORY MUTUAL	MFG	MANUFACTURING	SIM	SIMILAR
BN	BOUNDARY NAIL	FN	FIELD NAILING	MFR	MANUFACTURER	SLRS	SEISMIC LOAD RESISTIVE SYSTEM
BOT / BOTT	BOTTOM	FND	FOUNDATION	MGR	MANAGER	SLV	SHORT LEG VERTICAL
BRG	BEARING	FOC	FACE OF CONCRETE	MH	MAN HOLE	SMS	SHEET METAL SCREW
BSMT BTWN	BASEMENT BETWEEN	FOF	FACE OF FINISH	MIN MISC	MINIMUM MISCELLANEOUS	SOG	SLAB ON GRADE
BUR	BUILT UP ROOFING	FOIC	FURNISH BY OWNER INSTALL BY CONTRACTOR	MK	MARK	SP	SPACE(D)(S)
DOIX	BOILT OF TOOL ING	FOM	FACE OF MASONRY	MLP	METAL LINEAR PANEL	SPEC(S) SQ	SPECIFICATION(S) SQUARE
CAB	CABINET	FOS	FACE OF STUD	MO	MASONRY OPENING	SS	STAINLESS STEEL / SOLID SURFACE
СВ	CATCH BASIN	FOW	FACE OF WALL	MOD BIT	MODIFIED BITUMINOUS	ST	STONE
CDF	CONTROLLED DENSITY FILL	FS	FAR SIDE	MP	METAL PANEL	STA PT	STATION POINT
CIP	CAST IRON	FT	FEET/FOOT FIRE TREATED	MTL	METAL	STAGG	STAGGERED
CJ	CONTROL JOINT	FTG	FOOTING			STD	STANDARD
CL/L	CENTERLINE			(N)	NEW	STIFF	STIFFENER
CLNG	CEILING	GA	GAUVANIZED	NFPA	NATIONAL FIRE PROTECTION AGENCY	STL	STEEL
CLR CMP	CLEAR CORRUGATED METAL PIPE	GALV GEN	GALVANIZED GENERAL	NIC NO. /#	NOT IN CONTRACT NUMBER	STRUCT	STRUCTURAL
CMU	CONCRETE MASONRY UNIT	GLB	GLULAM BEAM	NO. / # NOM	NOMINAL	SUSP	SUSPENDED
CNTR	CENTER	GLZ	GLAZING	NR	NON RATED	SV	SHEET VINYL
CO	CLEAN OUT	GR	GRADE	NS	NEAR SIDE	т	TEMPERED
COL	COLUMN	GRD	GRID ONLY	NTE	NOT TO EXCEED	T&B	TOP AND BOTTOM
CONC	CONCRETE	GSA	U.S. GENERAL SERVICES	NTS	NOT TO SCALE	T/	TOP OF
CONF	CONFERENCE		ADMINISTRATION			TC	TOP OF CURB
CONN	CONNECTION	GYP BD	GYPSUM BOARD	O/A	OVERALL	TEMP	TEMPERATURE / TEMPORARY
CONN	CONNECTION	LID	LIGGE DID	OC	ON CENTER	THK	THICK / THICKNESS
CONST	CONSTRUCTION	HB HC	HOSE BIB HOLLOW CORE / HANDICAP	OD	OUTSIDE DIAMETER	TL	TOTAL LOAD
CONT	CONTINUOUS	HCM	HOLLOW CLAY MASONRY	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED	TN	TOE NAIL
CONTR COORD	CONTRACTOR COORDINATE	HDPE	HIGH DENSITY POLYETHELENE	OFOI	OWNER FURNISHED, OWNER	TO	TOP OF
CORR	CORRUGATE CORRUGAT(ED) (ION)	HDR	HEADER	<b>3. 3.</b>	INSTALLED	TOF TOS	TOP OF FOOTING TOP OF STEEL
CPT	CARPET	HDWR	HARDWARE	ОН	OPPOSITE HAND	TOW	TOP OF STEEL TOP OF WALL
CRC	CHEMICAL RESISTANT COATING	HGR	HANGER	OHD	OVERHEAD DOOR	TPO	THERMOPLASTIC POLYOLEFIN
CSK	COUNTERSINK	HL	HALF LITE	OPNG	OPENING	TRANS / TRANSV	TRANSVERSE
CSP	CONCRETE SEWER PIPE	НМ	HOLLOW METAL	OPP	OPPOSITE	TS	TUBE STEEL
CTOP	COUNTERTOP	HMK	HOLLOW METAL KNOCKDOWN	OSF / O/FACE OSSC	OUTSIDE FACE OREGON STRUCTURAL SPECIALTY	TYP	TYPICAL
CTR / CNTR	CENTER	HMW HORIZ	HOLLOW METAL WELDED	0330	CODE		
CW	CONCRETE WALL	HR(S)	HORIZONTAL HOUR(S)	OTS	OPEN TO STRUCTURE	U/S	UNDERSIDE
d	PENNY(NAILS)	HS	HEADED STUD			UC	UNDER COUNTER
DBA	DEFORMED BAR ANCHOR	HSB	HIGH STRENGTH BOLT	Р	PAINT	UL UNO / UON	UNDER WRITERS LABORATORIES UNLESS NOTED OTHERWISE
DBL	DOUBLE	HSS	HOLLOW STRUCTURAL STEEL	P-LAM	PLASTIC LAMINATE	USG	UNITED STATES GYPSUM
DC	DEMAND CRITICAL WELD	HTG	HEATING	P.E.	PROFFESSIONAL ENGINEER PARTICLE BOARD		
DET / DTL	DETAIL	HVAC	HEATING, VENTILATION AND AIR	PB		VCT	VINYL COMPOSITION TILE
DET/DTL	DETAIL	1 11/4/0	CONDITIONING	PDA / PAF	POWDER DRIVEN ANCHORS/POWDER ACTUATED FASTENER	VERT	VERTICAL
DF	DRINKING FOUNTAIN / DOUGLAS FIR	HWS	HEADED WELD STUD	PJ	PANEL JOINT	VEST	VESTIBULE
DIA / ø	DIAMETER	IBC	INTERNATIONAL BUILDING CODE	PL / P_	PLATE	VFY	VERIFY
DIAPH	DIAPHRAGM	ID	INSIDE DIAMETER	PLB	PARALLAM BEAM	VIF	VERIFY IN FIELD
DIM	DIMENSION DEAD LOAD	IE	INVERT ELEVATION	PLMB	PLUMBING	VP	VISION PANEL
DL DN	DOWN	IF	INSIDE FACE	PLY / PLYWD	PLYWOOD	10//	\A/ITI I
DP DN	DEEP	IFC	INTERNATIONAL FIRE CODE	PNL	PANEL	W/ W/CRC	WITH COATING WITH CHEMICAL
DR	DOOR	IMC	INTERNATIONAL MECHANCIAL CODE	PR ps	PAIR	4 V / OI (O	RESISTANCE
DS	DOWN SPOUT	INFO	INFORMATION	PS PSF	POUR STRIP POUNDS PER SQUARE FOOT	W/O	WITHOUT
DWG	DRAWING	INSP	INSPECTION / INSPECTOR	PSF PSI	POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH	WB	WOOD BASE
DWLS	DOWELS	INSUL	INSULATION	PSL PSL	PARALLEL STRAND LUMBER	WC	WATER CLOSET / WALL COVERING
		INT IPC	INTERIOR INTERNATIONAL PLUMBING CODE	PT	PRESSURE TREATED / PORCELAIN	WD	WOOD
(E) / EXIST	EXISTING	IFU	IN LEINING HOINAL PLUIVIDING CODE		TILE	WF	WIDE FLANGE BEAM
E/	EDGE OF	JNT	JOINT	PVC	POLY VINYL CHLORIDE	WH	WATER PROOF (WOOD DANIELING /
EA EF	EACH EACH FACE	JST	JOIST	PVMT	PAVEMENT	WP	WATER PROOF / WOOD PANELING / WORK POINT
EIFS	EXTERIOR INSULATION FINISH					WR	WATER RESISTANT
L., O	SYSTEM	K	KIPS			WRGB	WATER RESISTANT GYPSUM BOARD
ELECT	ELECTRICAL	KSF	KIPS PER SQUARE FOOT			WS	WATER STOP / WELDED STUD
ELEV	ELEVATION	KSI	KIPS PER SQUARE INCH			WWF	WELDED WIRE FABRIC
EN	EDGE NAIL					WWR	WELDED WIRE MESH
ENGR	ENGINEER						

#### SYMBOLS AND REFERENCES



REVISION CLOUD

#### PROJECT GENERAL NOTES

APPROVED BY MACKENZIE.

- THE DRAWINGS LOCATE PRODUCTS, SURFACES, AND MATERIALS AND THE NOTES CONVEY DESIGN INTENT. THE PROJECT INTENT IS TO PROVIDE FOR A COMPLETE, WORKING SYSTEM. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST ADOPTED BUILDING CODE EDITION, AND TO CONDITIONS AND SPECIFICATIONS OF ALL GOVERNING AUTHORITIES.
- VERIFY AND CONFIRM ALL CONDITIONS, DIMENSIONS, AND LAYOUT INFORMATION PRIOR TO START OF CONSTRUCTION. NOTIFY MACKENZIE OF ANY DISCREPANCIES PRIOR TO START OF WORK. ANY CORRECTION WORK REQUIRED AS A RESULT OF NOT REPORTING SUCH DISCREPANCIES SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE CONSTRUCTION DOCUMENTS OF THE ENTIRE WORK. INCONSISTENCIES IN THE PLANS OR
- SPECIFICATIONS SHALL BE CALLED TO THE ATTENTION OF MACKENZIE. REFER TO ENLARGED PLANS AND ELEVATIONS WHERE INDICATED FOR ADDITIONAL INFORMATION. ENLARGED PLANS TAKE PRECEDENCE OVER PLANS OF SMALLER SCALE, AND DETAILS TAKE PRECEDENCE OVER PLANS. IN THE CASE OF A CONFLICT, THE HIGHEST COST OPTION SHOULD BE

DETAIL REFERENCES SHALL BE APPLIED TO ALL INSTANCES WHERE THE SAME CONDITIONS

- OCCUR, UNLESS NOTED OTHERWISE. THE TERMS "ABOVE FINISH FLOOR" (AFF) AND "FINISH FLOOR ELEVATION" (FFE) REFER TO FINAL FINISHED FLOOR ELEVATION, WHETHER BUILT-UP SLAB, COMPOSITE DECK, OR RAISED ACCESS
- DO NOT SCALE DRAWINGS. CUTTING AND DRILLING OF STRUCTURAL MEMBERS NOT DETAILED REQUIRES THE WRITTEN
- PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD. FINISH FLOOR ELEVATION OF 0'-0" = 262.5' AS INDICATED ON CIVIL DRAWINGS. SAVE AND RECYCLE DEMOLITION DEBRIS AS APPLICABLE. ALL DEMOLISHED OR REMOVED EXISTING
- MATERIAL SHALL BE LEGALLY DISPOSED. COORDINATE WITH THE CITY OF WILSONVILLE REQUIREMENTS FOR RECYCLING/RE-USE OF DEMOLITION DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR WORK. THE
- CONTRACTOR WILL COORDINATE CLEAN UP OF ALL AREAS AFFECTED BY DUST OR ANY MATERIALS, BOTH DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT, INCLUDING THE INSIDE OF ALL WINDOWS AS NECESSARY SO THAT THE SPACE IS READY FOR OCCUPANCY BY TENANT. ALL DESIGN-BUILD ITEMS, SYSTEMS, AND ELEMENTS ARE TO BE SUBMITTED FOR REVIEW AND
- EXISTING MATERIAL NOTED TO BE RETURNED TO THE OWNER SHALL BE SAFELY STORED AND PROTECTED UNTIL IT IS REMOVED FROM THE SITE BY THE OWNER

503.224.9560 360.695.7879

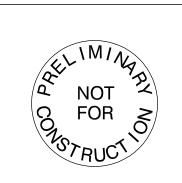
Seattle, WA

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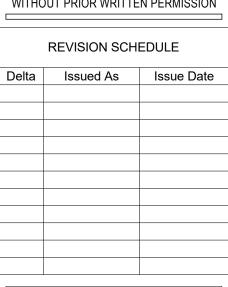
206.749.9993 MACKENZIE.

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**GENERAL** NOTES, SYMBOLS, **ABBREVIATIONS** 

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G0.02

#### **BUILDING CODE DATA**

BUILDING FOOTPRINT: 58,125 SF

BASED ON THE 2019 OREGON STRUCTURAL SPECIALTY CODE **GENERAL CODE ANALYSIS:** 

60,274 SF

CONSTRUCTION TYPE: III-B, TWO STORIES

FIRE PROTECTION:
AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT (ESFR) BUILDING IS DESIGNED WITH AN ESFR SPRINKLERED SYSTEM FOR CLASS I-IV NON ENCAPSULATED COMMODITIES PER NFPA 13. SEE FIRE PROTECTION SPECIFICATIONS. FIRE PUMP IS PROPOSED.

#### OCCUPANCIES: B AND S-1

BUILDING AREA:

- BASED ON NON SPERATED USE PER 508.3 AREA GROSS SQUARE FEET BUILDING 62,107 SF

<u>FLOOR 1:</u> WAREHOUSE 58,125 SF FLOOR 2: STORAGE 2,149 SF

ALLOWABLE:

PROVIDED:

FUTURE STORAGE (1,833 SF) **BUILDING HEIGHT AND STORIES (TABLES 504.3 AND 504.4):** 

60'-0" / 2 STORIES

46'-6" / 2 STORIES

**UNLIMITED AREA BUILDING (SEE SECTION 507.4):** THE BUILDING, TWO STORIES, FULLY SPRINKLERED, UNLIMITED AREA ALLOWED PER SECTION 507.4, SURROUNDED BY A BUFFER OF 60'-0" FEET OR MORE ON 4 SIDES.

#### **BUILDING FIRE RESISTIVE REQUIREMENTS (SEE SECTION 601):**

STRUCTURAL FRAME: BEARING WALLS - EXTERIOR: BEARING WALLS - INTERIOR: NON-BEARING WALLS - EXTERIOR: NON-BEARING WALLS - INTERIOR: FLOOR: SHAFTS (707.3.1) STAIRS (1019.1) ELECTRICAL ROOM (Table 509) FIRE PUMP ROOM (913.2.1.1) 1-HR FIRE BARRIER

ELECTRICAL ROOM REQUIREMENTS PER 509 INCEDENTAL USES TABLE 509 ELECTRICAL INSTALLATIONS AND TRANSFORMERS REQUIREMENTS REFERENCES SEPARATION AND/OR PROTECTION PER ELECTRICAL CODE SECTIONS 110.26-110.34 AND 450.8-450.48. PER ELECTRICAL DRAWINGS TRANSFORMER VAULTS ARE LOCATED AT EXTERIOR AND NOT WITHING THE ELECTRICAL ROOM. PER ELECTRICAL DRAWINGS DRY-TYPE TRANSFORMERS INSTALLED INDOORS ARE LESS THE 112.5 KVA AND DOES NOT REQUIRE TO BE LOCATED IN A ROOM WITH RATED CONSTRUCTION PER OESC 450.21.A.

ELECTRICAL ROOM WILL NOT HOUSE BATTERY STORAGE FIRE BARRIERS SHALL MEET ALL CONTINUITY REQUIREMENTS PER

PENETRATIONS THROUGH FIRE BARRIER WALLS SHALL MEET ALL REQUIREMENTS PER SECTION 714 AS WELL AS FIRE RESISTANCE RATED WALLS TO MEET FIRE STOPPING PER SPECIFICATION 07 84

FIRE BARRIERS SHALL MEET ALL DUCT AND AIR TRANSFER OPENING REQUIREMENTS PER 707.10

FIRE SEPARATION DISTANCE (TABLE 602):									
NORTH	EAST	SOUTH	WEST						
100'	33'	104'	635'						
	NORTH	NORTH EAST	NORTH EAST SOUTH						

 FULLY SPRINKLERED ESFR FIRE SYSTEM PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED THROUGHOUT BASED ON 2019 OREGON FIRE CODE

#### <u>DOORS (SECTION 1010)</u> RATED, SIZED, AND HARDWARE PROVIDED TO MEET SECTION

1010 - SEE INDIVIDUAL FLOOR PLANS AND SPECIFICATIONS. PROVIDE PANIC HARDWARE AT ELECTRICAL ROOM (1010.1.9)

#### MEANS OF EGRESS ILLUMINATION (SECTION 1008)

ILLUMINATION SHALL BE PROVIDED IN THE MEANS OF EGRESS IN ACCORDANCE WITH SECTION 1008.2. UNDER EMERGENCY POWER, MEANS OF EGRESS ILLUMINATION SHALL COMPLY WITH SECTION

#### FIRE PROTECTION - CHAPTER 9

BASED ON 2019 OREGON FIRE CODE OFC SECTION 509.1

ROOMS CONTAINING CONTROLS FOR AIR CONTAINING SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT.

SIGNS REQUIRED TO IDENTIFY FIRE PROTECTION EQUIPMENT AND EQUIPMENT LOCATIONS TO BE APPROVED BY THE FIRE CODE OFFICIAL. WHERE REQUIRED AND APPROVED BY THE FIRE CODE OFFICIAL UTILITIES ARE TO BE LEGIBLY MARKED TO IDENTITY THE JANITOR SPACE IT SERVES.

PENETRATIONS THROUGH FIRE RESISTANCE RATED WALLS SHALL MEET ALL REQUIREMENTS PER SECTION 714 AS WELL AS FIRE RESISTANCE RATED WALLS TO MEET FIRE STOPPING PER SPECIFICATION 07 84 00

#### <u>SECTION 903 - AUTOMATIC SPRINKLER SYSTEMS</u> FULLY SPRINKLERED NFPA-13 ESFR FIRE SYSTEM

SECTION 906 PORTABLE FIRE EXTINGUISHERS
PROVIDE (1) FIRE EXTINGUISHER WITH RATING OF NOT LESS THAN 2-A:10-B:C FOR EACH 3,000 SF OF FLOOR AREA. TRAVEL FROM ANY PORTION OF BUILDING NOT TO EXCEED 75'. FIRE EXTINGUISHERS LOCATED WITH OFFICE AREA TO BE SEMI-RECESSED CABINETS.

#### OFC APPENDIX D FIRE APPARATUS ACCESS ROADS SEE SHEET C1.00 FOR AERIAL FIRE APPARATUS ACCESS.

OFC CHAPTER 32 - HIGH-PILED COMBUSTIBLE STORAGE
BUILDING IS DESIGNED TO ACCOMMODATE HIGH PILED STORAGE TYPE I-IV UNENCAPSULTED COMMODITIES UP TO 36' HIGH-PILED STORAGE PER OFC TABLE 3206.2:

- AN AUTOMATIC SPRINKLER SYSTEM IS PROVIDED IN ACCORDANCE WITH OFC SECTION 3206.4 FIRE DETECTION SYSTEM IS NOT REQUIRED PER TABLE 3206.2 BUILDING ACCESS IS PROVIDED PER OFC SECTION 3206.6 SMOKE AND HEAT REMOVAL IS REQUIRED PER TABLE 3260.6
- FOOTNOTE I: AUTOMATIC FIRE-EXTINGUISHING SYSTEM PROVIDED IN ACCORDANCE WITH OFC 3207 AND 3208 MAX PILE DIMENSIONS - 120' LONG x 40' HIGH MAX PILE VOUME - 400,000 CUBIC FEET

#### **MEANS OF EGRESS**

#### SECTION 1008 - MEANS OF EGRESS ILLUMINATION PROVIDE MEANS OF EGRESS ILLUMINATION AT A MINIMUM OF ONE FOOT CANDLE

AT PATH OF EGRESS TO MEET SECTION 1008. EXTEND 5'-0" OUTSIDE EGRESS WAREHOUSE/ OFFICE PROVIDE

- EMERGENCY POWER FOR MIN 90 MINUTES. (BATTERY BACK-UP) - AVERAGE INITIAL ILLUMINATION OF 1 FOOT-CANDLE(11 LUX) - MAXIMUM UNIFORMITY RATIO OF 40 : 1 - SEE FLOOR PLANS FOR PATH

#### SECTION 1010 - DOORS, GATES AND TURNSTILES EXTERIOR DOORS SIZED AND HARDWARE PROVIDED TO MEET SECTION. SEE FLOOR PLAN AND DOOR HARDWARE. ALL DOOR HARDWARE TO COMPLY WITH

ADA REQUIREMENTS. SEE SPEC'S. THRESHOLDS TO COMPLY WITH 1010.1.7 HARDWARE ON DOORS REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH

HARDWARE HEIGHT TO COMPLY WITH 1010.1.9.2 LOCKS AND LATCHES TO COMPLY 1010.1.9.4 BOLT LOCKS ARE NOT PERMITTED UNLESS MEETING 1010.1.9.5 EXCEPTIONS

THE UNLATCHING OF ANY DOOR OR LEAF SHALL COMPLY 1010.1.9.6

SECTION 1013 - EXIT SIGNS
 PROVIDE EXIT SIGNAGE TO MEET SECTION 1013.1.

#### SECTION 1028 - EXIT DISCHARGE ALL EXITS DISCHARGE AT GROUND LEVEL

# — STORAGE (S-1 OCC.): 2,247 SF 151'-0" (SEE 1/G1.10)

#### **CODE PLAN - SECOND FLOOR** G1.10 1" = 10'-0"

	OCCUPA	NCY				WATE	R CLOSETS			LAVATORIES			DRINKING	DRINKING FOUNTAINS	
USE	OCCUPANCY TYPE	LOAD FACTOR 1004.1.2	AREA	OCCUPANCY LOAD	RATIO	MEN'S WATER CLOSETS	WOMEN'S WATER CLOSETS	UNISEX WATER	RATIO	MEN'S LAVATORIES	WOMEN'S LAVATORIES	UNISEX LAVATORIES	RATIO	RATIO	
OFFICE	В		2,443.00		1 PER 25 ≤ 50, 1 PER 50 REMAINDER	1.20	1.20		1 PER 40 ≤ 80, 1 PER 80 - REMAINDER	0.75	5 0.	75	-	N/A	
OFFICE (150LOAD FACTOR)		150	1,693.00		12										
OFFICE (15 LOAD FACTOR)		15	590.00		10										
STORAGE	S-1	300	2,149.00		8										
WAREHOUSE	S-1	500	55,682.00	1:	12 1 PER 100	0.56	0.56		- 1 PER 100	0.56	0.	56	-	N/A	
SUBTOTALS		•				1.76	5 1.76	5	-	1.31	1.	31	-	-	
REQUIRED TOTALS			60,274.00			2	2		-	2	2	2	-	-	
PROVIDED						2	2		1	2	2	2	1		

CODE SECTION		OCCUPAN	ICY			1005		1006	.2.1	1006.2.1		1017	1006		
USE	OCCUPANCY TYPE (CHAP. 3)	LOAD FACTOR 1004.1.2	AREA	OCCUPANT LOAD (1004.1.1)	EGRESS WIDTH FACTOR	EGRESS WIDTH	WIDTH PROVIDED	COMMON PATH REQUIRED	COMMON PATH PROVIDED	MIN. EXIT DISTANCE	EXIT DISTANCE PROVIDED	MAX TRAVEL DISTANCE	TRAVEL DISTANCE PROVIDED	EXITS REQUIRED	EXITS PROVIDED
BUSINESS AREAS	В	150	1,853	13		3''		100'-0"	44'-0"	32'-4"	64'-8"			1	2
100 VESTIBULE			100												
101 OPEN OFFICE			1,040									200'-0"	84'-6"		
107 WOMENS			175												
106 MENS			175												
108 JAN.			55												
109 W/C			58												
103 OFFICE			125												
104 OFFICE			125												
	В	15	590	40	0.2	8''		100'-0"	44'-0"	N/A	N/A			1	1
105 BREAK			315												
105A DATA			40												
102 CONFERENCE			235												
	S-1	500	54,985	110	0.2	22''		100'-0"	N/A	211'-4"				_	_
001 WAREHOUSE			54,985							2.1.1.1		250'-0"	143'-6"	2	5
	S-1	300	2,846	10	0.2	2''		100'-0"	N/A	211'-4"					
002 ELECTRICAL			280												
005 FIRE PUMP			417									2501.011	4541.0"		
200 STORAGE			2,149									250'-0"	151'-0"	2	2
ļ															

#### **GENERAL NOTES**

- THIS SHEET IS MEANT FOR CODE REVIEW PURPOSES ONLY. SEE SHEET A1.10 FOR ADDITIONAL PLAN INFORMATION. EMERGENCY LIGHTING ALONG THE EGRESS PATH SHALL NOT BE LESS THAN 1 FOOTCANDLE AT THE FLOOR LEVEL AT ALL POINTS ALONG THE EGRESS PATH, A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40:1 SHALL NOT BE EXCEEDED TO MEET ALL REQUIREMENTS OF
- SECTION 1008. SECTION 1010.1.1 REQUIRES A CLEAR DOOR WIDTH OF 32". ALL PROVIDED DOORS COMPLY.

#### **GOVERNING CODES**

2019 OREGON STRUCTURAL SPECIALTY CODE 2021 OREGON ENERGY EFFICIENCY CODE 2019 OREGON MECHANICAL SPECIALTY CODE 2021 OREGON ELECTRICAL SPECIALTY CODE 2021 OREGON PLUMBING SPECIALTY CODE 2019 OREGON FIRE CODE ICC A117.1-2009 ACCESSIBILITY

#### **LEGEND**

DOCK HIGH OVERHEAD DOOR DRIVE IN OVERHEAD DOOR FIRE EXTINGUISHER LOCATION (75' CLEARANCE RADIUS). GC TO COORDINATE FINAL QUANTITIES & LOCATIONS WITH FIRE MARSHAL **EXITS** FIRE ACCESS DOOR PROVIDE EMERGENCY ILLUMINATED EXIT SIGNS PER THESE LOCATIONS

#### **WALL TYPES**

MAXIMUM TRAVEL DISTANCE

CONCRETE TILT PANEL - SEE STRUCTURAL **ELEVATIONS FOR THICKNESSES** 1HR RATED WALL PER 11/A5.20 FULL HEIGHT WALL PER 12/A5.20 STICK-PIN INSULATION 10/A5.20

INTERIOR PARTITION PER 13/15/A5.20

 $\Theta \cdot - \cdot \rightarrow$ 

\_\_\_\_\_\_\_ ----<u>--</u> UTILITIES (S-1 ACCESSORY OCC.): 686 SF OFFICE (B OCC.): 2,487 SF WAREHOUSE (S-1 OCC.): 54,952 SF **MEZZANINE: 151'-0"** 

175' - 0"

Planning - Engineering

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REVISION SCHEDULE Issued As Issue Date REV 1

SHEET TITLE: CODE **ANALYSIS** 

1 CODE PLAN - FIRST FLOOR
G1.10 1" = 20'-0"

DRAWN BY: ADG

G1.10

JOB NO. **2200502.00** 

LAND USE RESUBMITTAL 07/26/22



Project Information

Construction 5ite

9710 SW Day Road Wilsonville, Oregon 97070

Energy Code: 90.1 (2019) Standard
Project Titlei Delta Logistics - Wilsonville
Location: Wilsonville, Oregon
Climate Zone: 4c

Project Type. New Construction

Vertical Glazing / Wall Avea: 5%

Performance Sim Specs: EnergyPlus 8.1.0.009 (EPW: USA\_OR\_Portland,Intl.AP.726980\_TMY3.epwi

Owner/Agent Designer/Contractor:

Igor Nichiporchic Adam Goldberg
Delta Logistics Mackenzie
9835 SW Commerce Circle 1515 SE Water Ave, Suite 100
Wilsonville, Oregon 97070 Portland, Oregon 97214
503-665-2200 8476481232
Igor@deltagov.com agoldberg@micknze.com

Building Area Floor Area

1-Warehouse | Semineated 55682
2-Office | Nonresidential 2443

#### Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U- Factorie
Roof; Insulation Entirely Above Deck, (Bidg. Use 1 Warehouse)	55682	-	50.0	.0.04B	.0.093
Skylighs: Metal Frame: Plassic, with Curb, Perf. Specs.: Product D N/A, SHGC 0.35, VT 0.64, [Bidg, Use 1 - Warehouse] (b)	576	-	-	0.450	0.750
Roof: Insulation Entirely Above Deck, (Bidg. Use 2 - Office)	2443	-	20.0	0.04B	0.032
OFFICE SLAB: Unheated Slab-On-Grade, (Bldg. Use 2 - Office) (c)	112	-	-	0.730	0.520
WAREHOUSE SLAB: Unheated Slab-On-Grade, [Bidg. Use 1 - Warehouse] (c)	911	-	-	0.730	0.730
ORTH FILT WALL - (furring at office) NORTH: Solid Concrete, 12in. Thickness, Normal Density, Furring: Metal. [Bidg. Use 7] Office]	394	13.0	0.0	0.138	0.104
Vindow: Metal Frame: Fixed, Perf. Specs.: Product ID N/A. HGC 0.40, VT 0.50, (Bldg, Use 2 - Office) (b)	140	-	0.9	0.450	0,360
ILT WALL -(stickpin at office): Solid Concrete, 10in, Thickness, formal Density, Furring, None, (Bldg, Use 2 - Office)	952	-	13.0	0.067	0.104
Vindow: Metal Frame: Fixed, Perf. Specs.; Product ID N/A. HGC 0.40, VT 0.50, [Bidg, Use 2 - Office] (b)	224	-	19	0.450	0,360
TLT WALL - NORTH: Solid Concrete, 8in. Thickness, Normal Sensity, Furring: None, [Blog. Use 1 - Warehouse]	.2837	-	0,0	0,740	0.580
fan Door, insulated Metal, Swinging, [Bldg. Use 1 - Varehouse]	21	-	-	0.190	0,370
Vindow: Metal Frame: Fixed, Perf. Specs.; Product ID N/A. SHGC 0.40; VT 0.50. (Bidg. Use I - Warehouse) (b)	315	-	-	0.450	0.500
RLT WALL - (furning at office) NORTH: Solid Concrete, Sin	295	13.0	0.0	0.142	0.104

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U Factor <sub>is</sub>
Thickness, Normal Density, Furring: Metal, [Bldg. Use 2 -					
Office] Window: Metal Frame: Fixed, Perf. Specs.: Product ID N/A,	0.7			0.450	0.250
SHGC 0.40, VT 0.50, [Bldg. Use 2 - Office] (b)	97			0.450	0.360
TILT WALL - (stickpin at office) NORTH: Solid Concrete, Bin. Thickness, Normal Density, Furring: None, [Bldg. Use 2 - Office]	706		13.0	0.068	0.104
Window: Metal Frame: Fixed, Perf. Specs.: Product ID N/A, SHGC 0.40, VT 0.50, [Bldg. Use 2 - Office] (b)	105			0.450	0.360
TILT WALL - (furring at riser) NORTH: Solid Concrete, Bin. Thickness, Normal Density, Furring: Metal, [Bldg. Use 1 - Warehouse]	453	13.0	0.0	0.142	0.580
Door: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse]	63			0.130	0.370
Ext. Wall: Solid Concrete, 8in. Thickness, Normal Density, Furring: None, [Bldg. Use 1 - Warehouse]	1037		13.0	0.068	0.580
AST TILT WALL (furring at riser) - EAST: Solid Concrete, 8in.	450	42.0		0.140	0.580
Thickness, Normal Density, Furring: Metal, [Bldg. Use 1 - Warehouse]	160	13.0	0.0	0.142	0.580
TILT WALL (stickpin at riser) - EAST: Solid Concrete, 8in. Thickness, Normal Density, Furring: None, [Bldg. Use 1 - Warehouse]	429		13.0	0.068	0.580
TILT WALL - EAST: Solid Concrete, 8in. Thickness, Normal Density, Furring: None, [Bldg. Use 1 - Warehouse]	11516		0.0	0.740	0.580
Man Door: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse]	42			0.130	0.370
SOUTH TILT WALL - SOUTH: Solid Concrete, 8in. Thickness, Normal Density, Furring: None, [Bldg. Use 1 - Warehouse]	6071		0.0	0.740	0.580
Man Door: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse]	21			0.130	0.370
Window: Metal Frame: Fixed, Perf. Specs.: Product ID N/A, SHGC 0.40, VT 0.50, [Bldg. Use 1 - Warehouse] (b)	525			0.450	0.500
VEST FILT WALL - WEST: Solid Concrete, 8in, Thickness, Normal					
Density, Furring: None, [Bldg. Use 1 - Warehouse]	9747		0.0	0.740	0.580
Window: Metal Frame: Fixed, Perf. Specs.: Product ID N/A, SHGC 0.40, VT 0.50, [Bldg. Use 1 - Warehouse] (b)	148			0.450	0.500
Man Door: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse]	63			0.130	0.370
Roll-Up Door: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse]	1686			0.130	0.360
TILT WALL - (furring office) WEST: Solid Concrete, 12in. Thickness, Normal Density, Furring: Metal, (Bldg. Use 2 -	438	13.0	0.0	0.138	0.104
Office] Window: Metal Frame: Fixed, Perf. Specs.: Product ID N/A, SHGC 0.40, VT 0.50, [Bldg. Use 2 - Office] (b)	141			0.450	0.360
FILT WALL - (stickpin at office) WEST: Solid Concrete, 10in.  Thickness, Normal Density, Furring: None, [Bldg. Use 2 - Office]	1006		13.0	0.067	0.104
Window: Metal Frame: Fixed, Perf. Specs.: Product ID N/A, SHGC 0.40, VT 0.50, [Bldg. Use 2 - Office] (b)	225			0.450	0.360

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.(b) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.(c) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.

Project Title: Delta Logistics - Wilsonville Report date: 03/24/22 Data filename: Page 2 of 12

envelope PASSES: Dasign 1% better from

**Envelope Compliance Statement** 

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 90 1 (2019) Standard requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title Signature Date

Architecture - Interiors
Planning - Engineering

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REVISION SCHEDULE										
elta	Issued As	Issue Date								

SHEET TITLE:
ENERGY CODE
COMPLIANCE

DRAWN BY: AD

CHECKED BY: \$

G1.11

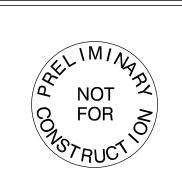


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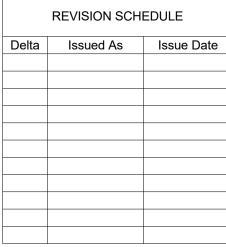
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SHEET TITLE: **EXISTING CONDITIONS SURVEY** 

DRAWN BY: Author

G1.20

#### **GENERAL NOTES**

- ALL WORK SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION
- 2. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN IS BASED ON A SURVEY BY OTHERS AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH ITS OWN RESOURCES PRIOR TO START OF ANY CONSTRUCTION
- 3. CONTRACTOR MUST COMPLY WITH LOCAL AND STATE REQUIREMENTS TO NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS SEVENTY-TWO (72) HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
- 4. CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISH GRADES
- 5. REQUEST BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE ENGINEER.
- 6. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A PUBLIC WORKS PERMIT
- 7. CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH AS-BUILT PLANS AT LEAST 2 WEEKS PRIOR TO REQUESTING AGENCY SIGN OFF ON PERMITS FOR OCCUPANCY
- 8. CONTRACTOR SHALL PERFORM ALL THE WORK SHOWN ON THE DRAWINGS AND ALL INCIDENTAL WORK NECESSARY TO COMPLETE THE PROJECT

#### SITE DEMOLITION NOTES

**DEMOLITION ACTIVITIES** 

- 1. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR DEMOLITION OPERATIONS AND SAFETY OF ADJACENT STRUCTURES AND THE PUBLIC
- 2. INSTALL EROSION CONTROL MEASURES AND TEMPORARY FENCING PRIOR TO ANY
- 3. MITIGATE DUST POLLUTION DUE TO DEMOLITION ACTIVITIES
- 4. PROTECT ALL EXISTING STRUCTURES, UTILITIES, LANDSCAPE AND OTHER ELEMENTS THAT ARE NOT DESIGNATED FOR REMOVAL. ANY DAMAGE TO EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE
- 5. DO NOT BEGIN REMOVAL UNTIL ITEMS TO BE SALVAGED OR RELOCATED HAVE BEEN REMOVED AS NOTED. IF REMOVED GRAVEL OR PAVEMENT MATERIALS ARE TO BE RECYCLED OR REUSED, PREVENT CONTAMINATION OF THESE MATERIALS FROM TOPSOIL OR OTHER DELETERIOUS MATERIAL
- 6. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH AFFECTED UTILITY COMPANIES, OBTAIN ALL REQUIRED PERMITS, NOTIFY THEM PRIOR TO STARTING WORK, AND COMPLY WITH THEIR REQUIREMENTS. ADDITIONAL REMOVALS MAY BE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CONTRACTOR SHALL CONFIRM ACCORDINGLY PRIOR TO BID. ACCURATELY RECORD ACTUAL LOCATIONS OF CAPPED AND ACTIVE UTILITIES FOR AS-BUILT PURPOSES AND SUPPLY TO OWNER AND ARCHITECT/ENGINEER OF RECORD
- 7. DEMOLISH AND REMOVE ALL NON-BUILDING SITE STRUCTURES AND ASSOCIATED FEATURES (APPURTENANCES) AS SHOWN. WITHIN AREA OF NEW CONSTRUCTION, REMOVE DESIGNATED WALLS AND FOOTINGS TO 2 FEET MINIMUM BELOW FINISHED GRADE.

  DEMOLISH ALL PAVED AREAS DESIGNATED FOR REMOVAL DOWN TO NATIVE SUBGRADE.
- DEMOLISH ALL PAVED AREAS DESIGNATED FOR REMOVAL DOWN TO NATIVE SUBGRADE

  8. ALL VEGETATION AND DELETERIOUS MATERIALS WITHIN THE LIMITS OF WORK SHALL BE STRIPPED AND REMOVED FROM THE SITE PRIOR TO GRADING WORK UNLESS NOTED
- OTHERWISE (E.G. PROTECTED TREES)

  9. IF HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION, STOP WORK AND IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT/ENGINEER OF RECORD

#### **GRADING NOTES**

- 1. <u>ROUGH GRADING:</u> ROUGH GRADE TO ALLOW FOR DEPTH OF BUILDING SLABS, PAVEMENTS, BASE COURSES, AND TOPSOIL PER DETAILS AND SPECIFICATIONS
- 2. FINISH GRADING: BRING ALL FINISH GRADES TO LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, HARDSCAPE FINISH GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. SOFTSCAPE GRADES (INCLUDING ADDITIONAL DEPTH OF TOPSOIL) SHALL BE SET 6 INCHES BELOW BUILDING FINISHED FLOORS WHERE ABUTTING BUILDINGS, 1-2 INCHES WHERE ABUTTING WALKWAYS OR CURBS, OR MATCHING OTHER SOFTSCAPE GRADES. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN. ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. AT COMPLETION OF JOB AND AFTER BACKFILLING BY OTHER TRADES HAS BEEN COMPLETED, REFILL AND COMPACT AREAS WHICH HAVE SETTLED OR ERODED TO BRING TO FINAL GRADES
- 3. <u>EXCAVATION:</u> EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
- 4. EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE LOCAL AGENCY AND STATE AGENCY REQUIREMENTS. THE AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL
- 5. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE ROUTED SO THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE ENGINEER AND/OR AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL
- 6. SITE TOPSOIL STOCKPILED DURING CONSTRUCTION AND USED FOR LANDSCAPING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT
- 7. CONTRACTOR TO REVIEW AND CONFIRM GRADES AT JOIN POINTS, SUCH AS AT DAYLIGHT LIMITS AND BUILDING ENTRANCES, PRIOR TO CONSTRUCTION
- 8. ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL BE CONSTRUCTED AT 2% MAXIMUM SLOPE IN ALL DIRECTIONS
- 9. PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES SHALL BE CONSTRUCTED AT AND 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM LONGITUDINAL SLOPE (8.33% FOR DESIGNATED RAMPS)

#### UTILITY NOTES

FITTINGS, UNLESS OTHERWISE NOTED

- ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS OF THE STATE PLUMBING AND BUILDING CODES WITH LOCAL AMENDMENTS AS APPLICABLE ALONG WITH ANY ADDITIONAL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
- 2. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING (POTHOLING), PROVIDING SUCH IS PERMITTED BY THE AUTHORITIES HAVING JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- 3. NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS. PROVIDE CLEANOUTS PER DETAIL 1/C5.10 AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE PLUMBING CODE (E.G. UNIFORM PLUMBING CODE CHAPTER 7, SECTIONS 707 AND 719, AND CHAPTER 11, SECTION 1101.13).
- CURRENT EDITION OF THE STATE PLUMBING CODE (E.G. UNIFORM PLUMBING CODE

  CHAPTER 7, SECTIONS 707 AND 719, AND CHAPTER 11, SECTION 1101.13).

  5. METHOD OF INSTALLATION FOR SEDIMENT FENCE

  ALL SANITARY AND STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE
- 5. ALL DOWNSPOUT LEADERS TO BE 6 INCHES AT 2.0% MINIMUM UNLESS NOTED OTHERWISE
- 6. IF APPLICABLE, PROVIDE 2 INCH PVC DRAIN LINE FROM DOMESTIC WATER METER VAULT AND BACKFLOW PREVENTER VAULT TO THE DOUBLE DETECTOR CHECK VALVE (FIRE) VAULT. PROVIDE 1/3 HP SUMP PUMP AT BASE OF FIRE VAULT AND INSTALL 2 INCH PVC DRAIN LINE WITH BACKFLOW VALVE FROM SUMP PUMP TO DAYLIGHT AT NEAREST CURB. FURNISH 3/4 INCH DIAMETER CONDUIT FROM BUILDING ELECTRICAL ROOM TO FIRE VAULT FOR SUMP PUMP ELECTRICAL SERVICE. NOTE: COORDINATE WITH FIRE PROTECTION CONTRACTOR FOR FLOW SENSOR INSTALLATION AND CONDUIT REQUIREMENTS
- 7. PREFABRICATED PLUMBING PRODUCTS USED SHALL BE LISTED ON THE IAPMO R&T PRODUCT LISTING DIRECTORY (pld.iapmo.org). ALL SUBMITTALS FOR REVIEW SHALL BE ACCOMPANIED BY MANUFACTURER'S LITERATURE CLEARLY STATING THIS CERTIFICATION AND/OR THE PRODUCT LISTING CERTIFICATE FROM THE IAPMO DIRECTORY WEBSITE
- AND/OR THE PRODUCT LISTING CERTIFICATE FROM THE IAPMO DIRECTORY WEBSITE

  8. IF APPLICABLE, CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER. SEE LANDSCAPE PLANS AND SPECIFICATIONS
- 9. SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5 FEET OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING
- 10. CONTRACTOR TO MAINTAIN MINIMUM 3 FEET OF COVER OVER ALL UTILITY PIPING AND CONDUITS, UNLESS NOTED OTHERWISE
- 11. WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL EXPOSE THE EXISTING PIPE TO VERIFY THE LOCATION, SIZE, AND ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCIES
- 12. CONTRACTOR SHALL SCOPE ALL PRIVATE ONSITE GRAVITY SYSTEM LINES THAT ARE BEING CONNECTED TO FOR PROPOSED SERVICE. SCOPING SHALL OCCUR A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION AND THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES WITH AS-BUILT RECORDS/SURVEY FINDINGS OR IF THE EXISTING UTILITIES ARE DAMAGED OR SHOW SIGNS OF SIGNIFICANT DETERIORATION. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH VIDEO RECORDS, ALONG WITH A SKETCH IF THE LOCATIONS DIFFER FROM AS-BUILT PLANS OR SURVEY FINDINGS
- 13. PRODUCT MATERIAL SUBMITTALS FOR REVIEW BY THE ENGINEER SHALL BE ACCOMPANIED BY A MANUFACTURER'S CERTIFICATION THAT THE PRODUCT IS CAPABLE OF MEETING PERFORMANCE EXPECTATIONS (I.E. WATERTIGHT, MINIMUM/MAXIMUM BURIAL, PREVENTION OF GROUNDWATER INTRUSION, ETC.) BASED ON THEIR REVIEW OF THE PROJECT PLANS. IN THE ABSENCE OF A MANUFACTURER'S CERTIFICATION, THE GENERAL CONTRACTOR'S REVIEW STAMP SHALL CONSTITUTE THAT THEY HAVE PERFORMED THE NECESSARY REVIEW TO CERTIFY THE PRODUCT'S CONFORMANCE TO PROJECT SPECIFICATIONS AND GENERAL EXPECTATIONS
- 14. PIPE LENGTHS SHOWN ON PLANS ARE TWO DIMENSIONAL AND MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE
- 15. MANHOLE RIM ELEVATIONS SHOWN ON PLANS REFERENCE THE CENTER OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONCILING LIDS/GRATES/ETC TO THE SLOPES OF THE SITE GRADING
- 16. MANHOLE OR VAULT RIM ELEVATIONS SHALL BE SET FLUSH IN PAVEMENT AREAS AND 3-4 INCHES ABOVE GRADE IN LANDSCAPE AREAS. RIMS IN PAVEMENT AREAS SHALL BE H-20 TRAFFIC RATED

#### EROSION CONTROL NOTES

- HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE LOCAL AGENCY INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS
- 2. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE BEFORE ANY LAND IS DISTURBED AND MUST REMAIN IN PLACE AND BE MAINTAINED, REPAIRED, AND PROMPTLY IMPLEMENTED FOLLOWING PROCEDURES ESTABLISHED FOR THE DURATION OF CONSTRUCTION, INCLUDING APPROPRIATE NON-STORMWATER POLLUTION CONTROLS
- 3. THE EROSION CONTROL DRAWING IS FOR GENERAL GUIDANCE ONLY. THE CONTRACTOR SHALL KEEP THE PLAN CURRENT FOR ALL PHASES OF CONSTRUCTION AND MEET EROSION/SEDIMENT CONTROL REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION (AHJ). ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE REQUIREMENTS OF THE AHJ, THE PLANS, AND THE PROJECT SPECIFICATIONS
- 4. CONSTRUCT EROSION CONTROL IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS
- 5. METHOD OF INSTALLATION FOR SEDIMENT FENCE SHALL NOT CAUSE DAMAGE TO VEGETATED SLOPE EXCEPT AT POINT OF INSTALLATION. SIDECAST MATERIAL SHALL BE KEPT TO A MINIMUM AND SHALL BE TO THE UPHILL SIDE OF THE SEDIMENT FENCE. THE FENCE SHALL BE INSTALLED AT LEAST 4 FEET FROM ADJACENT TREES
- 6. ALL EROSION CONTROL DEVICES SHALL BE EXAMINED AND REPAIRED AFTER EACH STORM OCCURRENCE, AND INLETS SHALL BE CLEANED OF SEDIMENT WHENEVER NECESSARY
- 7. HYDROSEED AND MULCH ALL DISTURBED AREAS UPON COMPLETION OF CONSTRUCTION OR AS DIRECTED BY THE AUTHORITIES HAVING JURSIDICTION
- 8. THE CONTRACTOR SHALL LIMIT CONSTRUCTION TRAFFIC TO PAVED AREAS TO PREVENT AND MINIMIZE SEDIMENT TRACKING OFF-SITE. CONTRACTOR SHALL SWEEP OR VACUUM PAVED AREAS IF SEDIMENT ACCUMULATION OCCURS. DO NOT TRACK SEDIMENT TO THE PUBLIC STREET OR NEIGHBORING PROPERTIES
- 9. INSTALL TEMPORARY EROSION PREVENTION SUCH AS JUTE NETTING OR GEOTEXTILE ON DISTURBED AREAS STEEPER THAN 4H:1V
- 10. STAGING AND STOCKPILE AREAS TO BE DETERMINED BY CONTRACTOR AND ADJUSTED TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION

#### SITE WORK NOTES

- 1. ALL CURB RADII TO BE 3 FEET UNLESS NOTED OTHERWISE
- STAIR RISERS AND TREADS SHALL BE CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1011.5)
- 3. WHEREVER A PEDESTRIAN WALKING PATH IS WITHIN 36 INCHES OF A VERTICAL DROP OF 30 INCHES OR GREATER, GUARDRAIL SHALL BE INSTALLED CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1015)
- 4. PAVEMENTS WITH DEPRESSIONS OR BIRD BATHS, UNCONTROLLED CRACKS WHICH ARE VISIBLE WITHOUT MAGNIFICATION, AND/OR BONY OR OPEN GRADED SURFACES (EXCEPTING POROUS PAVEMENTS) WILL BE CONSIDERED UNACCEPTABLE. CONTRACTOR SHALL REVIEW PAVEMENT REPAIR OR REPLACEMENT ALTERNATIVES WITH THE OWNER AND ENGINEER PRIOR TO CONDUCTING THE REPAIR WORK.

**LEGEND EXISTING PROPOSED ROW LINE** BRUSH LINE **BUILDING EAVE BUILDING FOOTPRINT** CENTERLINE \_\_\_\_\_ -----**EASEMENT LINE** FENCE LINE \_\_\_\_ G \_\_\_\_ GAS LINE ———E ——— **OVERHEAD POWER** SANITARY LINE STORM DRAIN LINE \_\_\_\_\_ TAX LOT LINE ------W WATER LINE DOMESTIC WATER LINE FIRE WATER LINE (PRIVATE) \_\_\_\_ FIRE WATER LINE (PUBLIC) . . . . . . . . . . . . . . . . . . . WETLANDS AOI WETLANDS BUFFER \_\_\_\_\_\_ SROZ BOUNDARY **CULVERT INVERT CURB INLET DECORATIVE SHRUB ← DOWNSPOUT CATCH BASIN** FIRE HYDRANT GAS METER GAS RISER GATE POST **GUY ANCHOR** MAILBOX MANHOLE **POWER METER** SIGN "AS NOTED" SITE BENCHMARK STORM DRAIN MANHOLE SURVEY MONUMENTS FOUND SURVEY MONUMENTS SET UTILITY LID WATER METER WATER RISE  $\otimes$ WATER VALVE **8 > 8** WATER VAULT FDC WETLANDS BUFFER/ LINE STAKES PP **POWER POLE** SDEWALK TREE WETLAND AREA RAIN GARDEN **ABBREVIATIONS** 

TC	TOP OF CURB	WM	WATER METER
AC	ASPHALT	ОН	OVERHEAD WIRE
FH	FIRE HYDRANT	SSWR	SANITARY SEWER
FG	FINISHED GRADE	MH	MANHOLE
SW	SIDEWALK ELEVATION	IE	INVERT ELEVATION
TS	TOP OF STAIR	СВ	CATCH BASIN
BS	BOTTOM OF STAIR	STM	STORM
TYP	TYPICAL	RD	ROOF DRAIN
R.O.W.	RIGHT OF WAY	FF/FFE	FINISHED FLOOR ELEVATION
LS	LANDSCAPE	NG	NATURAL GROUND
SROZ	SIGNIFICANT RESOURCE OVERLAY ZONE	CL	CENTERLINE
		GPM	GALLONS PER MINUTE
СО	CLEAN OUT	FW	FIRE WATER
INV	INVERT	PWS	PUBLIC WORKS
RD	ROOF DRAIN		STANDARDS
COW	CITY OF WILSONVILLE	PUE	PUBLIC UTILITY EASEMENT
AOI	AREA OF IMPACT	ELEV	ELEVATION



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CIVIL NOTES
AND LEGEND

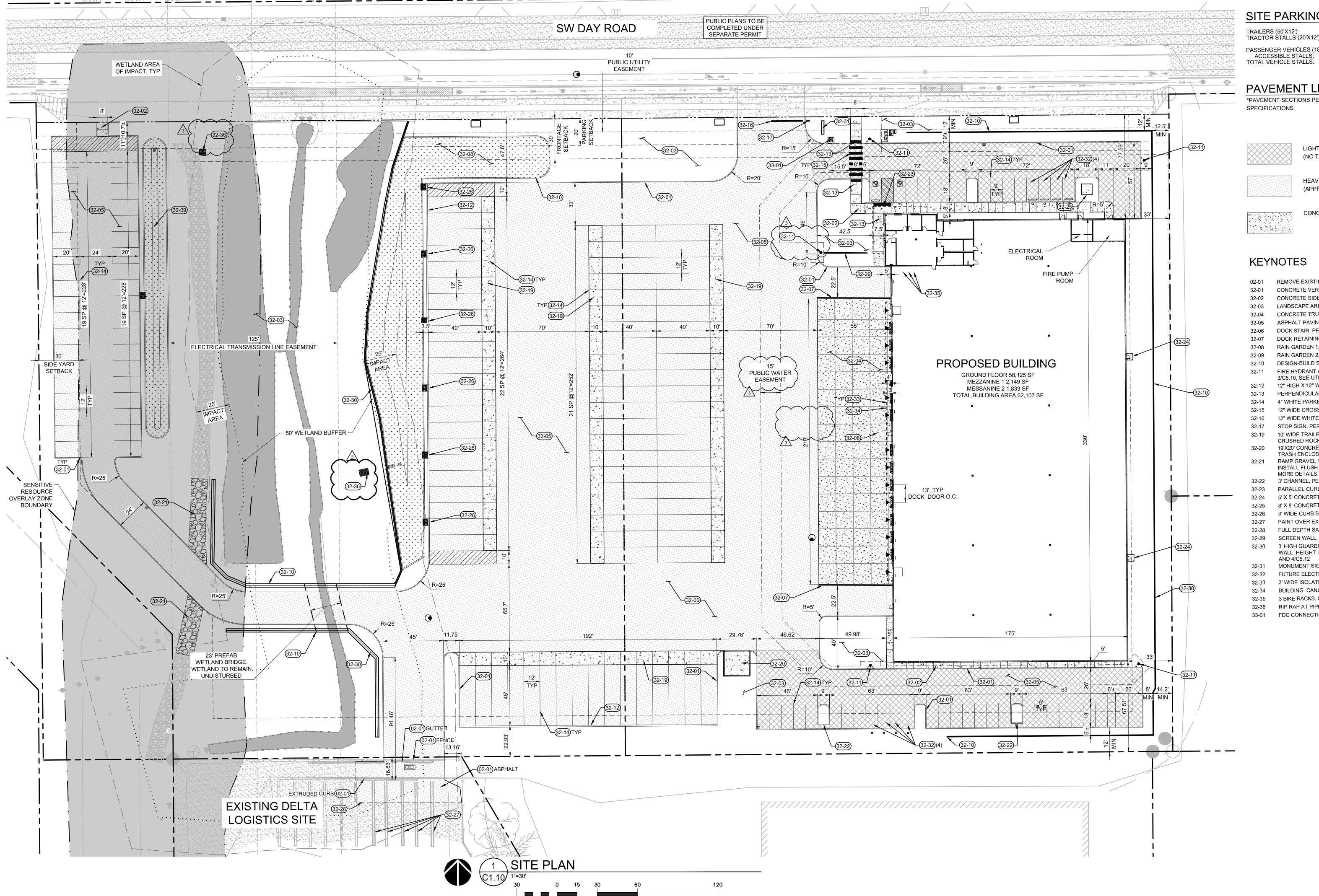
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CHECKED BY: BMR, BD

C0.01

JOB NO. **2200502.04** 

DESIGN REVIEW SET 07/29/2022
220050200\DRAWINGS\CIVIL\50204-C0.01-CIVIL NOTES AND LEGEND.DWG BMR 11/16/22 18:



( IN FEET ) 1 inch = 30 ft.

#### SITE COVERAGE SUMMARY

190,265 SF 4.37 AC 138,317 SF 3.15 AC 386,708 SF 8.88 AC LANDSCAPE AREA: TOTAL SITE AREA:

#### SITE PARKING SUMMARY

TRAILERS (50'X12'): TRACTOR STALLS (20'X12'): 80 STALLS 38 STALLS PASSENGER VEHICLES (18'X9'): 39 STALLS 2 STALLS

#### PAVEMENT LEGEND

\*PAVEMENT SECTIONS PER GEODESIGN, SEE APPENDIX IN PROJECT SPECIFICATIONS

41 STALLS

SECTION PER SUBSURFACE CONDITION: SOIL SUBGRADE BEDROCK 2.5" AC OVER 2.5" AC OVER LIGHT PAVEMENT 4.0" BASE ROCK 8.0" BASE ROCK

(NO TRUCK TRAFFIC)

(APPROX.50 TPD)

5.0" AC OVER HEAVY TRUCK PAVEMENT: 4.0" AC OVER 18.0" BASE ROCK 4.0" BASE ROCK

4 4

6" PCC WITH #4 @ 24" O.C. OVER 4" OF CRUSHED ROCK BASE. SUBGRADE TO BE COMPACTED TO GEOTECHNICAL REPORT SPECIFICATIONS

#### **KEYNOTES**

REMOVE EXISTING AS NOTED

CONCRETE VERTICAL CURB, PER DETAIL 1/C5.10 CONCRETE SIDEWALK, PER DETAIL 7/C5.10

LANDSCAPE AREA, SEE LANDSCAPE PLANS

CONCRETE TRUCK DOCK, SEE PAVEMENT LEGEND

DOCK STAIR, PER ARCHITECTURAL DETAIL DOCK RETAINING WALL, PER ARCHITECTURAL DETAIL

RAIN GARDEN 1, PER DETAIL 7/C5.12 RAIN GARDEN 2, PER DETAIL 8/C5.12

DESIGN-BUILD SOIL NAIL WALL, OR APPROVED EQUAL. SEE WALL PLAN FOR DETAILS

FIRE HYDRANT ASSEMBLY WITH BOLLARD PROTECTION. BOLLARD, PER DETAIL 2 AND 3/C5.10, SEE UTILITY PLAN FOR FIRE HYDRANT DETAILS

12" HIGH X 12" WIDE CURB AT TRUCK TRAILER PARKING STALLS, PER DETAIL 3/C5.10

PERPENDICULAR CURB RAMP, PER DETAIL 12/C5.10 4" WHITE PARKING STRIPE, PER SPECIFICATIONS

12" WIDE CROSSWALK STRIPE, PER SPECIFICATIONS

12" WIDE WHITE STOP BAR STRIPE

32-17 STOP SIGN, PER DETAIL 14/C5.10

32-19 10' WIDE TRAILER LANDING GEAR STRIP. 6" PCC W/ #4 @ 24" O.C. EACH WAY OVER 4" CRUSHED ROCK BASE. SEE DETAIL 8/C5.10 FOR CONCRETE TO ASPHALT TRANSITION

19'X20' CONCRETE PAD FOR TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE DETAIL RAMP GRAVEL ROAD TO MATCH GRADE AT DRIVE AISLE. SLOPE NOT TO EXCEED 10%.

INSTALL FLUSH CURB AT FOR WIDTH OF ROAD AT DRIVE AISLE. SEE GRADING PLAN FOR 32-22 3' CHANNEL, PER DETAIL 1/C5.12

32-23 PARALLEL CURB RAMP, PER DETAIL 13/C5.10

32-24 5' X 5' CONCRETE LANDING, PER DETAIL 7/C5.10

32-25 8' X 8' CONCRETE PAD FOR GENERATOR. SEE MEP PLAN 32-26 3' WIDE CURB BREAK AT 50' O.C., PER DETAIL 5/C5.10

PAINT OVER EXISTING TRAILER STALL PARKING WITH BLACK PAINT

32-28 FULL DEPTH SAW CUT, PER DETAIL 2/C5.10 32-29 SCREEN WALL, PER ARCHITECTURAL DETAIL 9/A5.10

32-30 3' HIGH GUARDRAIL TO BE EMBEDDED IN RETAINING WALL AT ALL LOCATIONS WHERE WALL HEIGHT IS GREATER THAN 30". SEE RETAINING WALL PROFILES AND DETAILS 3 AND 4/C5.12

32-31 MONUMENT SIGN. SEE LANDSCAPE PLANS FOR DETAILS

FUTURE ELECTRIC VEHICLE PARKING STALL. SEE ELECTRICAL PLANS FOR DETAILS

3' WIDE ISOLATED ROW. SEE DETAIL 12/C5.11 32-34 BUILDING CANOPY. SEE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS.

3 BIKE RACKS. SEE ARCHITECTURAL PLANS FOR DETAILS

32-36 RIP RAP AT PIPE OUTFALL, PER DETAIL 9/C5.12. SEE UTILITY PLANS FOR LOCATION

33-01 FDC CONNECTION, PER DETAIL 16/C5.10, SEE UTILITY PLAN

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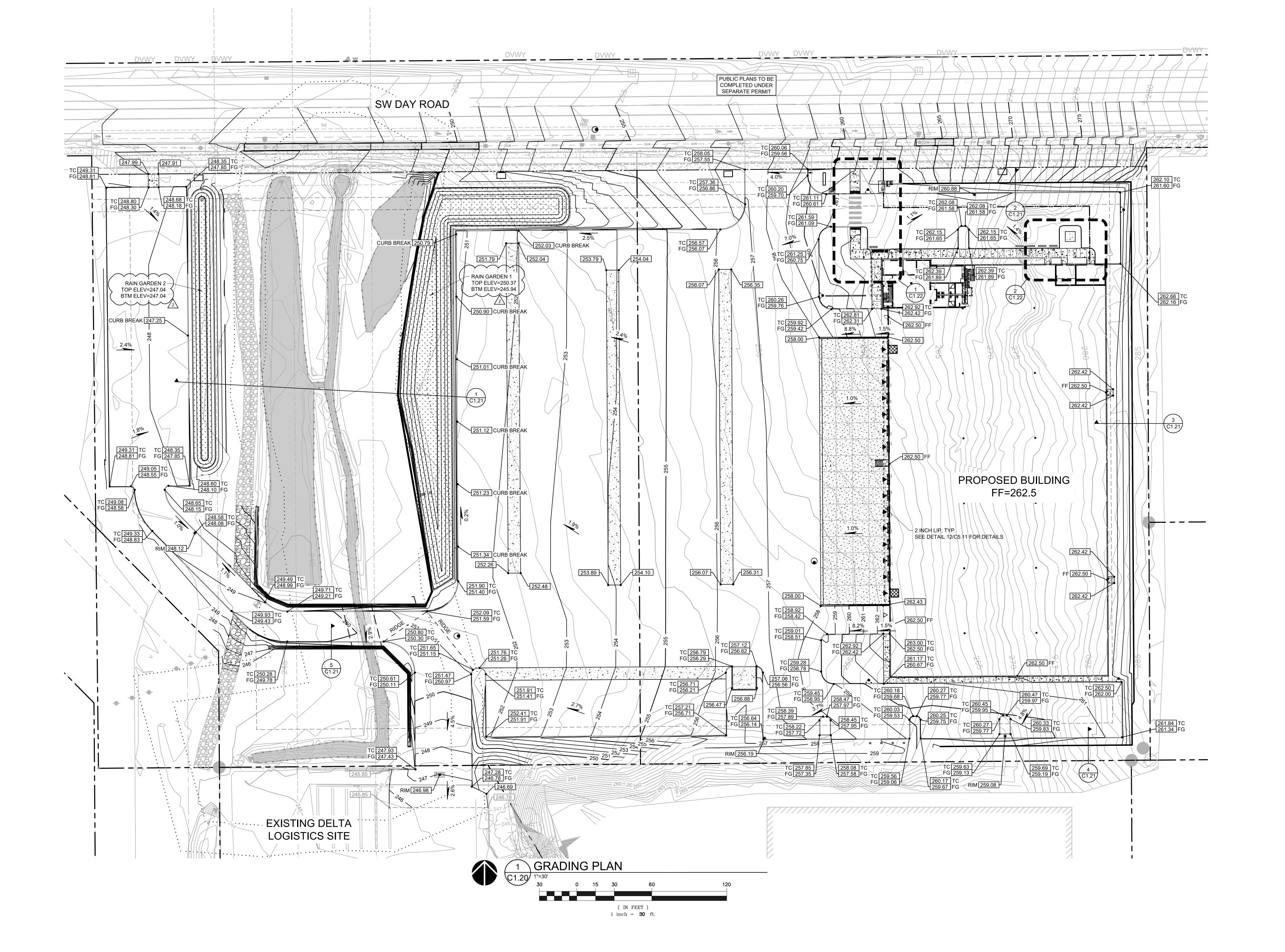
REVISION SCHEDULE Issued As Issue Date PLAN CHECK 06/10/2022 LAND USE 07/26/2022 3 LAND USE 11/15/2022

SHEET TITLE: SITE PLAN

DRAWN BY: AOC, BMR

C1.10

2200502.04





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2 LAND USE 11/15/2022

SHEET TITLE:

GRADING PLAN

DRAWN BY: AOC, BMR
CHECKED BY: BMR, BDN

C1.20

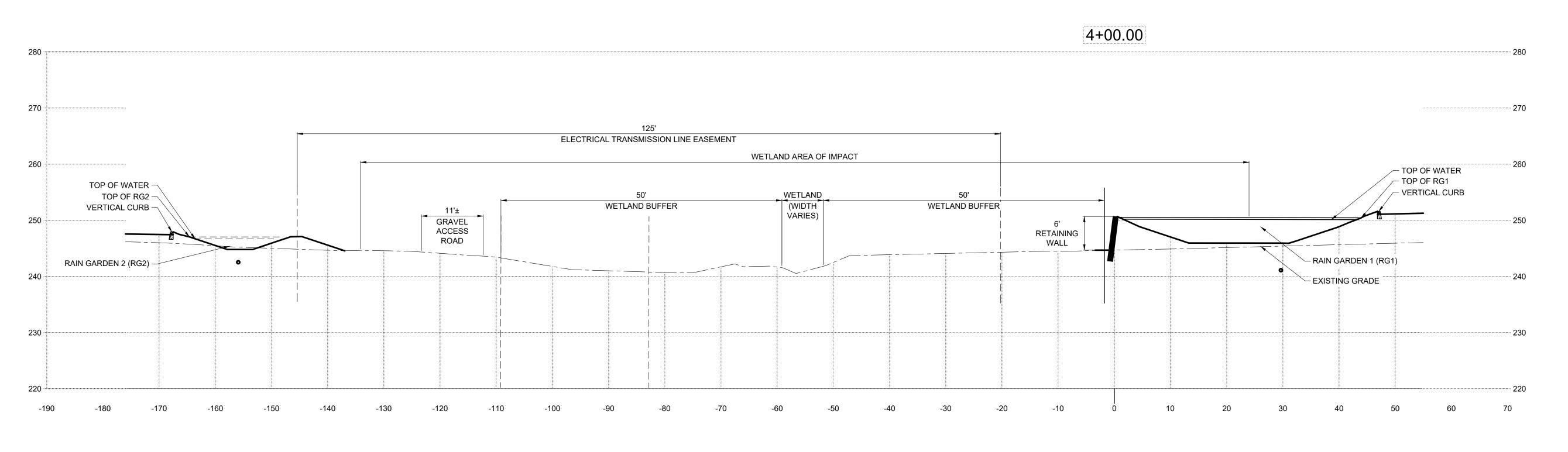
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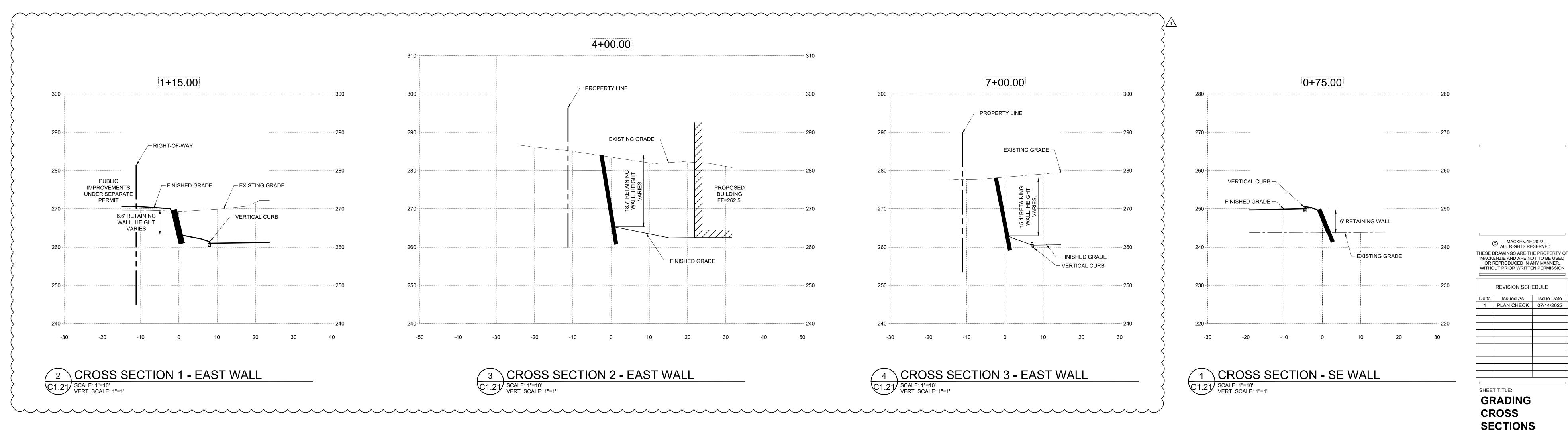
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1 CROSS SECTION - NORTHWEST WALL
C1.21 SCALE: 1"=10'
VERT. SCALE: 1"=1'



Issued As Issue Date
PLAN CHECK 07/14/2022 SHEET TITLE:

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REVISION SCHEDULE

**GRADING CROSS SECTIONS** 

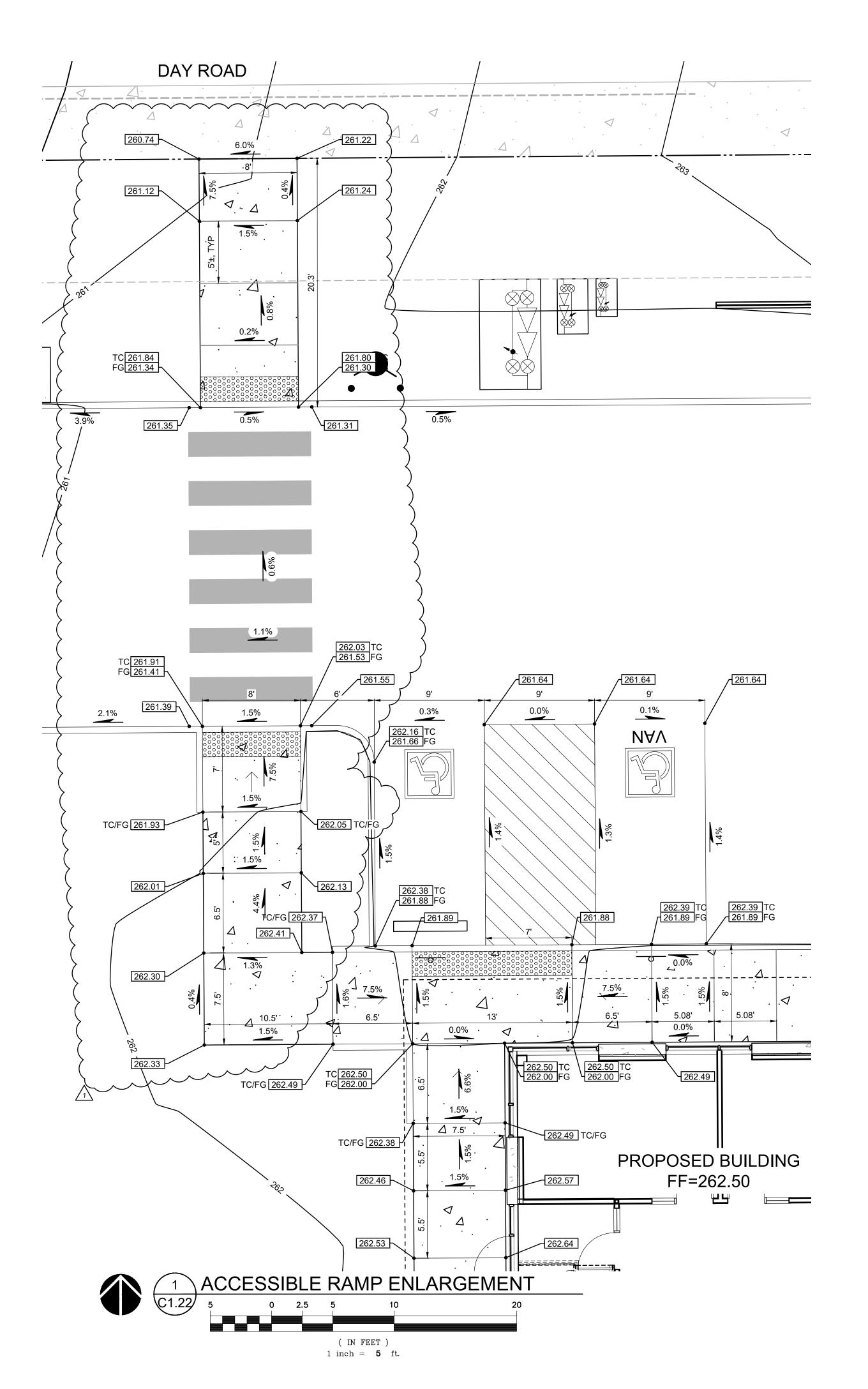
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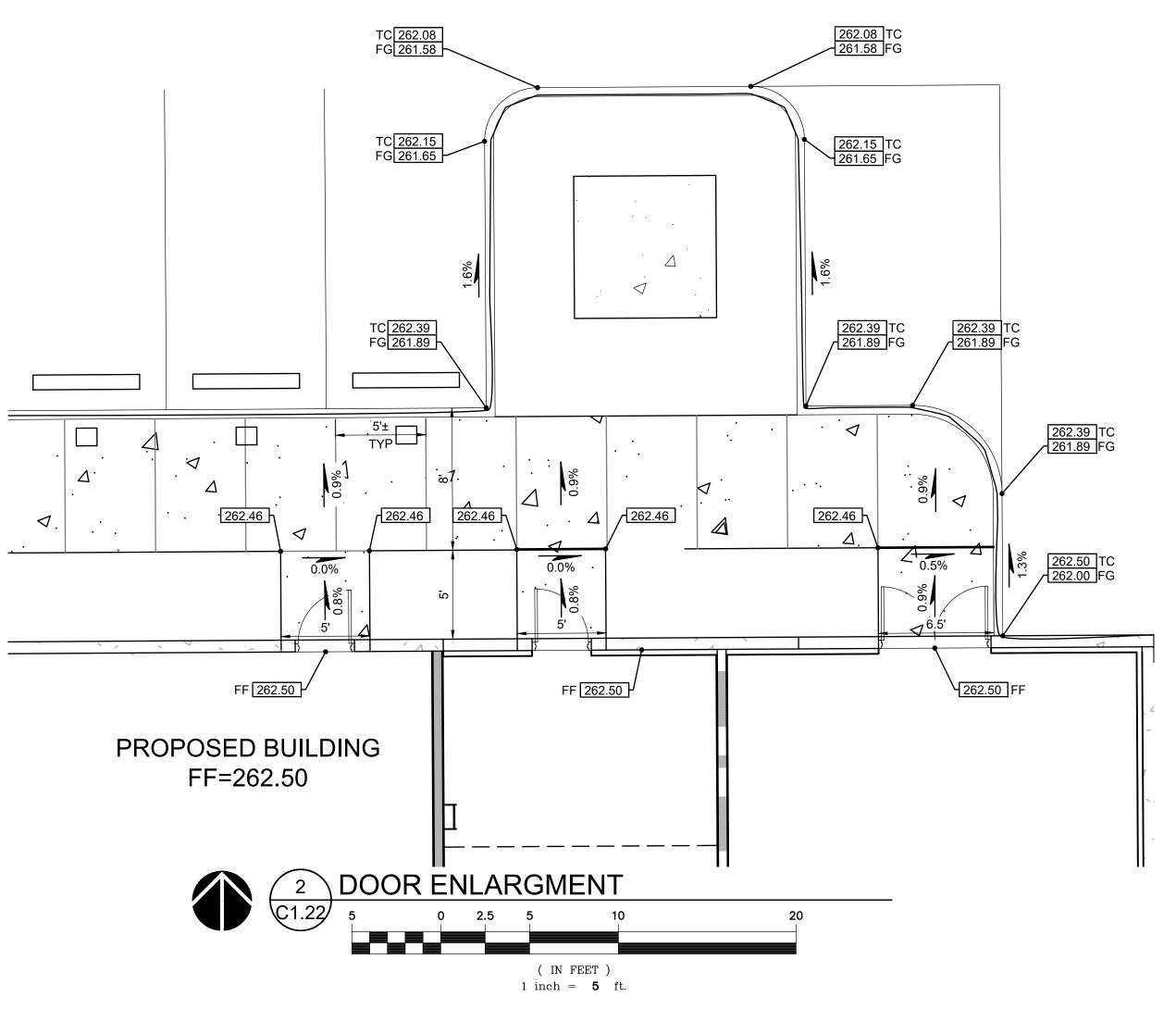
( IN FEET ) 1 inch = 10 ft.

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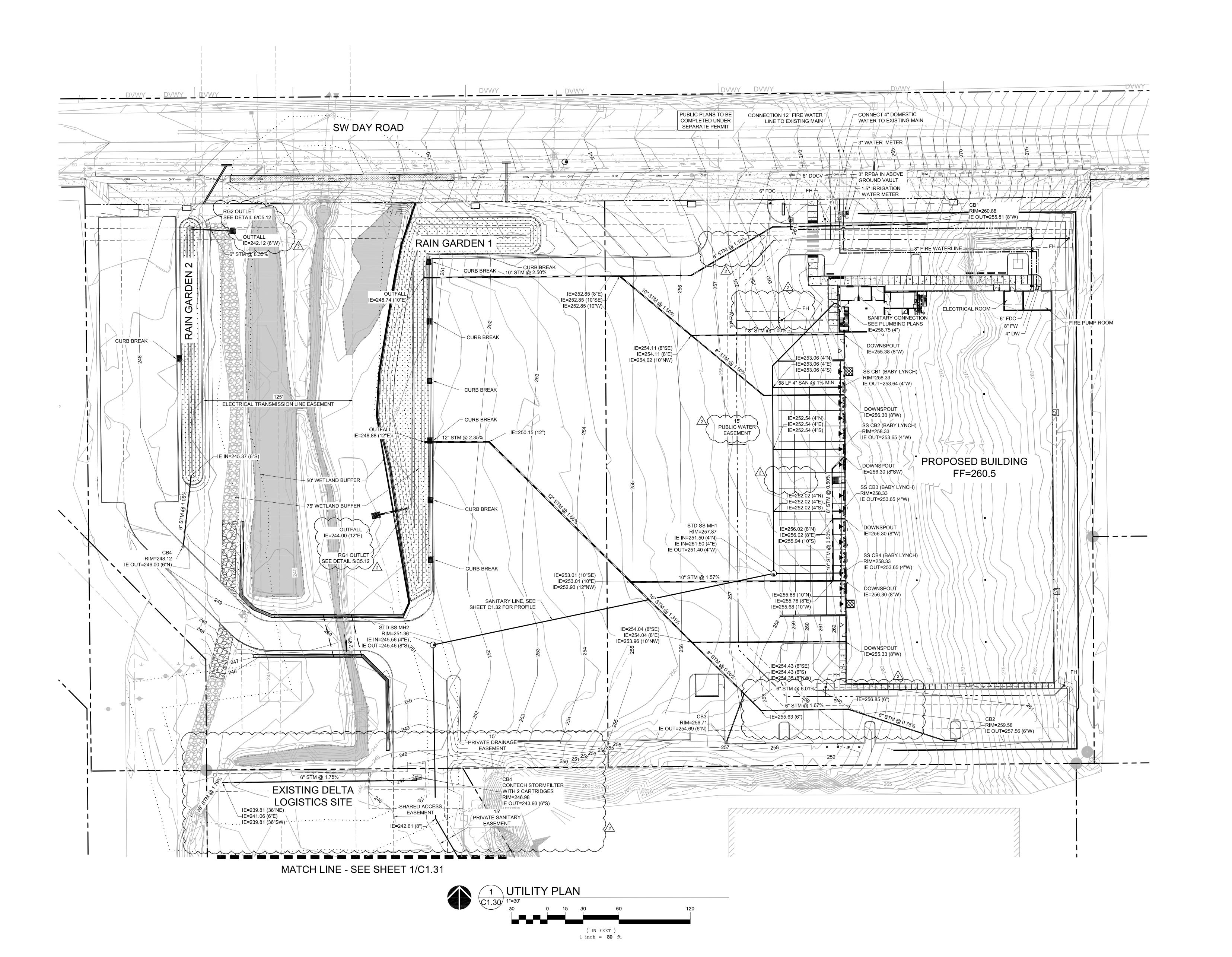
SHEET TITLE:
GRADING
ENLARGEMENT
PLAN

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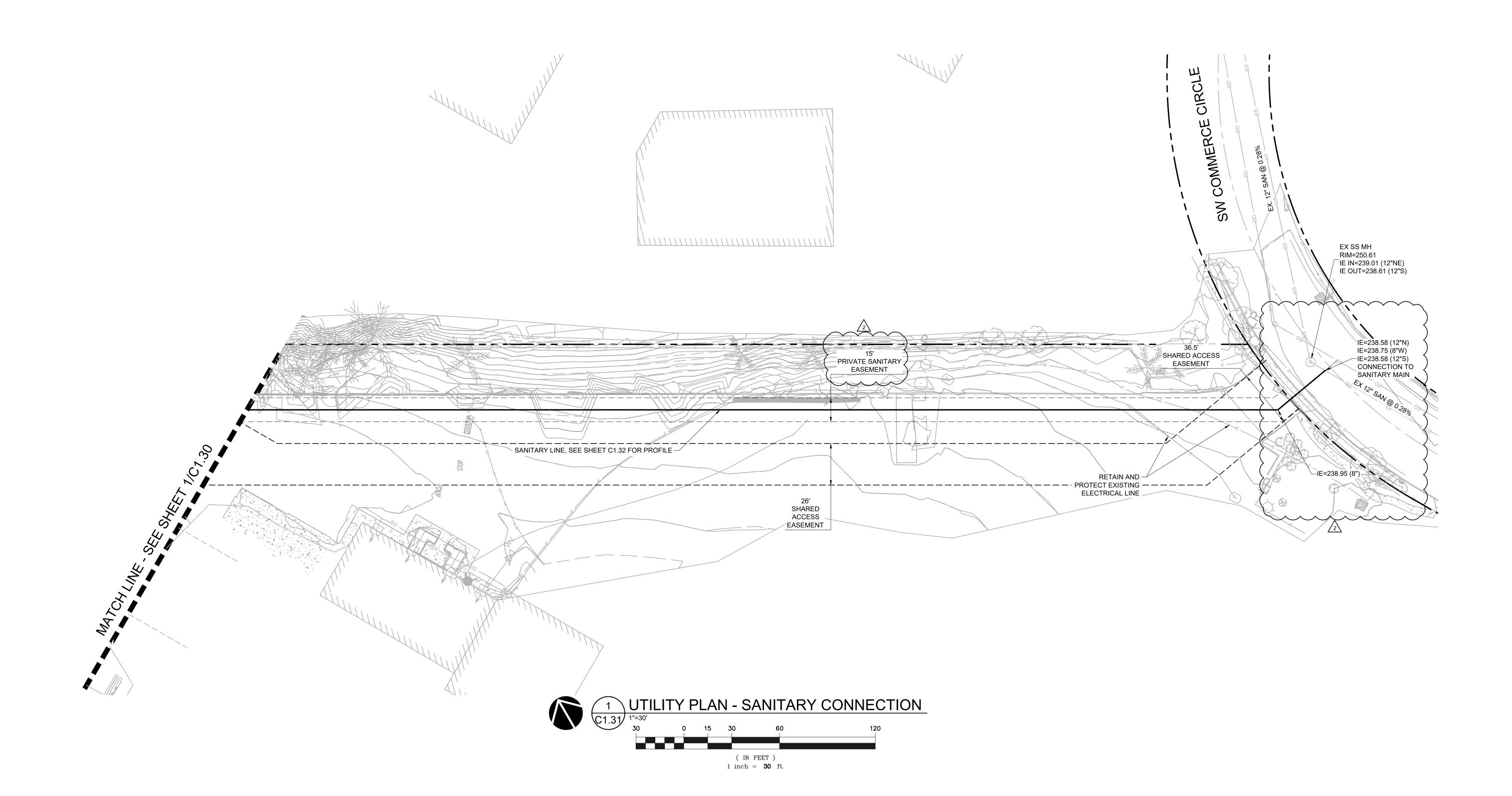
2 LAND USE 11/15/2022

SHEET TITLE:
UTILITY PLAN

DRAWN BY: AOC, BMR

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C1.30



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2 PLAN CHECK 11/15/2022

SHEET TITLE:

UTILITY PLAN 
SANITARY

CONNECTION

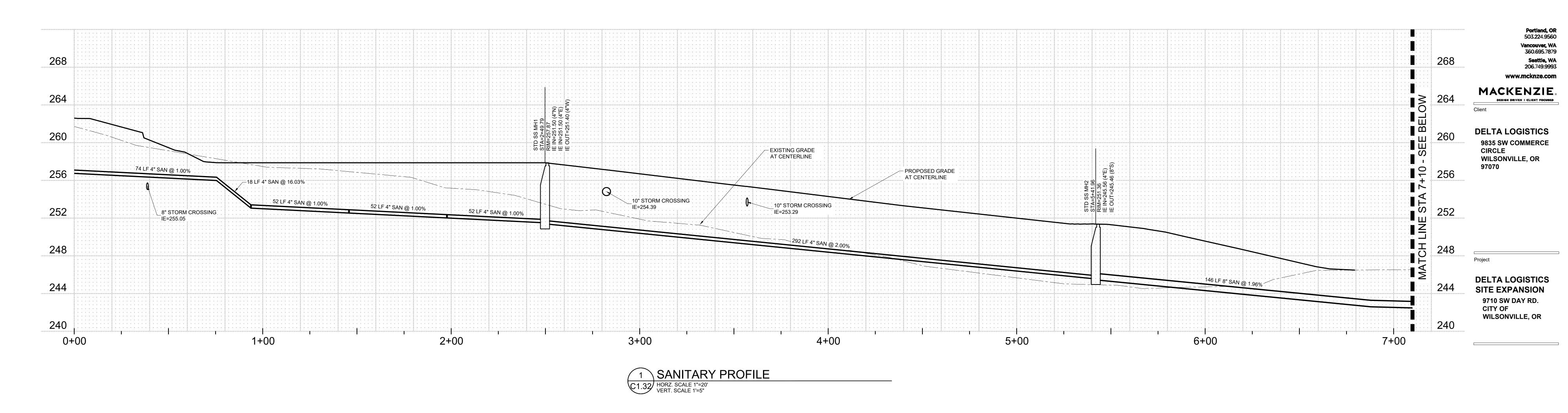
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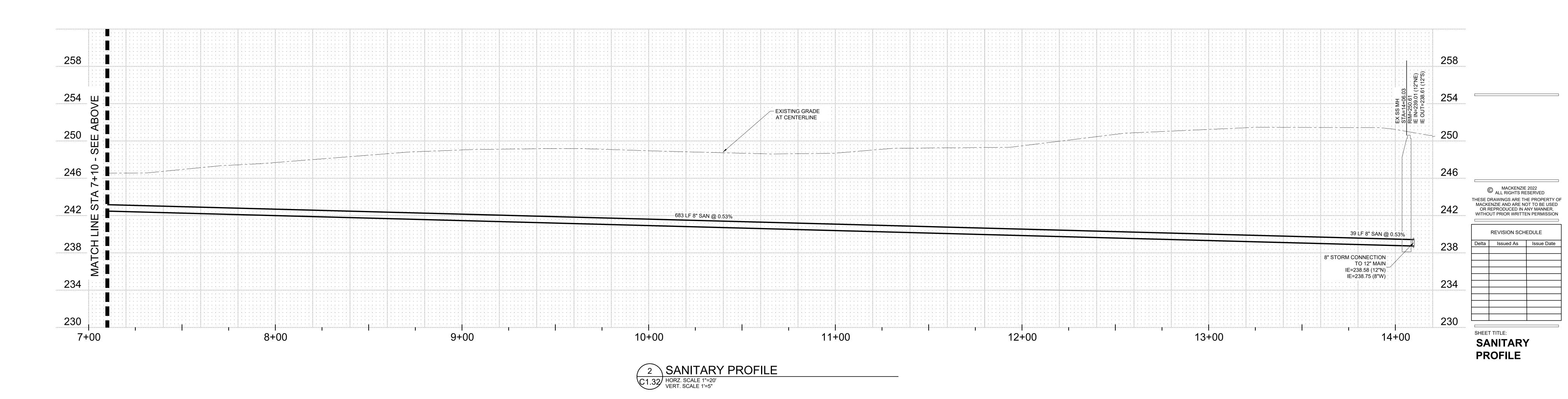
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DRAWN BY: BMR

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C1.32



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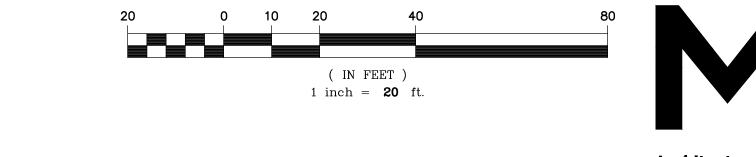
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OVERALL
RETAINING
WALL PLAN

DRAWN BY: BMR BMR, BDN CHECKED BY:

SHEET

C2.11



286

282

278

274

270

Planning - Engineering

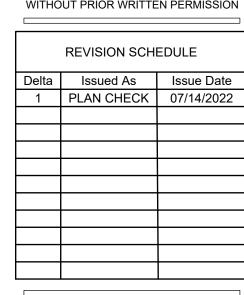
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SHEET TITLE: **EAST** 

**RETAINING WALL PROFILE** 

DRAWN BY: AOC, BMR

C2.11

SHEET

JOB NO. **2200502.04** 

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CTS\220050200\DRAWINGS\CIVII\50204-C2.10-13-RETAINING WALL PLAN AND PROFILE.DWG:C2.11 AOC 07/01/22 10:38 1:20 \*220050200\* \\GRP.MCK\PROJECTS\PROJECTS\22

GROUND ELEVATION AT FACE OF WALL GROUND ELEVATION AT BACK OF WALL

COORDINATION ONLY. WALL FINAL DESIGN TO BE DESIGN-BUILD.

REFER TO DESIGN-BUILD PLANS FOR WALL DETAILS, BLOCK LAYOUT,

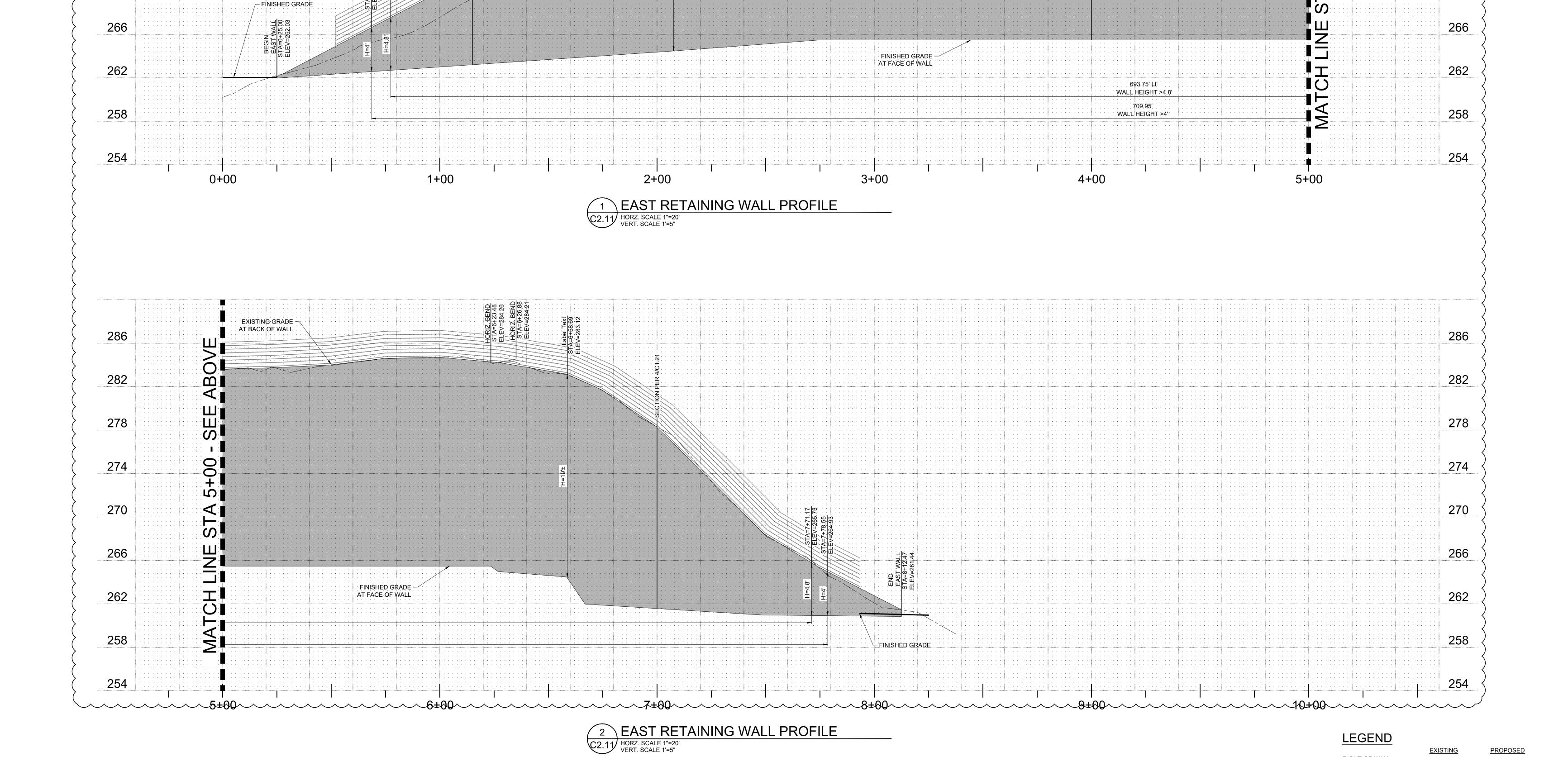
WALL ELEVATIONS ARE PROVIDED FOR CONTRACTOR

REINFORCING, AND OTHER DETAILS.

RIGHT-OF-WAY

NOTE:

MAJOR CONTOUR MINOR CONTOUR



/- GUARDRAIL WHERE WALL HEIGHT IS GREATER THAN 3 FT

PER DETAIL 4 AND 5/C5.12

EXISTING GRADE — AT BACK OF WALL

286

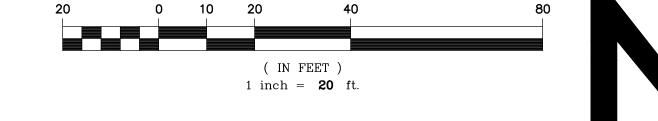
282

278

274

270

<u>PROPOSED</u>



258

250

242

238

234

230

6+00

SEE PUBLIC PLANS FOR CONTINUATION — OF RETAINING WALL TO THE WEST

5+00

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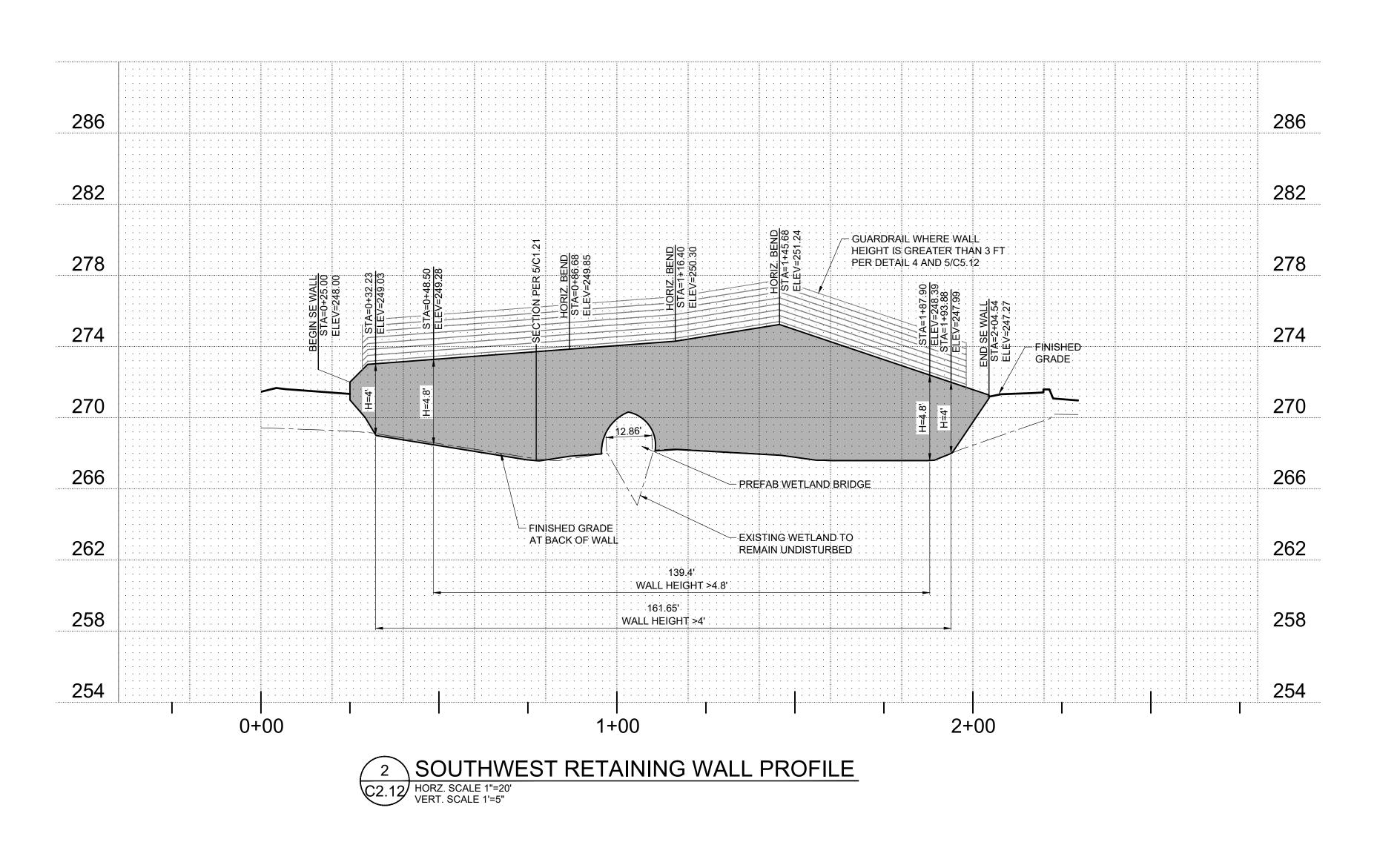
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1 NORTHWEST RETAINING WALL PROFILE
C2.12 HORZ. SCALE 1"=20'
VERT. SCALE 1'=5"

PREFAB WETLAND BRIDGE

EXISTING WETLAND TO REMAIN UNDISTURBED

2+00

GUARDRAIL WHERE WALL
HEIGHT IS GREATER THAN 3 FT
PER DETAIL 4 AND 5/C5.12

EXISTING GRADE
AT BACK OF WALL

485:62'

WALL HEIGHT >4.8'

492.59' WALL HEIGHT >4'

4+00

258

254

250

246

238

234

230

0+00

1+00

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REVISION SCHEDULE

Delta Issued As Issue Date

SHEET TITLE:

NORTHWEST
AND
SOUTHWEST
RETAINING
WALL PROFILES

DRAWN BY: AOC, BMR
CHECKED BY: BMR, BDN

C2.12

**---**

JOB NO. **2200502.04** 

PROPOSED

LEGEND

RIGHT-OF-WAY

NOTE:

MAJOR CONTOUR
MINOR CONTOUR

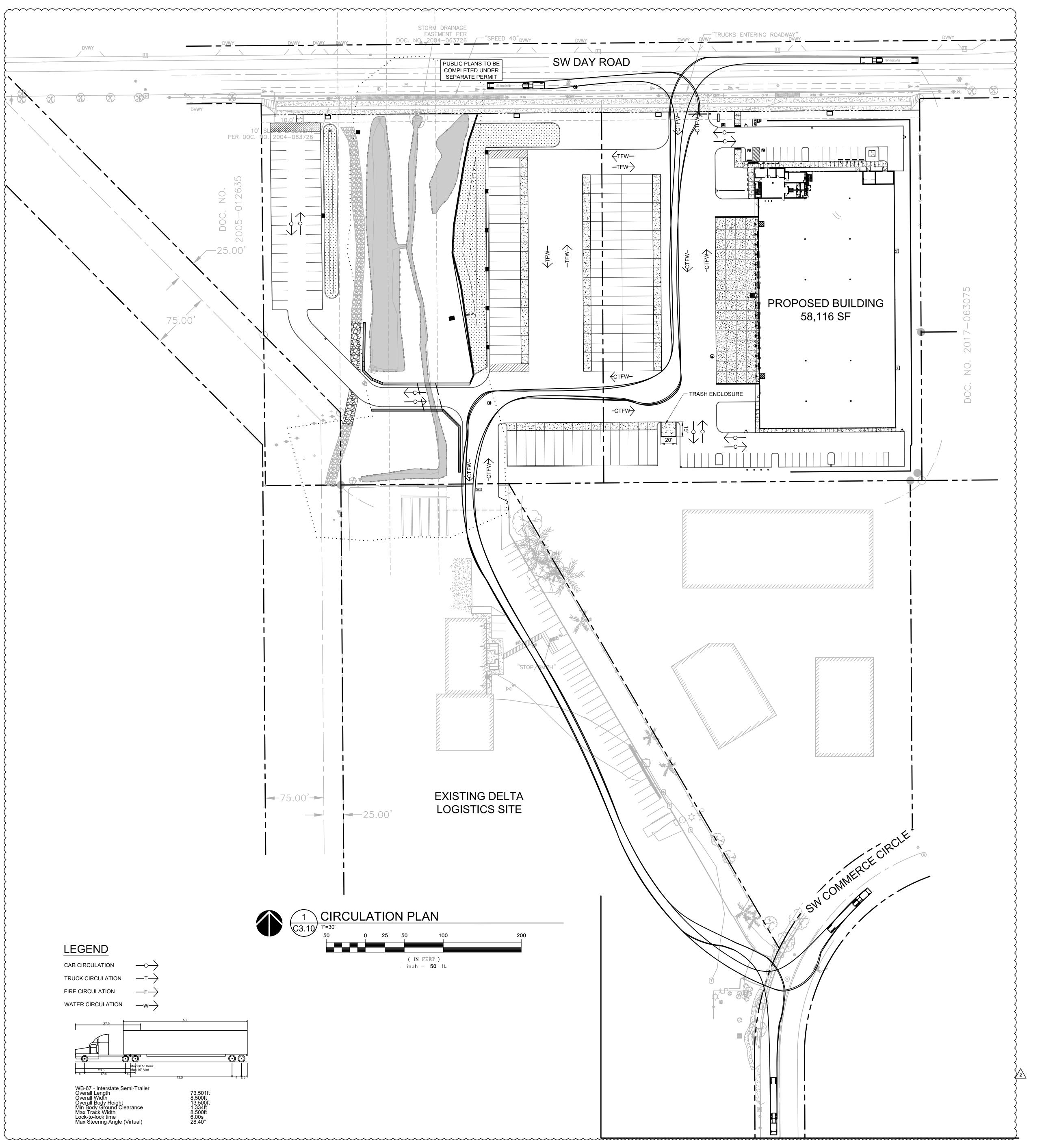
GROUND ELEVATION AT FACE OF WALL
GROUND ELEVATION AT BACK OF WALL

COORDINATION ONLY. WALL FINAL DESIGN TO BE DESIGN-BUILD.

REFER TO DESIGN-BUILD PLANS FOR WALL DETAILS, BLOCK LAYOUT,

WALL ELEVATIONS ARE PROVIDED FOR CONTRACTOR

REINFORCING, AND OTHER DETAILS.





Portland, OR 503.224.9560 Vancouver, WA 360.695.7879 Seattle, WA 206.749.9993 www.mcknze.com

## MACKENZIE DESIGN DRIVEN I CLIENT FOCUSED

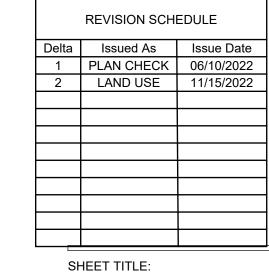
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9835 SW COMMERCE CIRCLE WILSONVILLE, OR

roject

DELTA LOGISTICS SITE EXPANSION 9710 SW DAY RD. CITY OF WILSONVILLE, OR

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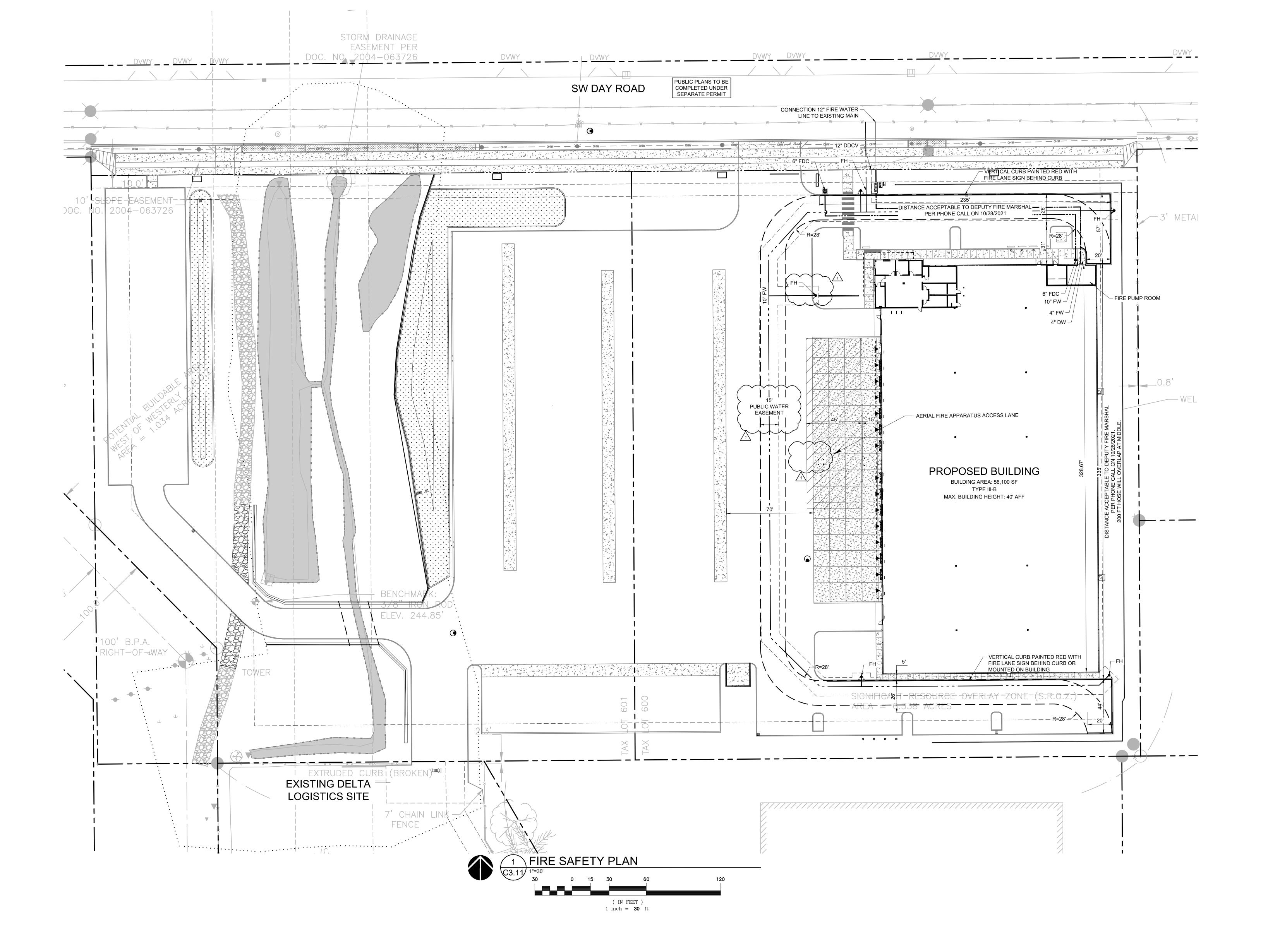
CIRCULATION PLAN

DRAWN BY:
BMR

CHECKED BY:
BMR, GIM

SHEET

C3 10





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Client

9835 SW COMMERCE CIRCLE WILSONVILLE, OR

Project

DELTA LOGISTICS SITE EXPANSION 9710 SW DAY RD. CITY OF WILSONVILLE, OR

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Delta Issued As Issue Dat

1 LAND USE 11/15/202

SHEET TITLE:
FIRE SAFETY
PLAN

DRAWN BY: BMR

SHEET

C3.11

2200502.04

# DELTA LOGISTICS SITE EXPANSION EROSION AND SEDIMENT CONTROL PLAN

# WILSONVILLE, OR

TAX LOTS 600, 601 3S102B000601, 3S102B000600 CLACKAMAS COUNTY, OREGON

**DRAWING NOTES:** 

AGENT, OR THE LOCAL MUNICIPALITY. (SECTION 4.7)

VEGETATIVE SEED MIX USED. (SECTION 2.2.5)

UTILITY POLE PADS.(SECTIONS 2.2.20 AND 2.2.21)

(SECTIONS 2.2.6 AND 2.2.13)

SITE. (SECTION 2.2.7.F)

DISTURBED. (SECTION 2.2.10)

SECTIONS 2.2.17 AND 2.2.18)

AREAS FROM BECOMING A SOURCE OF EROSION. (SECTION 2.2.2)

STANDARD EROSION AND SEDIMENT CONTROL PLAN

ONCE KNOWN, INCLUDE A LIST OF ALL CONTRACTORS THAT WILL ENGAGE IN CONSTRUCTION ACTIVITIES ON

INCLUDE A LIST OF ALL PERSONNEL (BY NAME AND POSITION) THAT ARE RESPONSIBLE FOR THE DESIGN.

INSTALLATION AND MAINTENANCE OF STORMWATER CONTROL MEASURES (E.G. ESCP DEVELOPER, BMP

INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-C PERMIT REQUIREMENTS. (SECTION

RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ.

THE PERMIT REGISTRANT MUST IMPLEMENT THE ESCP. FAILURE TO IMPLEMENT ANY OF THE CONTROL MEASURES OR PRACTICES DESCRIBED IN THE ESCP IS A VIOLATION OF THE PERMIT. (SECTIONS 4 AND 4.11)
THE ESCP MUST BE ACCURATE AND REFLECT SITE CONDITIONS. (SECTION 4.8)

8. SEQUENCE CLEARING AND GRADING TO THE MAXIMUM EXTENT PRACTICAL TO PREVENT EXPOSED INACTIVE

SUBMISSION OF ALL ESCP REVISIONS IS NOT REQUIRED. SUBMITTAL OF THE ESCP REVISIONS IS ONLY UNDER SPECIFIC CONDITIONS. SUBMIT ALL NECESSARY REVISION TO DEQ OR AGENT WITHIN 10 DAYS. (SECTION 4.9)

CREATE SMOOTH SURFACES BETWEEN SOIL SURFACE AND EROSION AND SEDIMENT CONTROLS TO PREVENT STORMWATER FROM BYPASSING CONTROLS AND PONDING. (SECTION 2.2.3)

(E.G., WETLANDS), AND OTHER AREAS TO BE PRESERVED, ESPECIALLY IN PERIMETER AREAS. (SECTION 2.2.1

AND VEGETATION INCLUDING IMPORTANT TREES AND ASSOCIATED ROOTING ZONES. AND VEGETATION AREAS TO BE PRESERVED. IDENTIFY VEGETATIVE BUFFER ZONES BETWEEN THE SITE AND SENSITIVE AREAS

11. PRESERVE EXISTING VEGETATION WHEN PRACTICAL AND RE-VEGETATE OPEN AREAS. RE-VEGETATE OPEN

AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION. IDENTIFY THE TYPE OF

12. MAINTAIN AND DELINEATE ANY EXISTING NATURAL BUFFER WITHIN THE 50-FEET OF WATERS OF THE STATE.

14. CONTROL BOTH PEAK FLOW RATES AND TOTAL STORMWATER VOLUME, TO MINIMIZE EROSION AT OUTLETS

15. CONTROL SEDIMENT AS NEEDED ALONG THE SITE PERIMETER AND AT ALL OPERATIONAL INTERNAL STORM DRAIN INLETS AT ALL TIMES DURING CONSTRUCTION, BOTH INTERNALLY AND AT THE SITE BOUNDARY.

16. ESTABLISH CONCRETE TRUCK AND OTHER CONCRETE EQUIPMENT WASHOUT AREAS BEFORE BEGINNING

17. APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED

AREAS AS GRADING PROGRESSES. TEMPORARY OR PERMANENT STABILIZATIONS MEASURES ARE NOT REQUIRED FOR AREAS THAT ARE INTENDED TO BE LEFT UNVEGETATED, SUCH AS DIRT ACCESS ROADS OR

18. ESTABLISH MATERIAL AND WASTE STORAGE AREAS, AND OTHER NON-STORMWATER CONTROLS. (SECTION

19. KEEP WASTE CONTAINER LIDS CLOSED WHEN NOT IN USE AND CLOSE LIDS AT THE END OF THE BUSINESS DAY FOR THOSE CONTAINERS THAT ARE ACTIVELY USED THROUGHOUT THE DAY. FOR WASTE CONTAINERS

20. PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS USING BMPS SUCH AS: CONSTRUCTION ENTRANCE, GRAVELED (OR PAVED) EXITS AND PARKING AREAS, GRAVEL ALL UNPAVED ROADS LOCATED

21. WHEN TRUCKING SATURATED SOILS FROM THE SITE, EITHER USE WATER-TIGHT TRUCKS OR DRAIN LOADS ON

ONSITE, OR USE AN EXIT TIRE WASH. THESE BMPS MUST BE IN PLACE PRIOR TO LAND- DISTURBING

22. CONTROL PROHIBITED DISCHARGES FROM LEAVING THE CONSTRUCTION SITE, I.E., CONCRETE WASH-OUT, WASTEWATER FROM CLEANOUT OF STUCCO, PAINT AND CURING COMPOUNDS. (SECTIONS 1.5 AND 2.3.9)

23. ENSURE THAT STEEP SLOPE AREAS WHERE CONSTRUCTION ACTIVITIES ARE NOT OCCURRING ARE NOT

24. PREVENT SOÌL COMPACTION IN AREAS WHERE POST-CONSTRUCTION INFILTRATION FACILITIES ARE TO BE

VEHICLES AND MACHINERY, AS WELL AS DEBRIS, FERTILIZER, PESTICIDES AND HERBÍCIDES, PAINTS,

BY AN OREGON PROFESSIONAL ENGINEER. (SEE SECTION 2.2.17.A)

ACCORDING TO MANUFACTURER'S SPECIFICATIONS. (SECTION 1.2.9)

FENCE HEIGHT AND BEFORE FENCE REMOVAL. (SECTION 2.1.5.B)

25. USE BMPS TO PREVENT OR MINIMIZE STORMWATER EXPOSURE TO POLLUTANTS FROM SPILLS; VEHICLE AND EQUIPMENT FUELING, MAINTENANCE, AND STORAGE; OTHER CLEANING AND MAINTENANCE ACTIVITIES; AND WÄSTE HANDLING ACTIVITIES. THESÉ POLLUTANTS INCLUDE FUEL, HYDRAULIC FLUID, AND OTHER OILS FROM

26. PROVIDE PLANS FOR SEDIMENTATION BASINS THAT HAVE BEEN DESIGNED PER SECTION 2.2.17 AND STAMPED

27. IF ENGINEERED SOILS ARE USED ON SITE, A SEDIMENTATION BASIN/IMPOUNDMENT MUST BE INSTALLED. (SEE

29. IMPLEMENT THE FOLLOWING BMPS WHEN APPLICABLE: WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES, EMPLOYEE TRAINING ON SPILL PREVENTION AND PROPER DISPOSAL PROCEDURES, SPILL KITS

30. USE WATER, SOIL-BINDING AGENT OR OTHER DUST CONTROL TECHNIQUE AS NEEDED TO AVOID WIND-BLOWN

MANUFACTURER'S RECOMMENDATIONS TO MINIMIZE NUTRIENT RELEASES TO SURFACE WATERS. EXERCISE

32. IF AN ACTIVE TREATMENT SYSTEM (FOR EXAMPLE, ELECTRO-COAGULATION, FLOCCULATION, FILTRATION,

CAUTION WHEN USING TIME-RELEASE FERTILIZERS WITHIN ANY WATERWAY RIPARIAN ZONE. (SECTION 2.3.5)

ETC.) FOR SEDIMENT OR OTHER POLLUTANT REMOVAL IS EMPLOYED, SUBMIT AN OPERATION AND MAINTENANCE PLAN (INCLUDING SYSTEM SCHEMATIC, LOCATION OF SYSTEM, LOCATION OF INLET, LOCATION

OF DISCHARGE, DISCHARGE DISPERSION DEVICE DESIGN, AND A SAMPLING PLAN AND FREQUENCY) BEFORE

OPERATING THE TREATMENT SYSTEM. OBTAIN ENVIRONMENTAL MANAGEMENT PLAN APPROVAL FROM DEQ BEFORE OPERATING THE TREATMENT SYSTEM. OPERATE AND MAINTAIN THE TREATMENT SYSTEM

33. TEMPORARILY STABILIZE SOILS AT THE END OF THE SHIFT BEFORE HOLIDAYS AND WEEKENDS. IF NEEDED.

34. AS NEEDED BASED ON WEATHER CONDITIONS. AT THE END OF EACH WORKDAY SOIL STOCKPILES MUST BE

35. SEDIMENT FENCE: REMOVE TRAPPED SEDIMENT BEFORE IT REACHES ONE THIRD OF THE ABOVE GROUND

36. OTHER SEDIMENT BARRIERS (SUCH AS BIOBAGS): REMOVE SEDIMENT BEFORE IT REACHES TWO INCHES

37. CATCH BASINS: CLEAN BEFORE RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. SEDIMENT BASINS AND SEDIMENT TRAPS: REMOVE TRAPPED SEDIMENTS BEFORE DESIGN CAPACITY HAS BEEN

38. WITHIN 24 HOURS, SIGNIFICANT SEDIMENT THAT HAS LEFT THE CONSTRUCTION SITE, MUST BE REMEDIATE

39. THE INTENTIONAL WASHING OF SEDIMENT INTO STORM SEWERS OR DRAINAGE WAYS MUST NOT OCCUR

INVESTIGATE THE CAUSE OF THE SEDIMENT RELEASE AND IMPLEMENT STEPS TO PRÉVENT A RECURRENCE

OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN-UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DEPARTMENT OF STATE LANDS REQUIRED TIMEFRAME. (SECTION

VACUUMING OR DRY SWEEPING AND MATERIAL PICKUP MUST BE USED TO CLEANUP RELEASED SEDIMENTS.

41. PROVIDE TEMPORARY STABILIZATION FOR THAT PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES CEASE FOR 14 DAYS OR MORE WITH A COVERING OF BLOWN STRAW AND A TACKIFIER, LOOSE STRAW, OR AN ADEQUATE COVERING OF COMPOST MULCH UNTIL WORK RESUMES ON THAT PORTION OF THE SITE. (SECTION

42. DO NOT REMOVE TEMPORARY SEDIMENT CONTROL PRACTICES UNTIL PERMANENT VEGETATION OR OTHER COVER OF EXPOSED AREAS IS ESTABLISHED. ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, ALL TEMPORARY EROSION CONTROLS AND RETAINED SOILS MUST BE REMOVED AND DISPOSED

OF PROPERLY, UNLESS NEEDED FOR LONG TERM USE FOLLOWING TERMINATION OF PERMIT COVERAGE.

THE REGISTRANT IS RESPONSIBLE FOR ENSURING THAT SOILS ARE STABLE DURING RAIN EVENTS AT ALL

STABILIZED OR COVERED, OR OTHER BMPS MÚST BE IMPLEMENTED TO PREVENT DISCHARGES TO SURFACE

IN ALL VEHICLES, REGULAR MAINTENANCE SCHEDULE FOR VEHICLES AND MACHINERY, MATERIAL DELIVERY AND STORAGE CONTROLS, TRAINING AND SIGNAGE, AND COVERED STORAGE AREAS FOR WASTE AND

28. PROVIDE A DEWATERING PLAN FOR ACCUMULATED WATER FROM PRECIPITATION AND UNCONTAMINATED

GROUNDWATER SEEPAGE DUE TO SHALLOW EXCAVATION ACTIVITIES. (SEE SECTION 2.4)

31. THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW

WATERS OR CONVEYANCE SYSTEMS LEADING TO SURFACE WATERS. (SECTION 2.2.8)

DEPTH ABOVE GROUND HEIGHT AND BEFORE BMP REMOVAL. (SECTION 2.1.5.C)

REDUCED BY FIFTY PERCENT AND AT COMPLETION OF PROJECT. (SECTION 2.1.5.D)

OR WILL BE TEMPORARILY INACTIVE FOR 14 OR MORE CALENDAR DAYS. (SECTION 6.5.F.)

SOLVENTS, CURING COMPOUNDS AND ADHESIVÉS FROM CONSTRUCTION OPERATIONS. (SECTIONS 2.2.15 AND

PREVENT THE DISCHARGE OF POLLUTANTS (E.G., SECONDARY CONTAINMENT). (SECTION 2.3.7)

THAT DO NOT HAVE LIDS, PROVIDE EITHER (1) COVER (E.G., A TARP, PLASTIC SHEETING, TEMPORARY ROOF TO PREVENT EXPOSURE OF WASTES TO PRECIPITATION, OR (2) A SIMILARLY EFFECTIVE MEANS DESIGNED TO

AND DOWNSTREAM CHANNELS AND STREAMBANKS. (SECTIONS 2.1.1. AND 2.2.16)

13. INSTALL PERIMETER SEDIMENT CONTROL, INCLUDING STORM DRAIN INLET PROTECTION AS WELL AS ALL

NSTALLER (SEE SECTION 4.10), AS WELL AS THEIR INDIVIDUAL RESPONSIBILITIES. (SECTION 4.4.C.II)

VISUAL MONITORING INSPECTION REPORTS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT

ITE, AND THE AREAS OF THE SITE WHERE THE CONTRACTOR(S) WILL ENGAGE IN CONSTRUCTION ACTIVITIES REVISE THE LIST AS APPROPRIATE UNTIL PERMIT COVERAGE IS TERMINATED (SECTION 4.4.C.I). IN ADDITION,

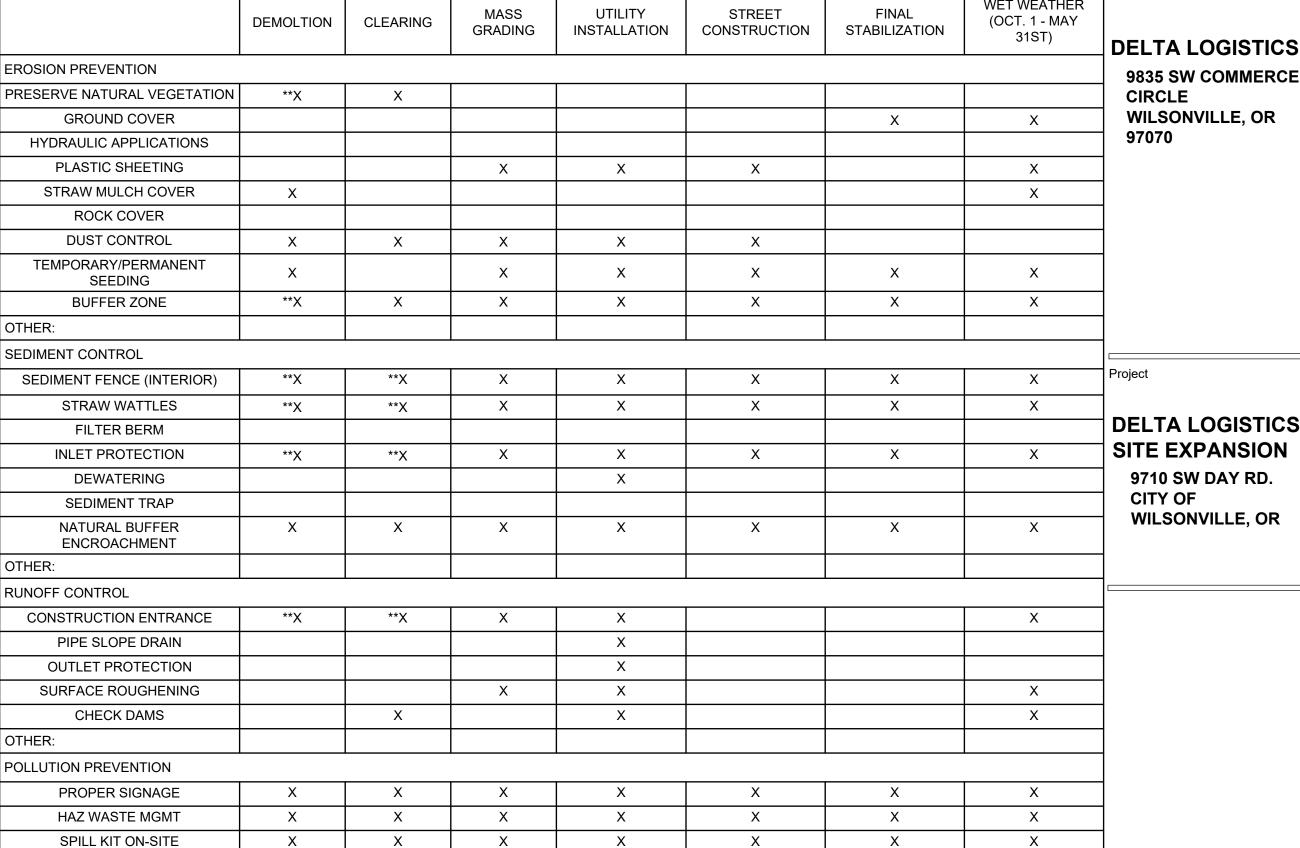


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#### BMP MATRIX FOR CONSTRUCTION PHASES

**DELTA LOGISTICS** 



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\* SIGNIFIES ADDITIONAL BMP'S REQUIRED FOR WORK WITHIN 50' OF WATER OF THE STATE.

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#### INCOECTION EDECLIENCY TABLE

INST LCTION TINEQUENCT	
SITE CONDITION	MINIMUM FREQUENCY
1. ACTIVE PERIOD	ON INITIAL DATE THAT LAND DISTURBANCE ACTIVITIES COMMENCE.  WITHIN 24 HOURS OF ANY STORM EVENT, INCLUDING RUNOFF FROM SNOWMELT, IS OCCURRING AND RESULTS IN DISCHARGE FROM THE SITE.
	AT LEAST ONCE EVERY FOURTEEN (14) DAYS, REGARDLESS OF WHETHER STORMWATER RUNOFF IS OCCURRING.
2. PRIOR TO THE SITE BECOMING INACTIVE OR IN ANTICIPATION OF SITE INACCESSIBILITY.	ONCE TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE IN WORKING ORDER. ANY NECESSARY MAINTENANCE AND REPAIR MUST BE MADE PRIOR TO LEAVING THE SITE.
3. INACTIVE PERIODS GREATER THAN FOURTEEN (14) CONSECUTIVE CALENDAR DAYS.	THE INSPECTOR MAY REDUCE THE FREQUENCY OF INSPECTIONS IN ANY AREA OF THE SITE WHERE THE STABILIZATION STEPS IN SECTION 2.2.20 HAVE BEEN COMPLETED TO TWICE PER MONTH FOR THE FIRST MONTH, NO LESS THAN 14 CALENDAR DAYS APART, THEN ONCE PER MONTH.
4. PERIODS DURING WHICH THE SITE IS INACCESSIBLE DUE TO INCLEMENT WEATHER.	IF SAFE, ACCESSIBLE, AND PRACTICAL, INSPECTIONS MUST OCCUR DAILY AT A RELEVANT AND ACCESSIBLE DISCHARGE POINT OR DOWNSTREAM LOCATION OF THE RECEIVING WATERBODY.
5. PERIODS DURING WHICH CONSTRUCTION ACTIVITIES ARE SUSPENDED AND RUNOFF IS UNLIKELY DUE TO FROZEN CONDITIONS.	VISUAL MONITORING INSPECTIONS MAY BE TEMPORARILY SUSPENDED. IMMEDIATELY RESUME MONITORING UPON THAWING, OR WHEN WEATHER CONDITIONS MAKE DISCHARGES LIKELY.
5. PERIODS DURING WHICH CONSTRUCTION ACTIVITIES ARE CONDUCTED AND RUNOFF IS UNLIKELY DURING FROZEN CONDITIONS.	MONTHLY. RESUME MONITORING IMMEDIATELY UPON MELT, OR WHEN WEATHER CONDITIONS MAKE DISCHARGES LIKELY.

 HOLD A PRE-CONSTRUCTION MEETING OF PROJECT PERSONNEL THAT INCLUDED THE INSPECTOR TO DISCUSSION EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS

•• RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ. AGENT, OR THE LOCAL MUNICIPALITY. DURING INACTIVE PERIODS OF GREATER THAN SEVEN (7) CONSECUTIVE CALENDAR DAYS, RETAIN THE ESCP AT THE CONSTRUCTION SITE OR AT ANOTHER

THE PERMITTEE IS REQUIRED TO MEET ALL THE CONDITIONS OF THE 1200-C PERMIT. THIS ESCP AND GENERAL CONDITIONS HAVE BEEN DEVELOPED TO FACILITATE COMPLIANCE WITH THE 1200-C PERMIT REQUIREMENTS. IN CASES OF DISCREPANCIES OR OMISSIONS, THE 1200-C PERMIT REQUIREMENTS SUPERCEDE REQUIREMENTS OF THIS PLAN.

#### LOCAL AGENCY-SPECIFIC EROSION CONTROL NOTES:

- VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP I.E. (FILTER BAG)
- C4.10 DEMOLITION ESC PLAN
- C4.20 CLEARING ESC PLAN

MACKENZIE.

# REFER TO DEQ GUIDANCE MANUAL FOR A COMPREHENSIVE LIST OF AVAILABLE BMP'S WET WEATHER

WILSONVILLE, OR **DELTA LOGISTICS** SITE EXPANSION 9710 SW DAY RD. CITY OF WILSONVILLE, OR

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REVISION SCHEDULE

**EROSION AND** 

**COVER SHEET** 

SEDIMENT

CONTROL

DRAWN BY: AOC

CHECKED BY:

Issued As Issue Date

\*\* SIGNIFIES BMP THAT WILL BE INSTALLED PRIOR TO ANY GROUND DISTURBING ACTIVITY.

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CONCRETE WASHOUT AREA

INSPECTION FREQUENCY	TABLE
SITE CONDITION	MINIMUM FREQUENCY
	ON INITIAL DATE THAT LAND DISTURBANCE ACTIVITIES COMMENCE.
1. ACTIVE PERIOD	WITHIN 24 HOURS OF ANY STORM EVENT, INCLUDING RUNOFF FROM SNOWMELT, IS OCCURRING AND RESULTS IN DISCHARGE FROM THE SITE.
	AT LEAST ONCE EVERY FOURTEEN (14) DAYS, REGARDLESS OF WHETHER STORMWATER RUNOFF IS OCCURRING.
<ol> <li>PRIOR TO THE SITE BECOMING INACTIVE OR IN ANTICIPATION OF SITE INACCESSIBILITY.</li> </ol>	ONCE TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE IN WORKING ORDER. ANY NECESSARY MAINTENANCE AND REPAIR MUST BE MADE PRIOR TO LEAVING THE SITE.
3. INACTIVE PERIODS GREATER THAN FOURTEEN (14) CONSECUTIVE CALENDAR DAYS.	THE INSPECTOR MAY REDUCE THE FREQUENCY OF INSPECTIONS IN ANY AREA OF THE SITE WHERE THE STABILIZATION STEPS IN SECTION 2.2.20 HAVE BEEN COMPLETED TO TWICE PER MONTH FOR THE FIRST MONTH, NO LESS THAN 14 CALENDAR DAYS APART, THEN ONCE PER MONTH.
4. PERIODS DURING WHICH THE SITE IS INACCESSIBLE DUE TO INCLEMENT WEATHER.	IF SAFE, ACCESSIBLE, AND PRACTICAL, INSPECTIONS MUST OCCUR DAILY AT A RELEVANT AND ACCESSIBLE DISCHARGE POINT OR DOWNSTREAM LOCATION OF THE RECEIVING WATERBODY.
5. PERIODS DURING WHICH CONSTRUCTION ACTIVITIES ARE SUSPENDED AND RUNOFF IS UNLIKELY DUE TO FROZEN CONDITIONS.	VISUAL MONITORING INSPECTIONS MAY BE TEMPORARILY SUSPENDED. IMMEDIATELY RESUME MONITORING UPON THAWING, OR WHEN WEATHER CONDITIONS MAKE DISCHARGES LIKELY.
5. PERIODS DURING WHICH CONSTRUCTION ACTIVITIES ARE CONDUCTED AND RUNOFF IS UNLIKELY DURING FROZEN CONDITIONS.	MONTHLY. RESUME MONITORING IMMEDIATELY UPON MELT, OR WHEN WEATHER CONDITIONS MAKE DISCHARGES LIKELY.

• ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT REQUIREMENTS

INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-C PERMIT REQUIREMENTS

- 1. IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAT SEPTEMBER 1: THE TYPE AND PERCENTAGES OF SEED IN THE MIX MUST BE IDENTIFIED ON THE PLANS. 2. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY
- 3. ALL EXPOSED SOILS MUST BE COVERED DURING THE WET WEATHER PERIOD, OCTOBER 01 MAY 31

#### **EROSION AND SEDIMENT CONTROL PLANS SHEET INDEX**

- C4.00 EROSION AND SEDIMENT CONTROL COVER SHEET
- C4.30 MASS GRADING AND STABILIZATION CONSTRUCTION ESC PLAN C4.40 MASS GRADING AND STABILIZATION RUNOFF CONTROL PLAN
- C4.50 UTILITY CONSTRUCTION ESC PLAN C4.60 FOUNDATION ESC PLAN
- C4.70 EROSION AND SEDIMENT CONTROL PLAN DETAILS

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM STORMWATER DISCHARGE PERMIT DATE: 09/15/2020 FILE NO. 127017 EPA NO. ORR10G282

PRÓPOSED WILSONVILLE, OR

NARRATIVE DESCRIPTIONS

**EXISTING SITE CONDITIONS** 

**DEVELOPED CONDITIONS** 

TOTAL SITE AREA = 386,732 SF (6.74 AC)

TOTAL DISTURBED AREA = 386,732 SF (6.74 AC)

5B - BRIEDWELL STONY SILT LOAM, 0 TO 7 % SLOPES

63B - SALEM GRAVELLY SILT LOAM, 0 TO 7 % SLOPES

**RECEIVING WATER BODIES:** 

PERMITTEE'S SITE INSPECTOR:

37B - QUATAMA LOAM, 3 TO 7 % SLOPES

38B - SAUM SILT LOAM, 2 TO 7 % SLOPES

43 - WAPATO SILTY CLAY LOAM

NSPECTOR: PETER ZAGARYUK

E-MAIL: VZEXCAVATION@GMAIL.COM

PHONE:(503) 816-1219

38C - SAUM SILT LOAM, 7 TO 12 % SLOPES

38D - SAUM SILT LOAM, 12 TO 20 % SLOPES

NEAREST WATER BODY: COFFEE LAKE CREEK

COMPANY: BUILT ENVIRONMENTS NORTHWEST

CERTIFICATION: CWT21-1240, EXPIRES 05/13/2024

RATIONALE STATEMENT

AND ESTIMATED TIME TABLE

NATURE OF CONSTRUCTION ACTIVITY

OCT 2022 TO NOV 2022

APR 2023 TO JULY 2023

JULY 2023 TO AUG 2023

AUG 2023 TO OCT 2023

OCT 2023 TO NOV 2023

SITE SOIL CLASSIFICATION: (FROM USGS)

A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS

BASED ON DEQ'S GUIDANCE MANUAL HAS BEEN REVIEWED TO COMPLETE THIS EROSION

AND SEDIMENT CONTROL PLAN. SOME OF THE ABOVE LISTED BMP's WERE NOT CHOSEN

CONDITIONS, INCLUDING SOIL CONDITIONS TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY

TO THE SITE, AND OTHER RELATED CONDITIONS, AS THE PROJECT PROGRESSES AND

PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE

THERE IS A NEED TO REVISE THE ESCP PLAN, AN ACTION PLAN WILL BE SUBMITTED.

BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION

MAR 2023 TO JUN 2023

\*INDUSTRIAL BUILDING AND STORAGE

\* UNDEVELOPED LAND

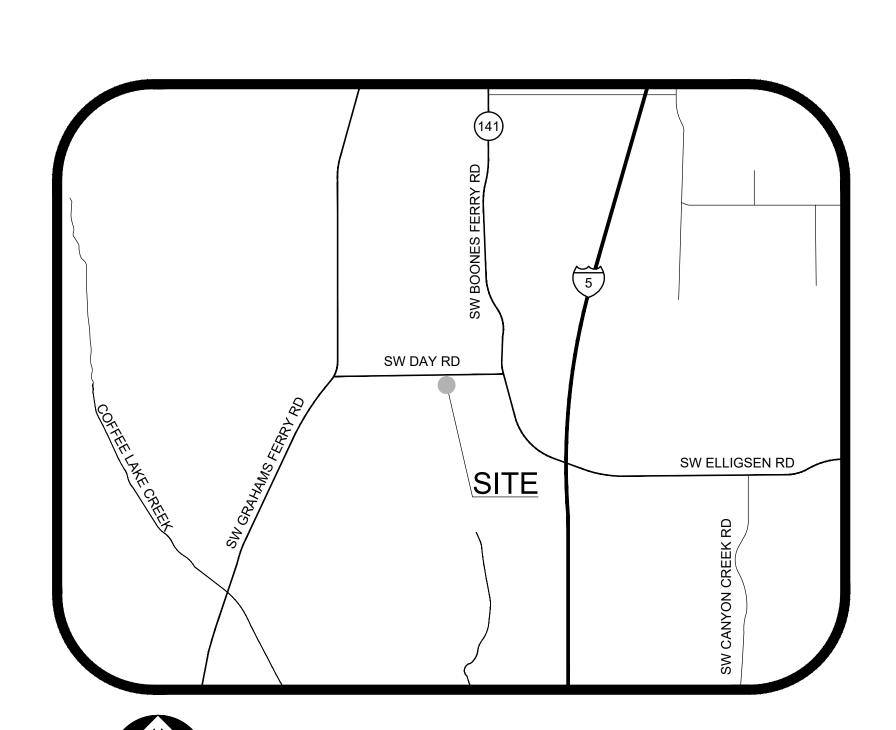
\*CLEARING AND GRUBBING

\*UTILITY INSTALLATION

\*SITE CONSTRUCTION

\*FINAL STABILIZATION

\*MASS GRADING



## PROJECT LOCATION:

ALONG SW DAY ROAD BETWEEN SW GRAHAMS FERRY ROAD AND SW BOONES FERRY ROAD WILSONVILLE, OR 97223 LATITUDE = 45°20'23" LONGITUDE = -122°46'41"

#### PROPERTY DESCRIPTION:

WILSONVILLE, OR

PHYSICAL DESCRIPTION: ALONG SW DAY ROAD BETWEEN SW GRAHAMS FERRY ROAD AND SW **BOONES FERRY ROAD** TAX LOTS: 600, 601 TOWNSHIP 3 SOUTH, RANGE 1 WEST CLACKAMAS COUNTY, OREGON

#### ATTENTION EXCAVATORS:

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503-232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 503-246-6699.

#### **GENERAL NOTE:**

THIS PLAN SHOWS THE MINIMUM SUGGESTED LEVEL OF EROSION AND SEDIMENT CONTROL PROTECTION REQUIRED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT ADDITIONAL MEASURES AS NECESSARY TO COMPLY WITH ALL PERMITS, LOCAL, AND STATE REQUIREMENTS.

#### CLIENT

**DELTA LOGISTICS** CONTACT: IGOR NICHIPORCHIK 9835 SW COMMERCE CIR WILSONVILLE, OR PHONE: (503) 665-2200 IGOR@DELTAFREIGHTINC.COM

**SURVEYOR** WEDDLE SURVEYING INC CONTACT: MICHAEL RENNICK 6950 SW HAMPTON ST, STE 170, TIGARD, OR 97223 PHONE:503-941-9585 XXXX@WEDDLESURVEYING.COM

CIVIL ENGINEERING

CONTACT (PUBLIC): GREG MINO 1515 SE WATER AVE PORTLAND, OR 97214 PHONE: (971)-346-3702 GMINO@MCKNZE.COM

#### **PLANNING** MACKENZIE **CONTACT: LEE LEIGHTON** 1515 SE WATER AVE PORTLAND, OR 97214 PHONE: 503-224-9560

LLEIGHTON@MCKNZE.COM

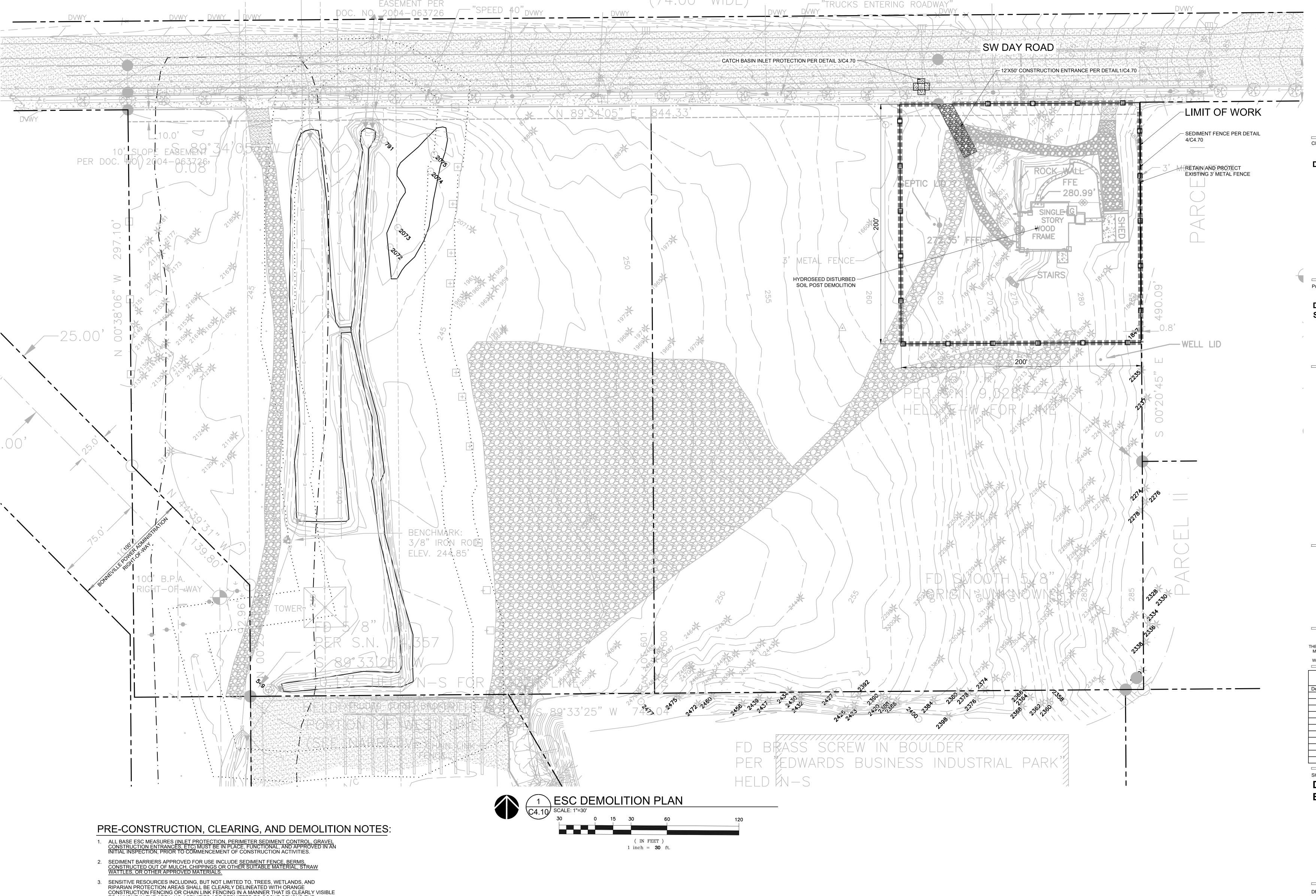
1515 SE WATER AVE PORTLAND, OR 97214 PHONE: 971-346-3761 BRINEHART@MCKNZE.COM

CONTACT (PRIVATE): BREEZY RINEHART

THIS SHEET IS SHOWN FOR REFERENCE ONLY AND IS BASED ON A SURVEY BY: WEDDLE SURVEYING, INC. DATE:12/06/21

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WILSONVILLE, OR
97070

Project

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DEMOLITION ESC PLAN

DRAWN BY: AOC, BMR
CHECKED BY: BMR

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TO ANYONE IN THE AREA. NO ACTIVITIES ARE PERMITTED TO OCCUR BEYOND THE

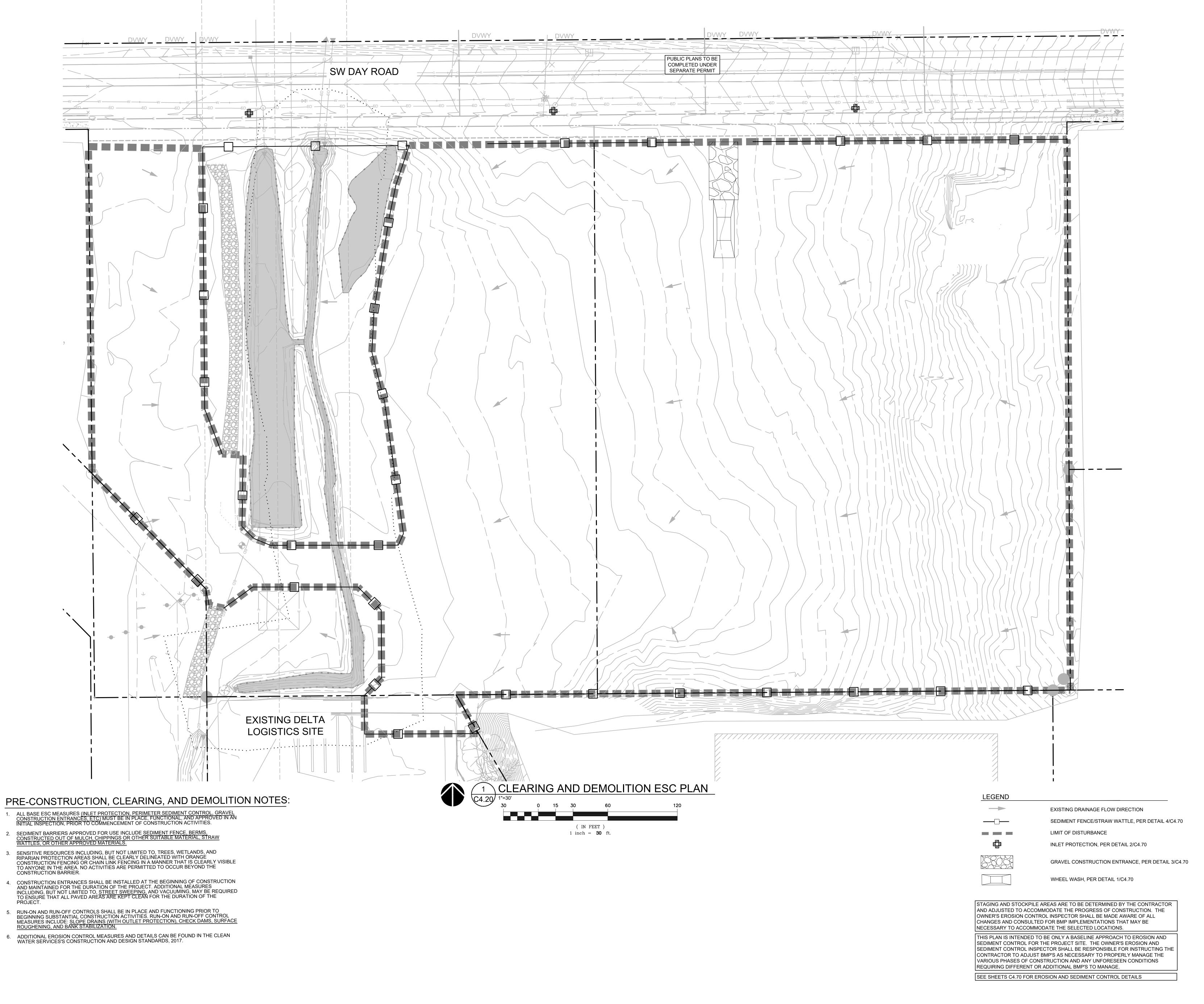
4. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, STREET SWEEPING, AND VACUUMING, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE

5. RUN-ON AND RUN-OFF CONTROLS SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING SUBSTANTIAL CONSTRUCTION ACTIVITIES. RUN-ON AND RUN-OFF CONTROL MEASURES INCLUDE: SLOPE DRAINS (WITH OUTLET PROTECTION), CHECK DAMS, SURFACE ROUGHENING, AND BANK STABILIZATION.

6. ADDITIONAL EROSION CONTROL MEASURES AND DETAILS CAN BE FOUND IN THE CLEAN

WATER SERVICES'S CONSTRUCTION AND DESIGN STANDARDS, 2017.

CONSTRUCTION BARRIER.



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CLEARING AND DEMOLITION ESC PLAN

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**EROSION CONTROL GENERAL NOTES** 

1. SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:

A.VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX.

B.DWARF GRASS MIX (MIN. 100 LB./AC.)

1. DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)

2. CREEPING RED FESCUE (20% BY WEIGHT)

C.STANDARD HEIGHT GRASS MIX (MIN. 100LB./AC.)

1. ANNUAL RYEGRASS (40% BY WEIGHT)

2. TURE-TYPE FESCUE (60% BY WEIGHT)

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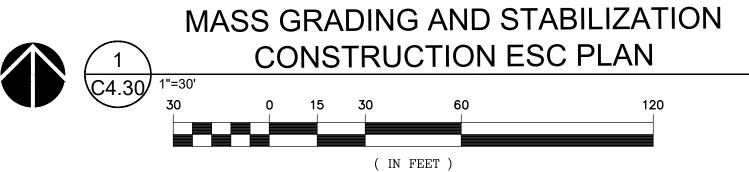
- 2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED INVIDENTIAL SOLFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
- TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE. 6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL
- 7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.

8. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

- 9. ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED. 10. SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN
- WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER. 11. AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT

SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT

- REACHES 50% OF THE CAPACITY. 12. SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- 13. AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM. 14.USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT
- RUN-OFF FROM REACHING DISCHARGE POINTS. 15. COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.



1 inch = 30 ft.

- 1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- 2. ALL "SEDIMENT BARRIERS (TO BE INSTALLED AFTER GRADINĠ)" SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
- 3. LONG TERM SLOPE STABILIZATION MEASURES "INCLUDING MATTING" SHALL BE IN PLACE OVER ALL **EXPOSED SOILS BY OCTOBER 1.** 4. THE STORM WATER FACILITY SHALL BE CONSTRUCTED PRIOR TO THE
- FUNCTIONING AND SITE PAVING. 5. INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.

STORM WATER SYSTEM

 CONTRACTOR SHALL MONITOR **DEWATERING OPERATIONS WITH** DAILY INSPECTIONS DURING DEWATERING OPERATIONS.

INCLUDE A PUMP AND HOSE TO

CONVEY THE DEWATERING FLOW

- TO APPROVED LOCATIONS. THE APPROVED LOCATIONS IS THE STORM FILTRATION BASIN. DEWATERING INTO THE STORM DETENTION WATER QUALITY BASIN MAY ONLY PROCEED ONCE THE DETENTION SYSTEM INLET RIP-RAP AND OUTLET APPURTENANCES AND
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LEGEND

- EXISTING DRAINAGE FLOW DIRECTION PROPOSED DRAINAGE FLOW DIRECTION SEDIMENT FENCE/STRAW WATTLE, PER DETAIL 4/C4.70
- LIMIT OF DISTURBANCE INLET PROTECTION, PER DETAIL 2/C4.70
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WHEEL WASH, PER DETAIL 1/C4.70

SPILL KIT AND SPILL RESPONSE PROCEDURES SHALL BE KEPT IN/ON THE JOBSITE TRAILER AT ALL TIMES AND ALL FIELD PERSONNEL SHALL BE MADE AWARE

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SEE SHEETS C4.70 FOR EROSION AND SEDIMENT CONTROL DETAILS DESIGN REVIEW SET 07/29/2022

Planning - Engineering

**Portland, OR** 503.224.9560 Vancouver, WA 360.695.7879 **Seattle, WA** 206.749.9993 www.mcknze.com

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**DELTA LOGISTICS** 9835 SW COMMERCE CIRCLE

WILSONVILLE, OR

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MASS GRADING **STABILIZATION** CONSTRUCTION **ESC PLAN** 

DRAWN BY: AOC

CHECKED BY: BMR SHEET

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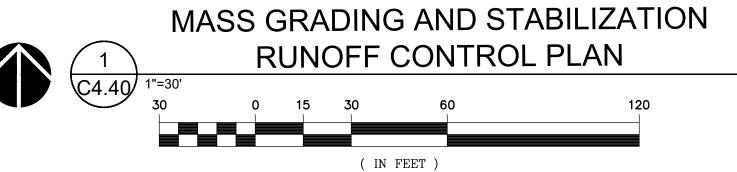
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STORM WATER SYSTEM

CONTROL BMP IMPLEMENTATION DEWATERING NOTE

- CONTRACTOR SHALL MONITOR **DEWATERING OPERATIONS WITH** DAILY INSPECTIONS DURING DEWATERING OPERATIONS. INCLUDE A PUMP AND HOSE TO CONVEY THE DEWATERING FLOW
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SEE SHEETS C4.70 FOR EROSION AND SEDIMENT CONTROL DETAILS DESIGN REVIEW SET 07/29/2022 CONTROL PLAN.DWG BMR 11/16/22 18:22 1:30

Planning - Engineering

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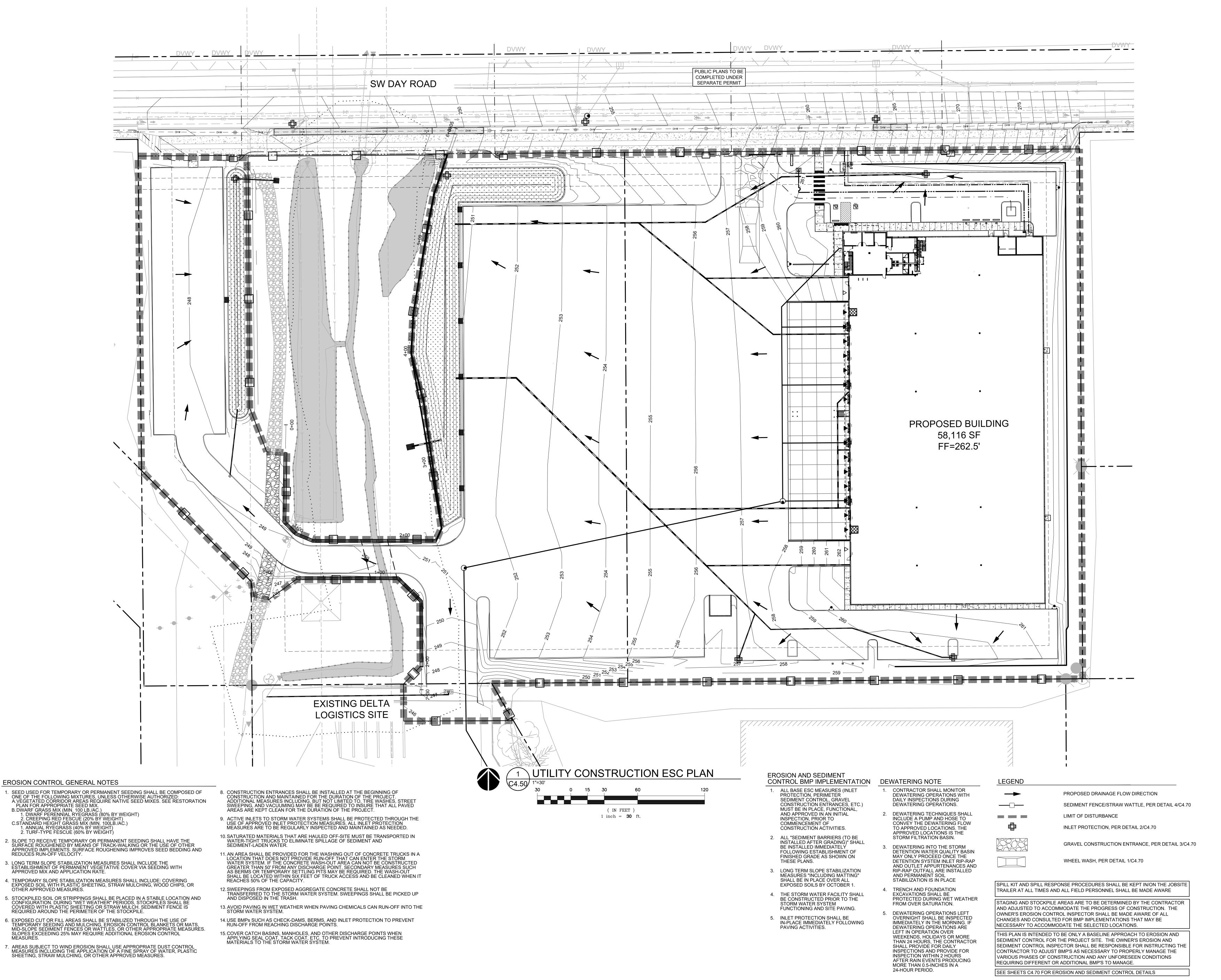
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MASS GRADING **STABILIZATION RUNOFF CONTROL PLAN** 

DRAWN BY: AOC

CHECKED BY: BMR SHEET

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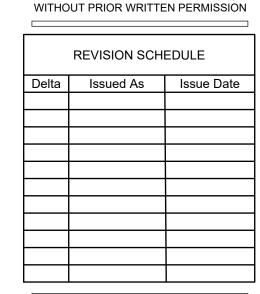
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UTILITY
CONSTRUCTION
ESC PLAN

DRAWN BY: AOC

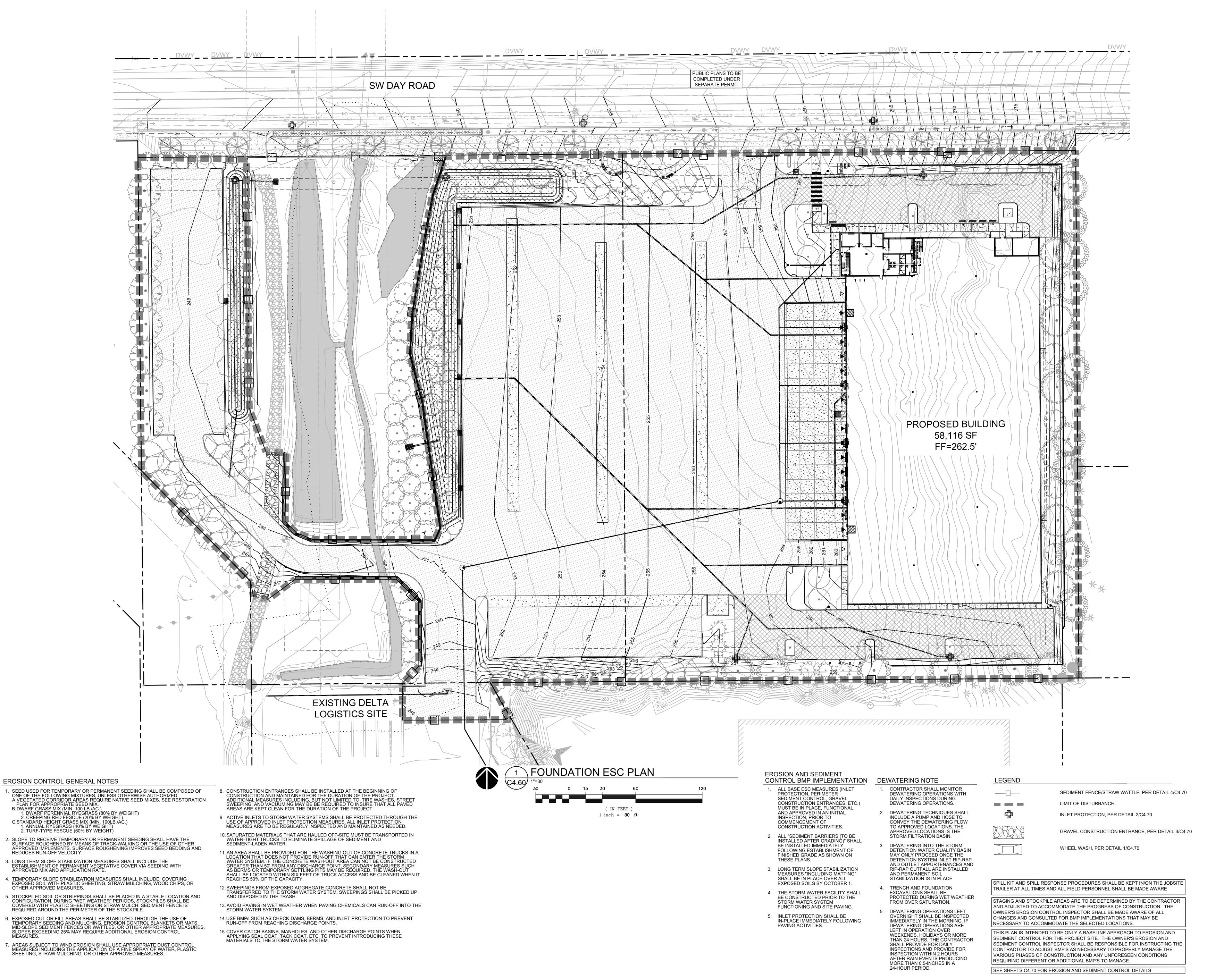
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DESIGN REVIEW SET 07/29/2022



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FOUNDATION ESC PLAN

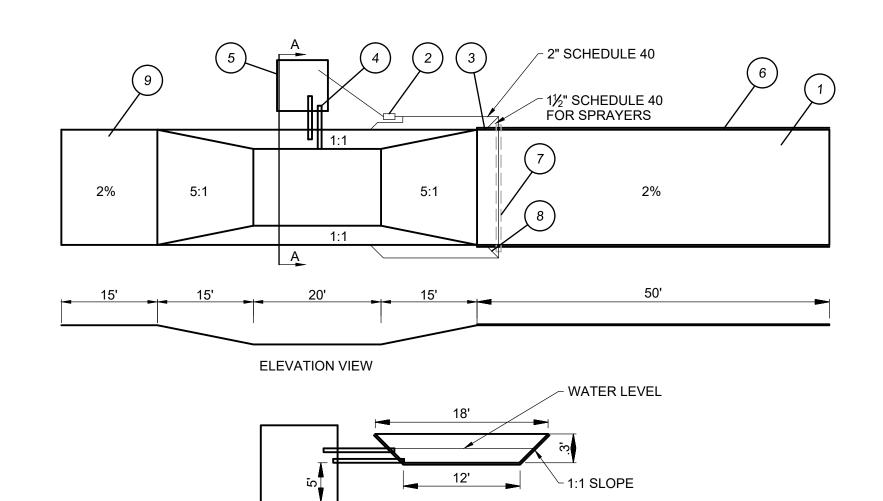
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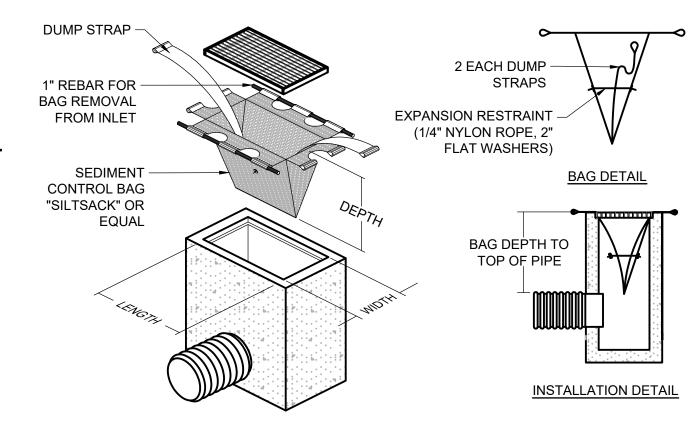


**SECTION A-A** 

1 WHEEL WASH

#### NOTES:

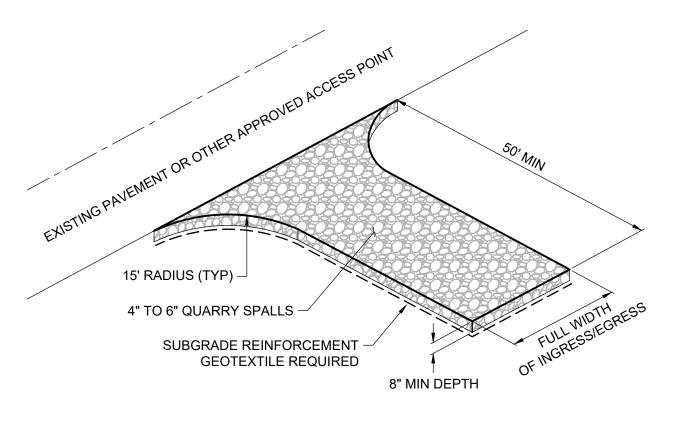
- 1. ASPHALT CONSTRUCTION ENTRANCE 6" ASPHALT TREATED
- BASE(ATB). 2. 3-INCH TRASH PUMP WITH FLOATS ON THE SUCTION HOSE.
- MIDPOINT SPRAY NOZZLES IF NEEDED. 4. 6-INCH SEWER PIPE WITH BUTTERFLY VALVES. BOTTOM ONE IS A DRAIN. LOCATE TOP PIPES INVERT ONE FOOT ABOVE BOTTOM OF WHEEL WASH.
- 5. 8'x8' SUMP WITH 5' OF CATCH. BUILD SO CAN BE CLEANED WITH TRACKHOE. 6. ASPHALT CURB ON THE LOW ROAD SIDE TO DIRECT WATER
- BACK TO THE POND. 7. 6-INCH SLEEVE UNDER ROAD.
- 8. BALL VALVES. 9. 15' ATB APRON TO PROTECT GROUND FROM SPLASHING WATER.



## NOTES: A. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE CORRECT SIZE DEVICE FOR EACH

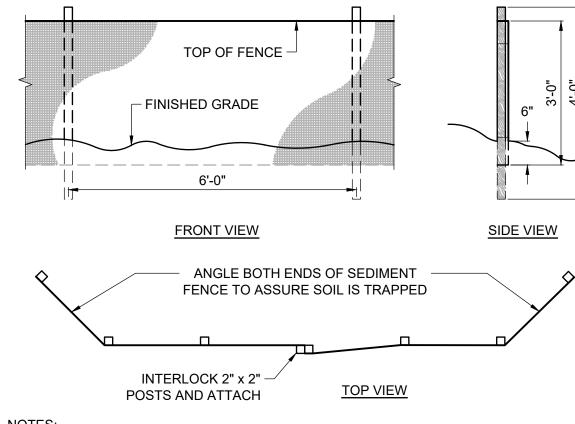
- B. THE INLET SEDIMENT CONTROL DEVICE SHALL BE OF NORMAL FLOW DESIGN, 40 GAL/MIN/SF WITH NO OVERFLOWS
- C. THE SEDIMENT CONTROL DEVICE SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED A MINIMUM OF ONCE PER MONTH AND WITHIN THE 24 HOURS FOLLOWING A
- D. SUBSTITUTION OF A SHEET OF FILTER FABRIC PLACED OVER THE OPENING OF THE INLET IS





- 1. QUARRY SPALL MATERIAL SHALL BE "CLEAN" (LESS THAN 5% PASSING THE US STANDARD NO.200 SIEVE)
- 2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION FOR ALTERNATES, SUCH AS A RUMBLE TRACK 3. PROTECT CONSTRUCTION ENTRANCES FROM SILTATION FROM ADJOINING BARE SOIL
- 4. ANY RAMPING CONSTRUCTED TO MOUNT EXISTING ROADWAY CURBING SHALL NOT
- IMPEDE DRAINAGE OF THE ROADWAY

3 CONSTRUCTION ENTRANCE



- A. BURY BOTTOM OF FILTER FABRIC 6" MIN VERTICALLY BELOW FINISHED GRADE B. UTILIZE 2" x 2" FIR, PINE, OR STEEL FENCE POSTS TO ANCHOR FENCING
- C. ATTACH FENCING TO POSTS USING STITCHED LOOPS INSTALLED ON UPHILL SIDE OF D. COMPACT THE NATIVE FILL IN ALL AREAS OF FILTER FABRIC TRENCH E. ACCUMULATED SEDIMENT CAN BE ALLOWED TO REACH NO MORE THAN ONE-THIRD OF

**SEDIMENT FENCE** 

THE SEDIMENT FENCE HEIGHT

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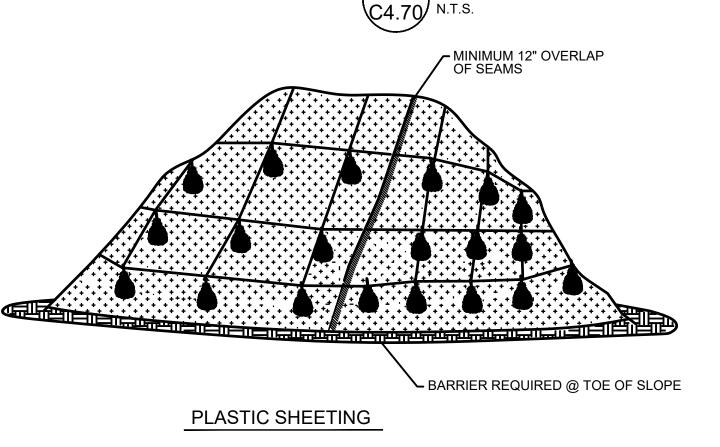
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97070

9835 SW COMMERCE



#### NOTES:

1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED. 2. BARRIER REQUIRED @ TOE OF STOCK PILE. 3. COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR TIRES ON ROPES WITH A

MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.



#### TREE PROTECTION MEASURES: 1. UNLESS OTHERWISE INDICATED FOR REMOVAL ALL TREES SHALL RECEIVE PROTECTIVE MEASURES FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH LOCAL AGENCY REQUIREMENTS.

- 2. 6' HIGH MINIMUM METAL CHAIN LINK FENCING SHALL BE ERECTED AND MAINTAINED. FENCING SHALL COMPLETELY SURROUND AT MINIMUM THE TREE DRIP LINE FOR EACH TREE OR GROUP OF EXISTING TREES. THE TREE DRIP LINE SHALL BE DEFINED AS A CLEARANCE ZONE OF 1 FOOT PER 1 INCH DBH (DIAMETER AT BREAST HEIGHT = 4.5 FEET ABOVE GRADE) FROM THE TREE BEING PROTECTED.
- 3. IN AREAS WHERE ROOT ZONE ENCROACHMENT IS UNAVOIDABLE, A CERTIFIED ARBORIST SHALL DESIGNATE THE FENCING LOCATION PRIOR TO START OF WORK. . NO ACTIVITY MAY BE CONDUCTED WITHIN ANY DESIGNATED TREE PROTECTION AREA, INCLUDING BUT NOT LIMITED TO PARKING EQUIPMENT, PLACING SOLVENTS, STORING
- WASHOUT OR OTHER DEBRIS, OR ANY EXCAVATION OR COMPACTION WORK. 5. DURING CONSTRUCTION NO OBJECTS SHALL BE ATTACHED TO ANY TREE DESIGNATED TO BE RETAINED AND

MATERIALS AND SOIL DEPOSITS, DUMPING CONCRETE

- PROTECTED. 6. PROVIDE MULCH COVER TO A MINIMUM DEPTH OF 6", PLYWOOD, OR OTHER SIMILAR MATERIAL AT AREAS ADJOINING DESIGNATED TREE PROTECTION AREAS TO PROTECT ROOTS FROM DAMAGE CAUSED BY HEAVY EQUIPMENT. COORDINATE PLACEMENTS AND LOCATION WITH
- THE LANDSCAPE ARCHITECT OR A CERTIFIED ARBORIST. 7. PROTECTION FENCE SHALL BE MAINTAINED IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE AUTHORITY HAVING JURISDICTION OR UNTIL A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED.

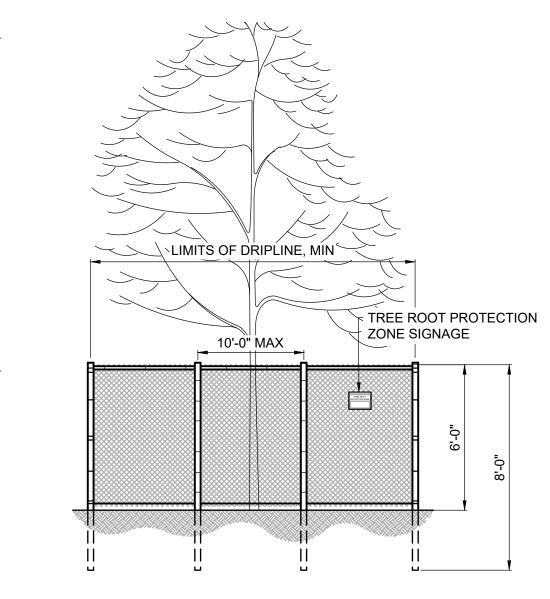
# EXCAVATION/TRENCHING AROUND TREES:

#### PROPOSED TRENCHING AND EXCAVATION IN CLOSE PROXIMITY TO TREE PROTECTION ZONES MAY REQUIRE COORDINATION WITH A CERTIFIED ARBORIST. IF MAIN LATERAL OR TAP ROOTS OR ARE FOUND, STOP WORK IN THE AREA IMMEDIATELY AND CONSULT A CERTIFIED ARBORIST.

- WHERE TRENCHING IS REQUIRED WITHIN CRITICAL ROOT ZONE, AND HAS BEEN REVIEWED AND APPROVED BY A CERTIFIED ARBORIST, TUNNEL UNDER OR AROUND ROOTS BY HAND DIGGING OR BORING. DO NOT CUT MAIN LATERAL ROOTS OR TAP ROOTS. CLEANLY CUT/SEVER SMALLER ROOTS.
- 3. RELOCATE ROOTS IN BACKFILL AREAS WHEREVER POSSIBLE. DO NOT ALLOW EXPOSED ROOTS TO DRY OUT BEFORE PERMANENT BACKFILL IS PLACED. PROVIDE TEMPORARY EARTH COVER OR PACK WITH PEAT MOSS AND WRAP WITH BURLAP. WATER AND MAINTAIN IN MOIST CONDITION UNTIL RELOCATED AND COVERED WITH BACKFILL.

#### TEMPORARY FENCE SHALL BE 6' IN HEIGHT AND SET AS SHOWN ON PLANS.

- 2. SIGNAGE DESIGNATING THE PROTECTION ZONE AND PENALTIES FOR VIOLATIONS SHALL BE SECURED IN A PROMINENT LOCATION ON EACH PROTECTION FENCE. 3. THE AUTHORITY HAVING JURISDICTION SHALL
- APPROVE THE INSTALLED TREE PROTECTION FENCING PRIOR TO DEMOLITION OR CONSTRUCTION ACTIVITIES. FENCE MATERIALS SHALL CONSIST OF METAL CHAIN
- LINK SECURED WITH 8' METAL POSTS. MOVEMENT OR REMOVAL OF FENCING REQUIRES APPROVAL BY THE AUTHORITY HAVING JURISDICTION.



TREE PROTECTION FENCING

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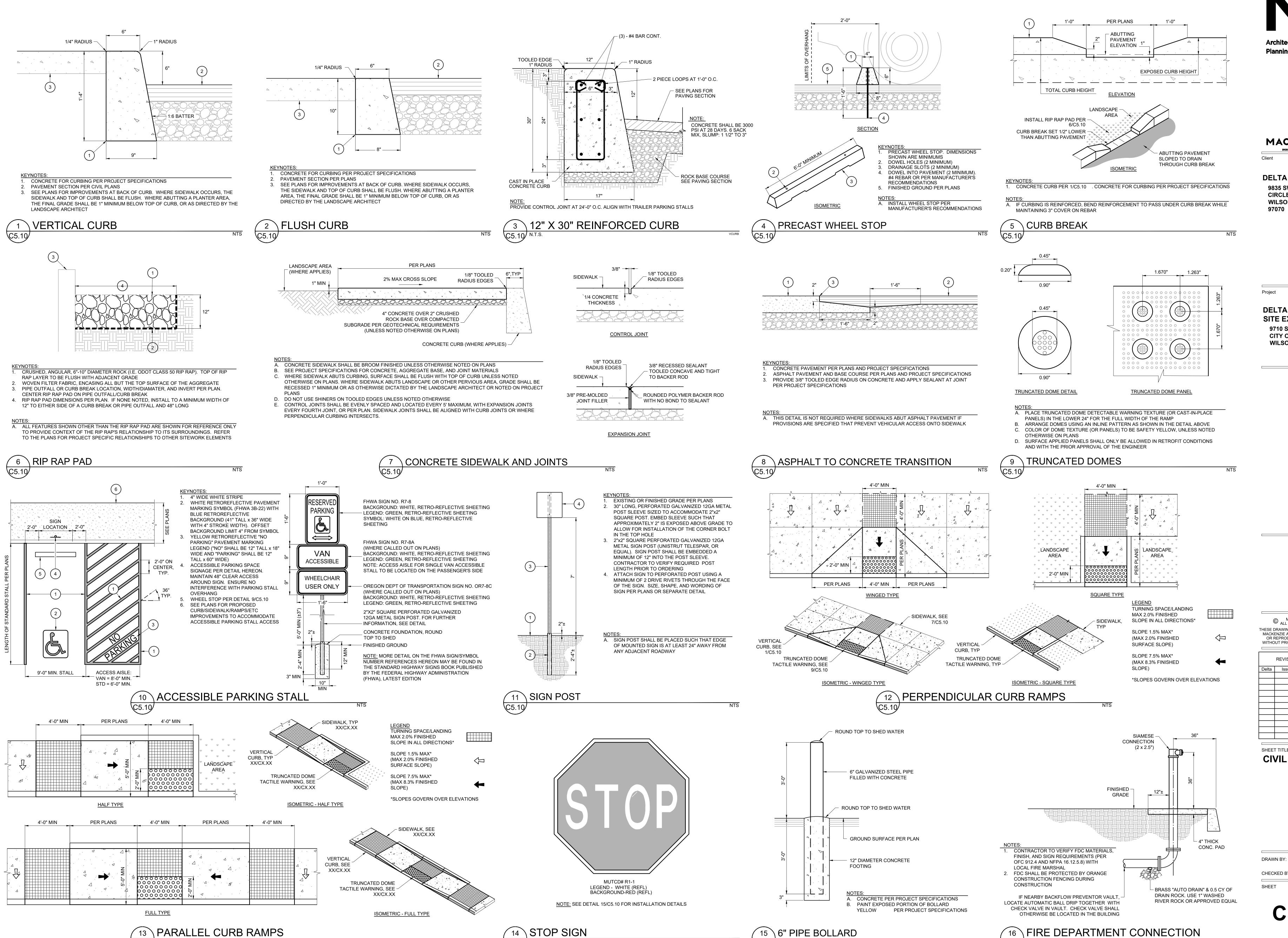
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SHEET TITLE: **EROSION AND SEDIMENT CONTROL PLAN DETAILS** 

C4.70

JOB NO. **2200502.04** 

DESIGN REVIEW SET 07/29/2022



15 6" PIPE BOLLARD

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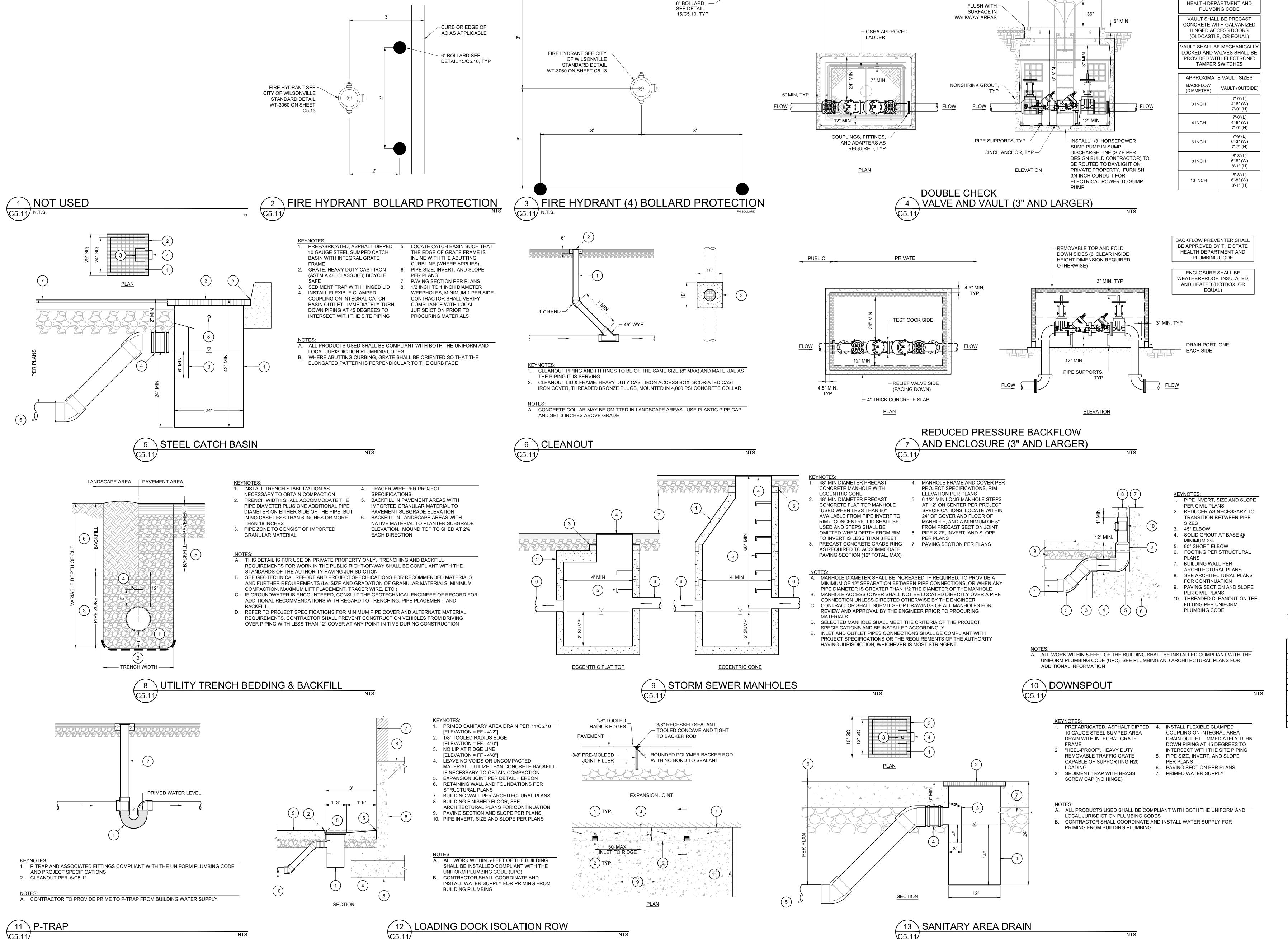
SHEET TITLE: **CIVIL DETAILS** 

DRAWN BY: AOC, BMR CHECKED BY: BMR, BDN

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1 PLAN CHECK 06/10/2022

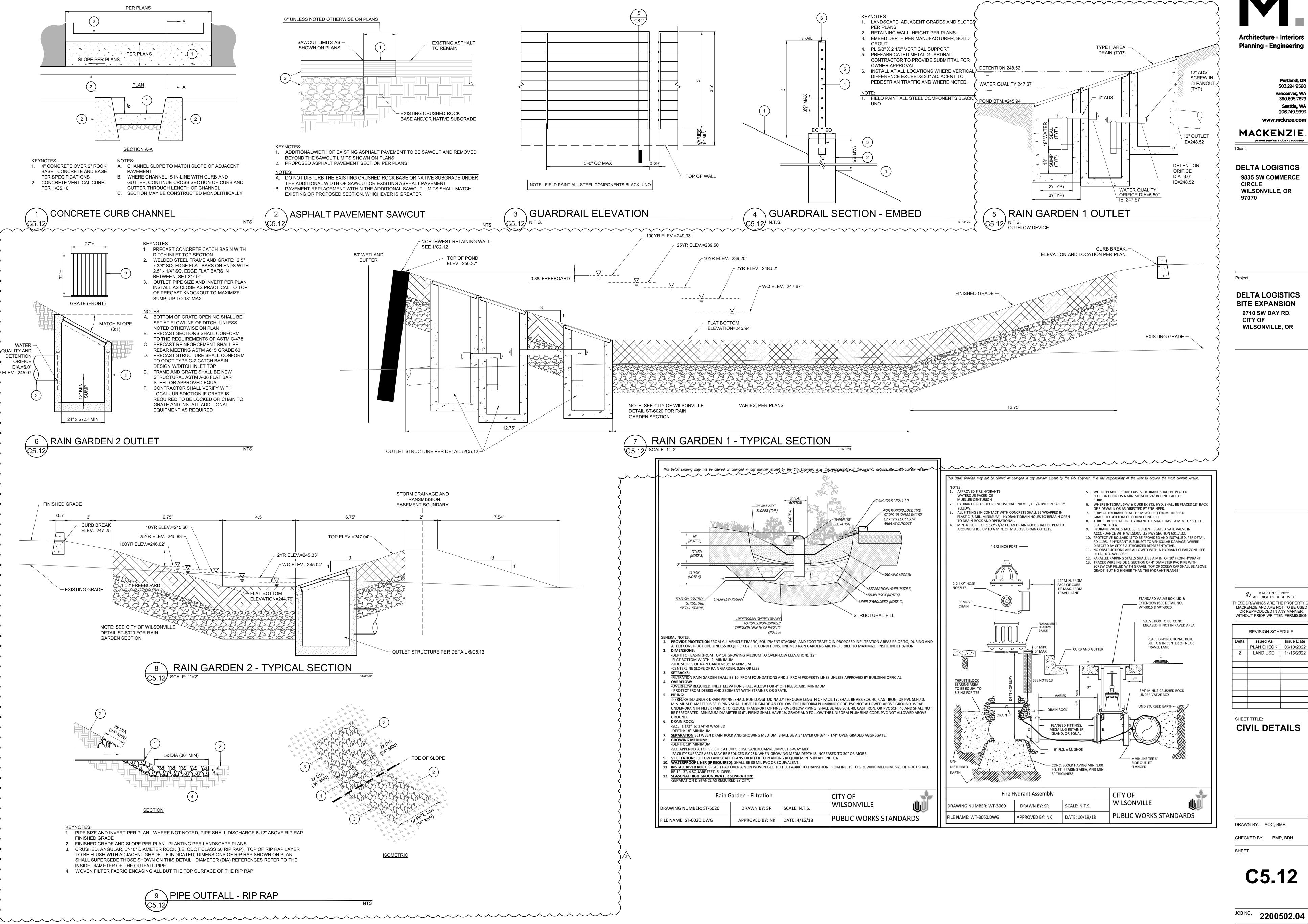
SHEET TITLE:

CIVIL DETAILS

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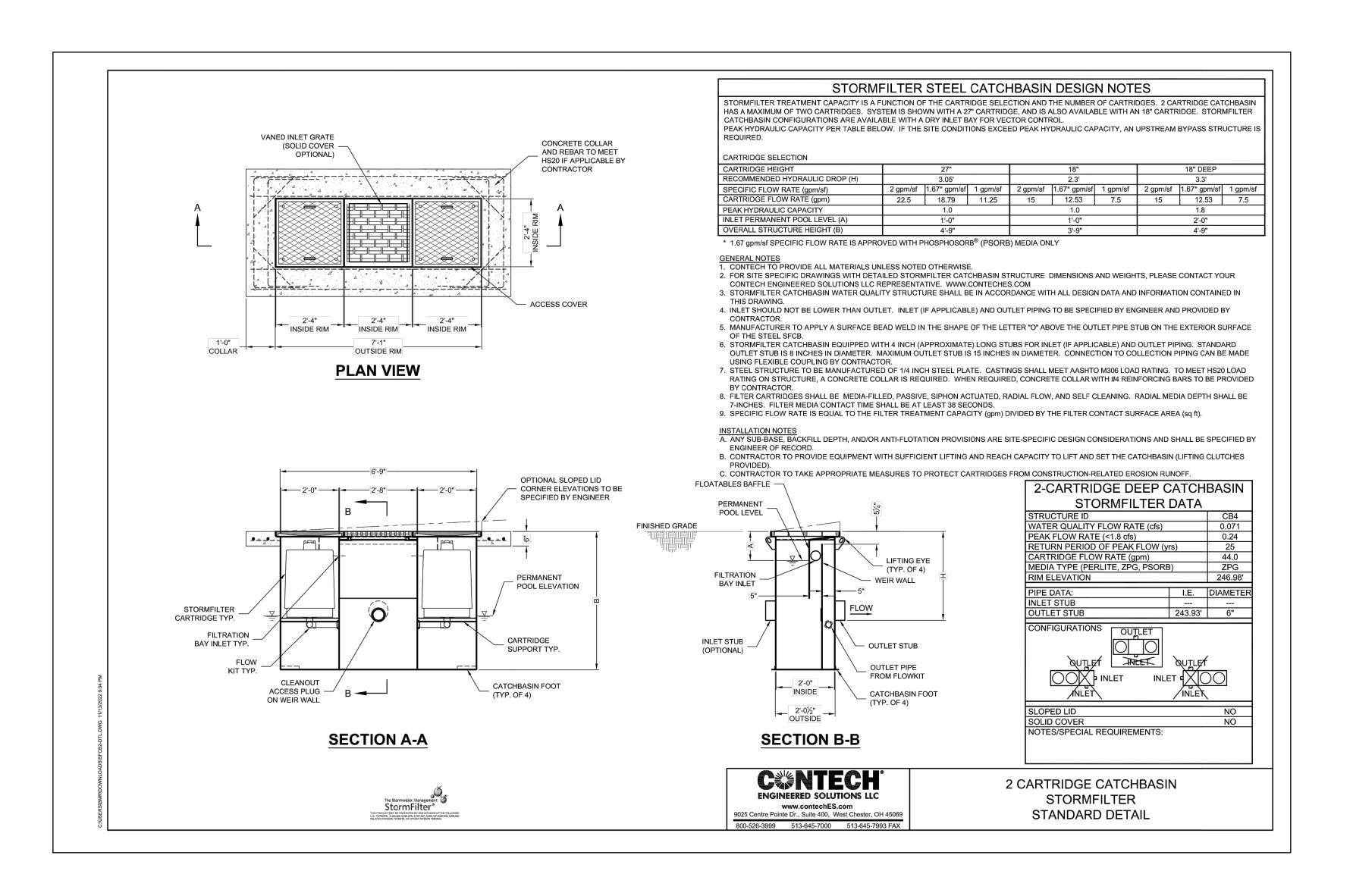
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**CIVIL DETAILS** 

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1	PLAN CHECK	11/15/2022	

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DRAWN BY: AOC, BM

CHECKED BY: BMI

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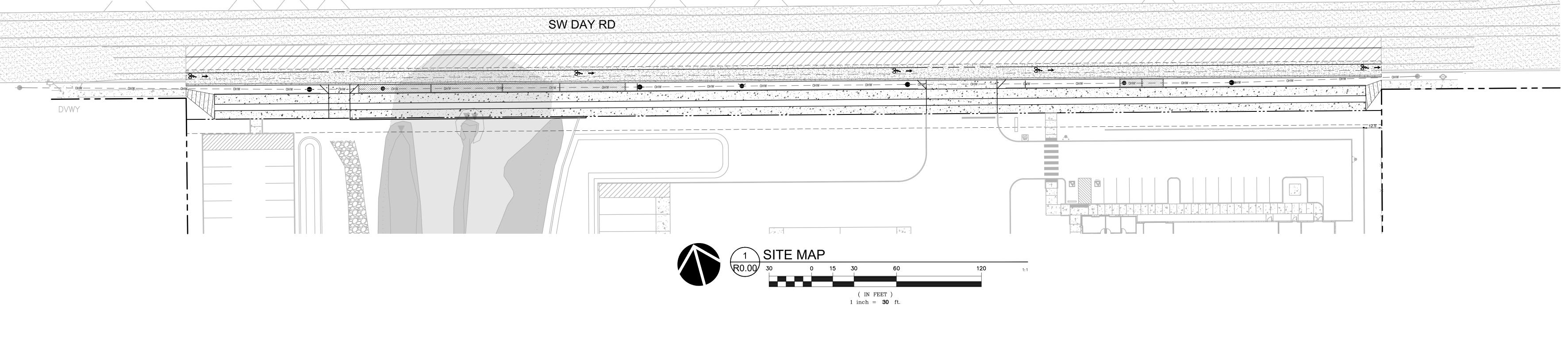
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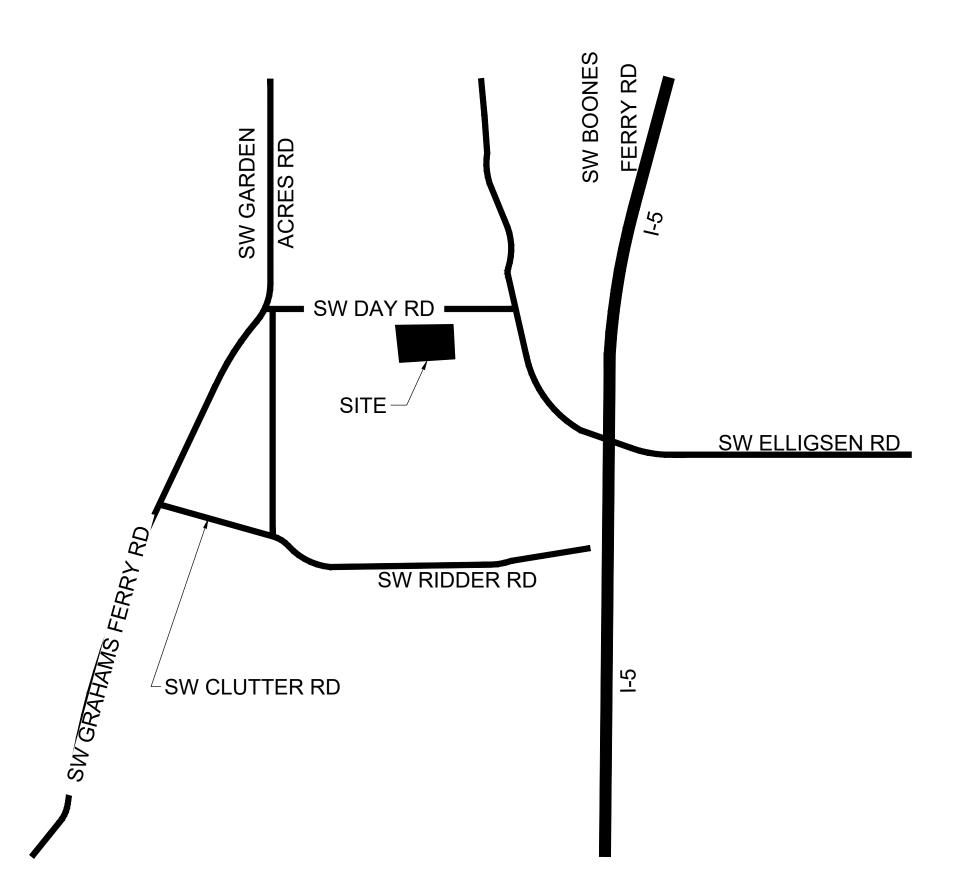


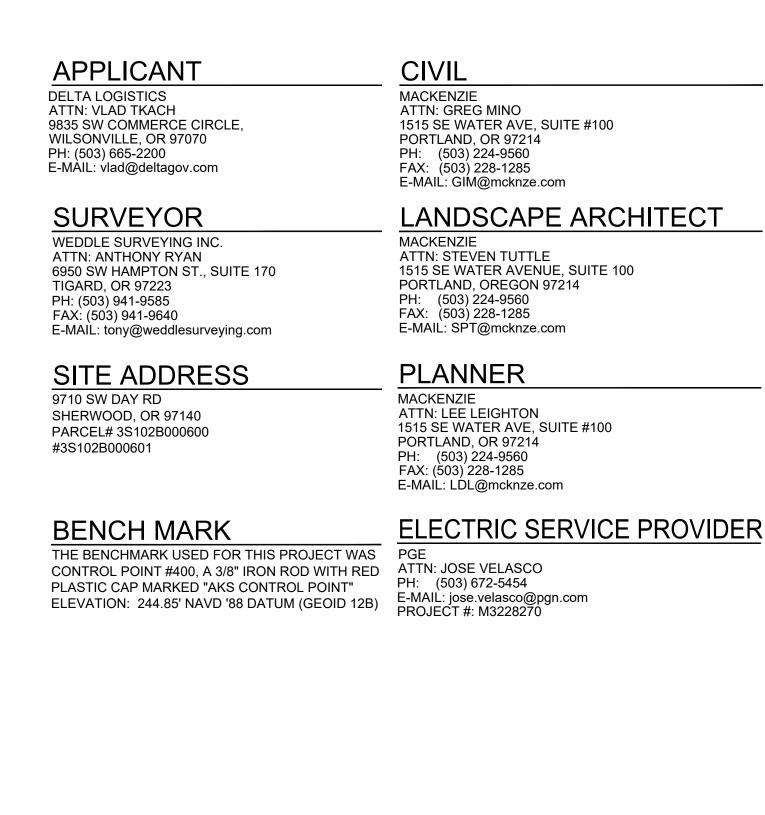
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**COVER SHEET** 

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#### **GENERAL NOTES**

- 1. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND THE REQUIREMENTS OF CITY OF WILSONVILLE, CITY OF WILSONVILLE PUBLIC WORKS STANDARDS-2017 AND THE CURRENT AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
- 2. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- 3. EFFECTIVE EROSION CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED TO MEET THE CITY REQUIREMENTS. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- 4. EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE ROUTED SO THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL.
- CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISH GRADES.
- 6. EXCAVATION: EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXCAVATOR(S) SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS SEVENTY-TWO (72) HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- 7. WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL EXPOSE THE END OF THE EXISTING PIPE VERIFY THE LOCATION, SIZE, AND ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

#### **UTILITY NOTES**

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF CITY OF WILSONVILLE, DEPARTMENT OF ENVIRONMENTAL SERVICE, AND THE CURRENT EDITION OF THE UNIFORM PLUMBING CODE AND THE INTERNATIONAL BUILDING CODE. ALL WORK WITHIN THE PUBLIC R.O.W. REQUIRES A PUBLIC WORKS PERMIT.
- 2. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- 3. PROVIDE CLEANOUTS AS REQUIRED IN THE CURRENT EDITION OF THE UNIFORM PLUMBING CODE.
- 4. ALL STORM PIPING IS SIZED FOR A MANNING'S "N" VALUE = 0.013 ALL STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED.
- 5. VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES BY POTHOLING PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF DISCREPANCIES.
- 6. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY PREPARED BY WEDDLE SURVEYING, INC.
- 7. CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER VIA DESIGN BUILD ELECTRICAL. SEE SPECIFICATIONS AND LANDSCAPE PLANS.
- 8. SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5' OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING.
- 9. CONTRACTOR TO MAINTAIN MINIMUM 3 FT OF COVER OVER ALL WATER LINE.

#### **GRADING NOTES**

- 1. ROUGH GRADING: BRING ALL FINISH GRADES TO APPROXIMATE LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, FINISH GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN. ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. ROUGH GRADE TO ALLOW FOR DEPTH OF CONCRETE SLABS, WALKS, AND THEIR BASE COURSES. GRADE FOR PAVED DRIVES AND PAVED PARKING AREAS AS INDICATED AND SPECIFIED HEREIN, AND PROVIDE FOR SURFACE DRAINAGE AS SHOWN, ALLOWING FOR THICKNESS OF SURFACING MATERIAL.

  FINISH GRADING: AT COMPLETION OF JOB AND AFTER BACKFILLING BY OTHER CRAFTS HAS BEEN COMPLETED, REFILL AND COMPACT AREAS WHICH HAVE SETTLED OR ERODED TO BRING TO FINAL GRADES.

  GRADING TOLERANCES:
- ROUGH GRADE AT PAVED OR LANDSCAPED AREAS: ±0.1 FT.
  FINISH GRADE PRIOR TO PLACING FINAL SURFACING: ±0.03 FT.
- 2. EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE CITY AND DEQ REQUIREMENTS. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- 3. EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE SO ROUTED THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL.
- 4. SITE TOPSOIL SHALL BE STOCKPILED DURING CONSTRUCTION AND USED FOR LANDSCAPING.
- 5. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY BY NORTHWEST SURVEYING INC, AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH HIS OWN RESOURCES PRIOR TO START OF ANY CONSTRUCTION.
- 6. CONTRACTOR TO COORDINATE GRADES AT ENTRANCE WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- 7. 2% MAXIMUM CROSS SLOPE AT ALL ADA-COMPLIANT PARKING SPACES AND LOADING ZONES.
- 8. 5% MAX LONGITUDINAL SLOPE (EXCLUDING RAMPS) AT PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES.
- 9. WHERE SLOPES ARE STEEPER THAN 3:1, CONTRACTOR SHALL INSTALL JUTE MATTING. SLOPE SHALL BE PREPARED TO ENSURE COMPLETE AND DIRECT CONTACT OF MATTING WITH SOIL. FOLLOW MANUFACTURER'S RECOMMENDATIONS.

#### <u>LEGEND</u>

LEGEND		
	<u>EXISTING</u>	PROPOSE
CURBLINE AND GUTTER		
BRUSH LINE	······································	
BUILDING EAVE		
BUILDING FOOTPRINT		
CENTERLINE		
EASEMENT LINE		
FENCE LINE	<del></del>	
GAS LINE	G	
OVERHEAD POWER	——Е——	
STORM DRAIN LINE	SD	
PERFORATED PIPE		
PROPERTY LINE		
R.O.W. LINE		
WATER LINE	w	
WETLANDS		
WETLANDS BUFFER		
CULVER INLET/OUTLET	_	
CURB INLET	<b>V</b>	
DECORATIVE SHRUB	(Sold)	
DOWNSPOUT	<b>~</b> □	
FIRE HYDRANT		<b>~</b>
GAS METER		
GAS RISER	G Ş	
GATE POST	ў 	
GUY ANCHOR	<b>₩</b>	
MAILBOX		
POWER METER		
SIGN "AS NOTED"		
SITE BENCHMARK	9	þ
STORM DRAIN MANHOLE		<b>'</b>
SURVEY MONUMENTS FOUND	D	
SURVEY MONUMENTS SET		
UTILITY LID		
WATER METER		$\Box$
WATER RISER	W	Q
WATER VALVE	•	
		<b>S</b>
WATER VAULT WETLANDS BUFFER/	_	8-7-48
LINE STAKES	PP	
POWER POLE		-
SIDEWALK		
CONFEROUS TREE		
DECIDUOUS TREE	ETT)	
	( × .	

#### **ABBREVIATIONS**

TC	TOP OF CURB	WM	WATER METER
AC	ASPHALT	ОН	OVERHEAD WIRE
FH	FIRE HYDRANT	SSWR	SANITARY SEWER
FG	FINISHED GRADE	MH	MANHOLE
SW	SIDEWALK ELEVATION	IE	INVERT ELEVATION
TS	TOP OF STAIR	СВ	CATCH BASIN
BS	BOTTOM OF STAIR	STM	STORM
TYP	TYPICAL	RD	ROOF DRAIN
R.O.W.	RIGHT OF WAY	FF/FFE	FINISHED FLOOR ELEVATION
LS	LANDSCAPE	NG	NATURAL GROUND
SROZ	SIGNIFICANT RESOURCE OVERLAY ZONE	CL	CENTERLINE
00		GPM	GALLONS PER MINUTE
CO	CLEAN OUT	FW	FIRE WATER
INV	INVERT	PWS	PUBLIC WORKS
RD	ROOF DRAIN		STANDARDS
COW	CITY OF WILSONVILLE	PUE	PUBLIC UTILITY EASEMENT
		ELEV	ELEVATION



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LEGEND, AND
ABBREVIATIONS

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CHECKED BY: BMR, BDN

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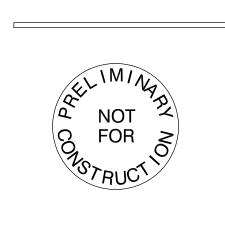


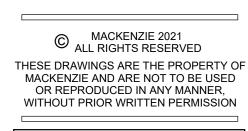
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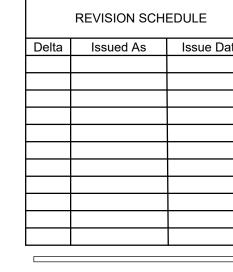
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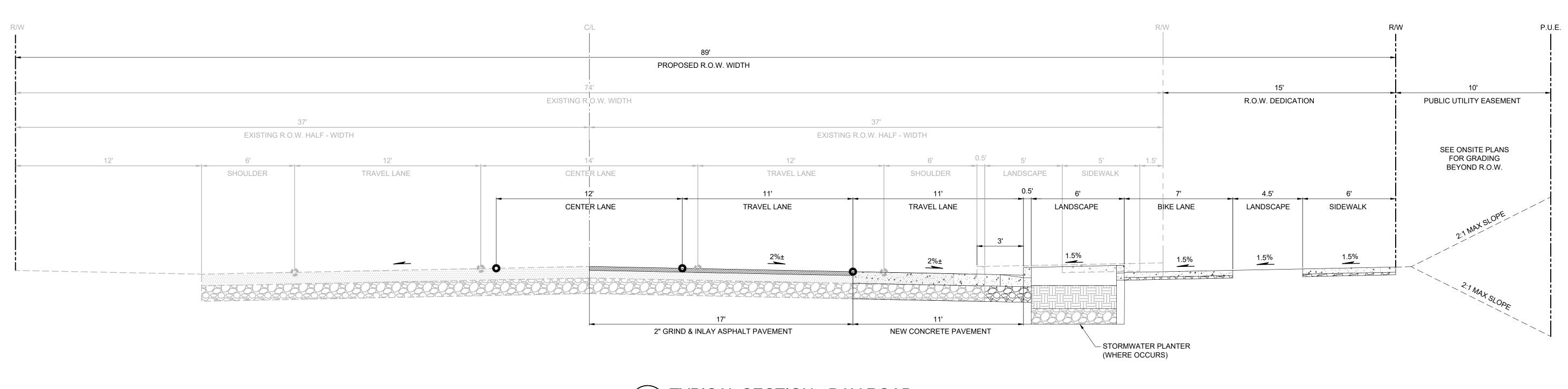


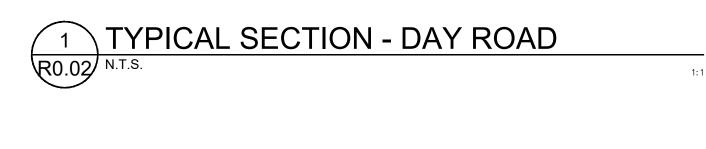


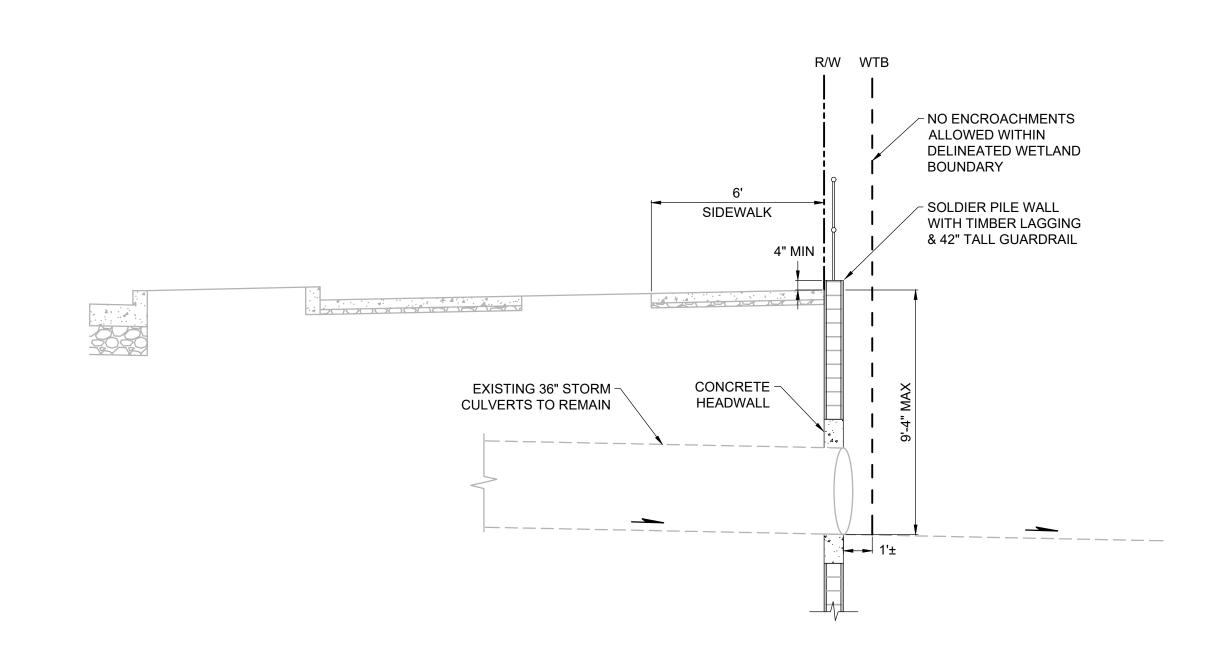


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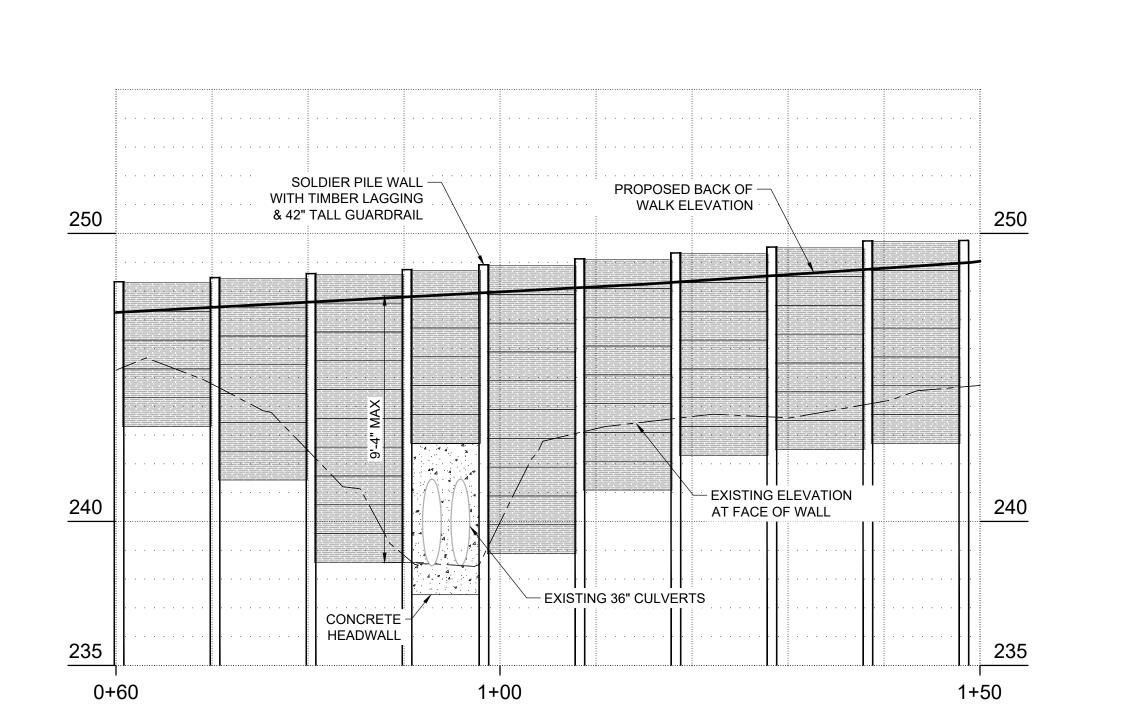




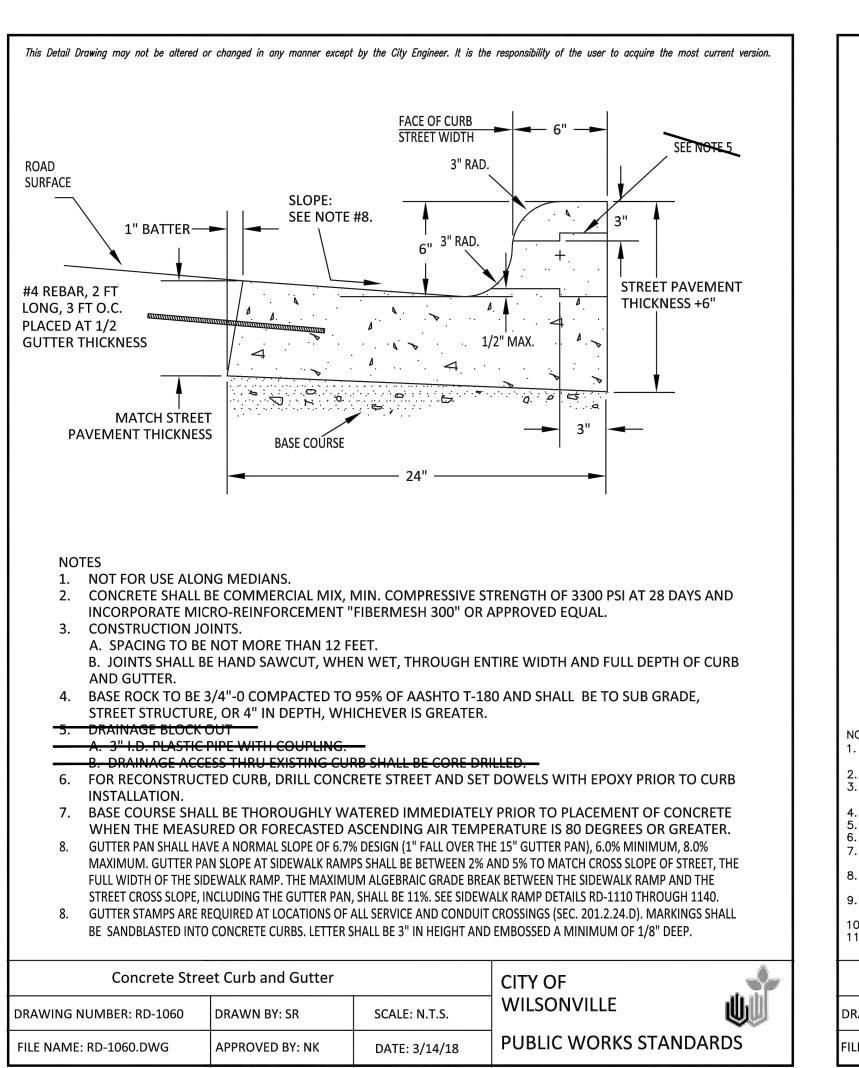


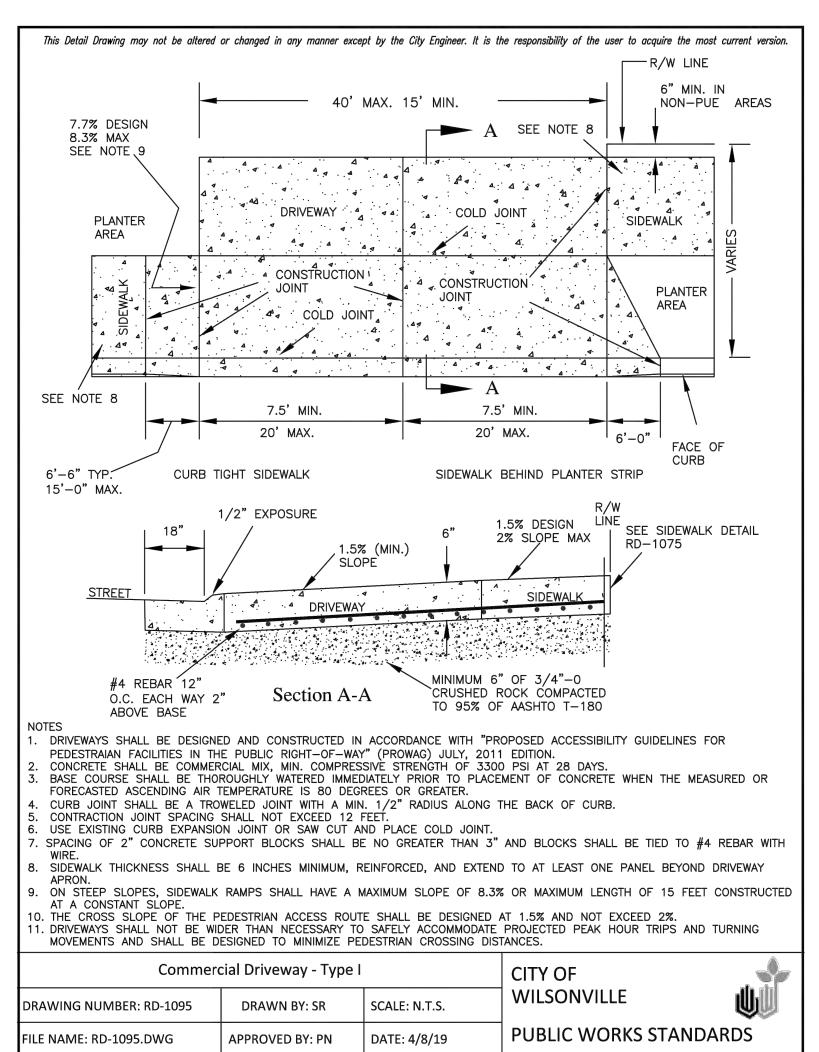


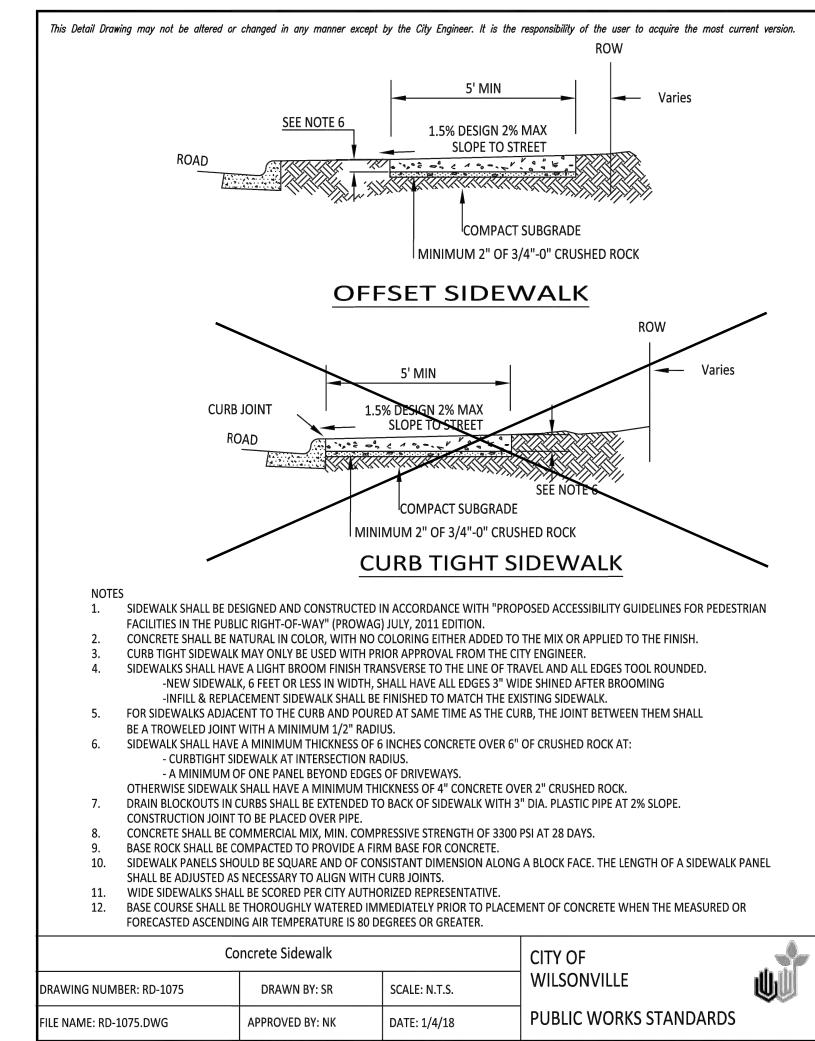


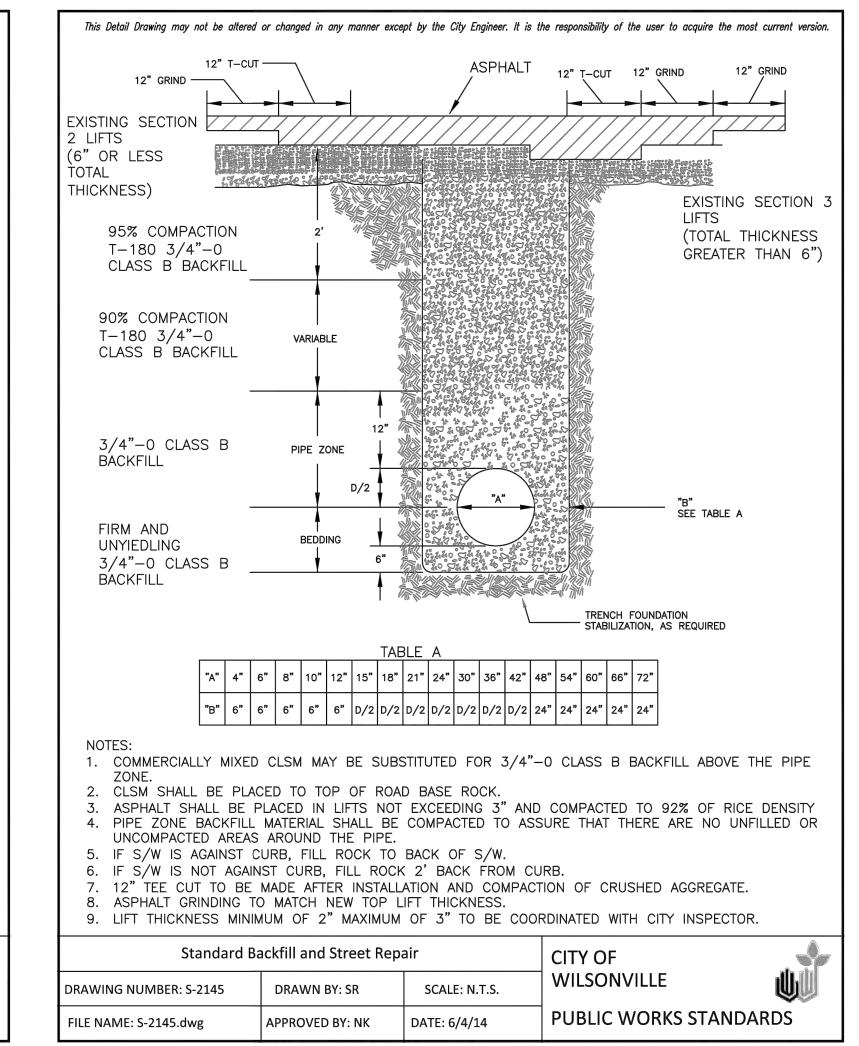


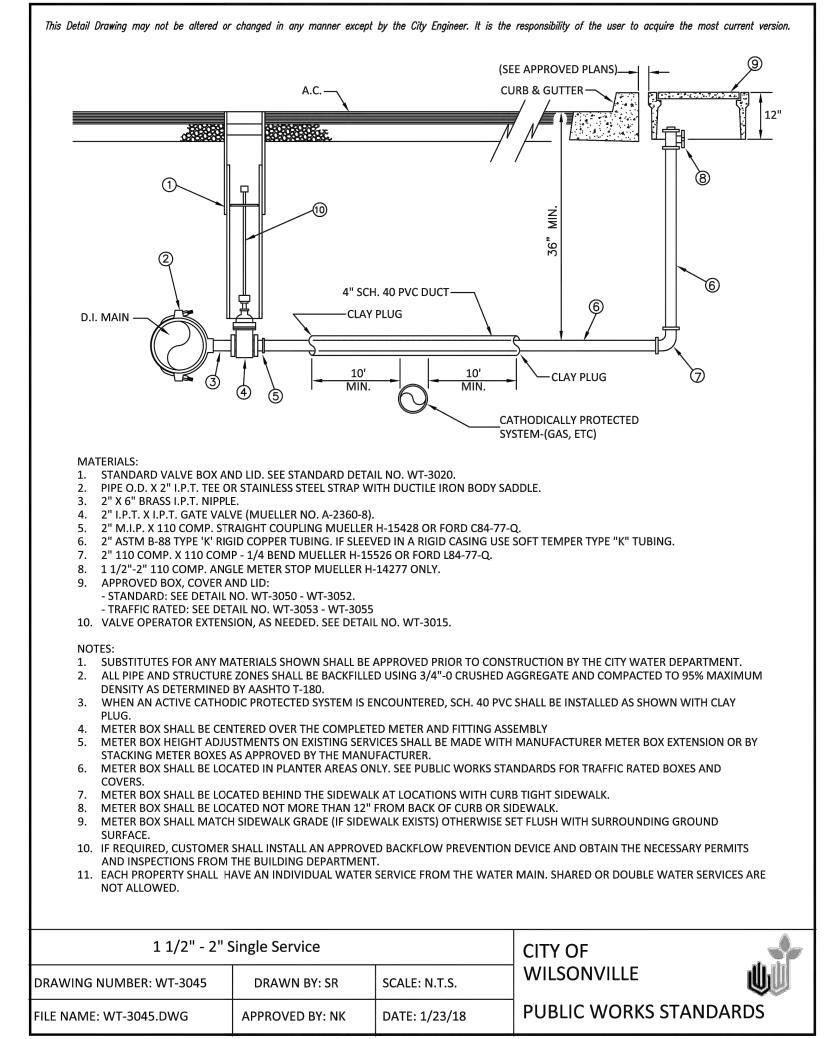
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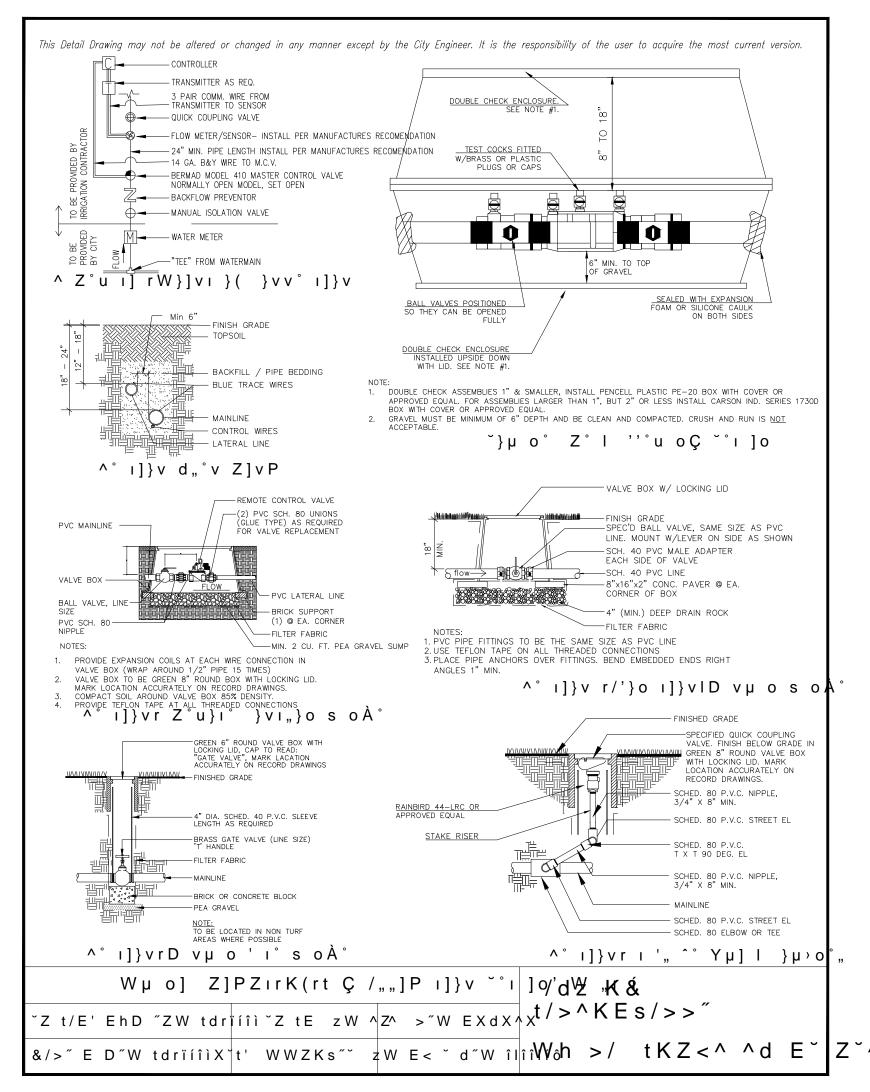


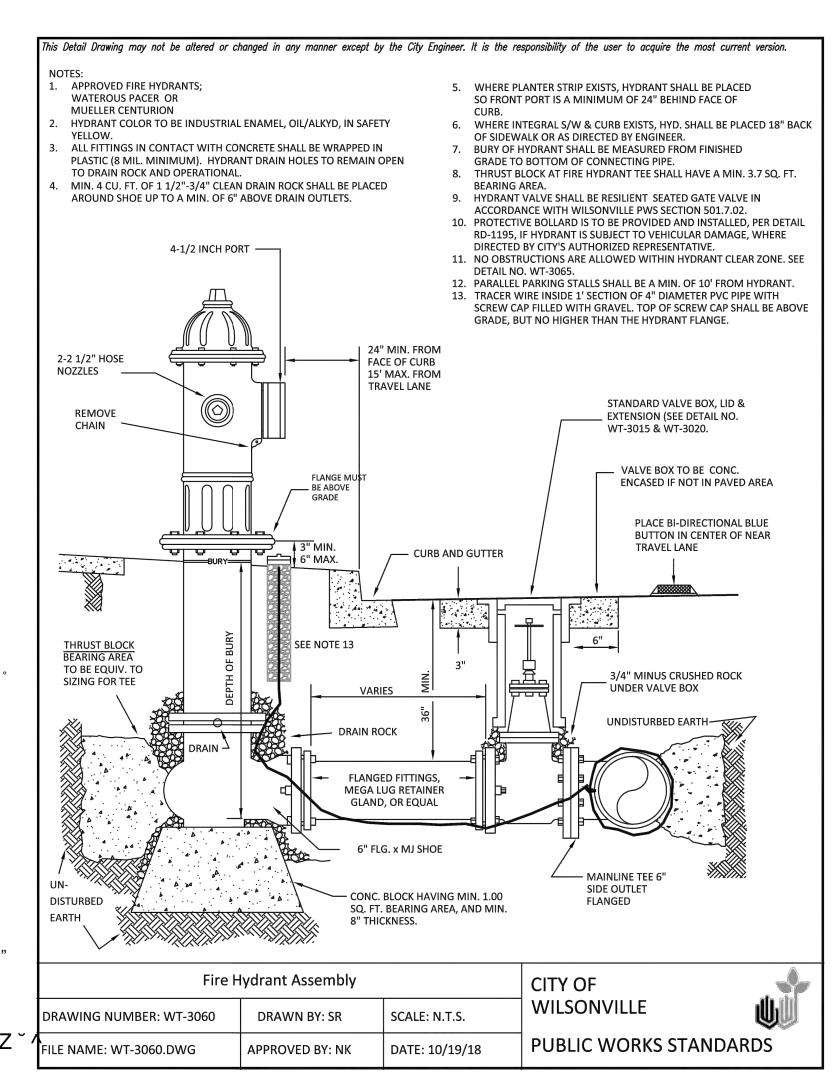














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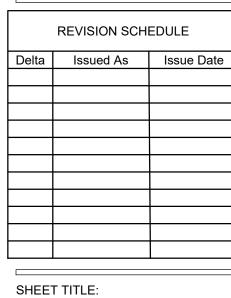
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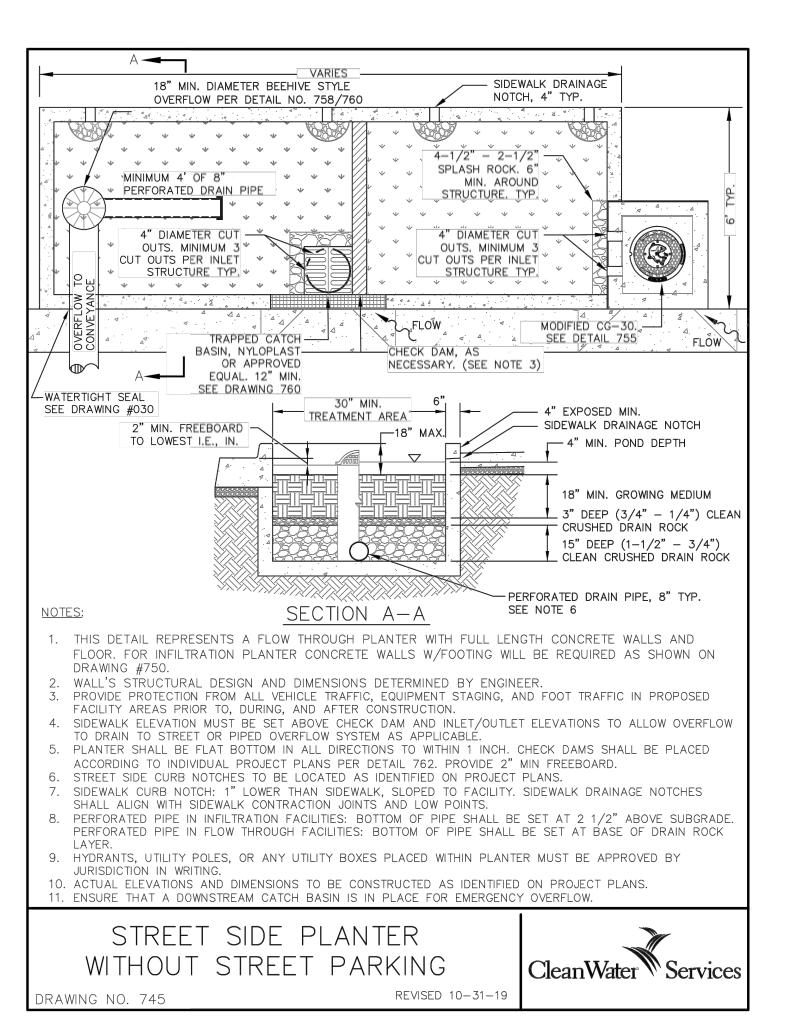


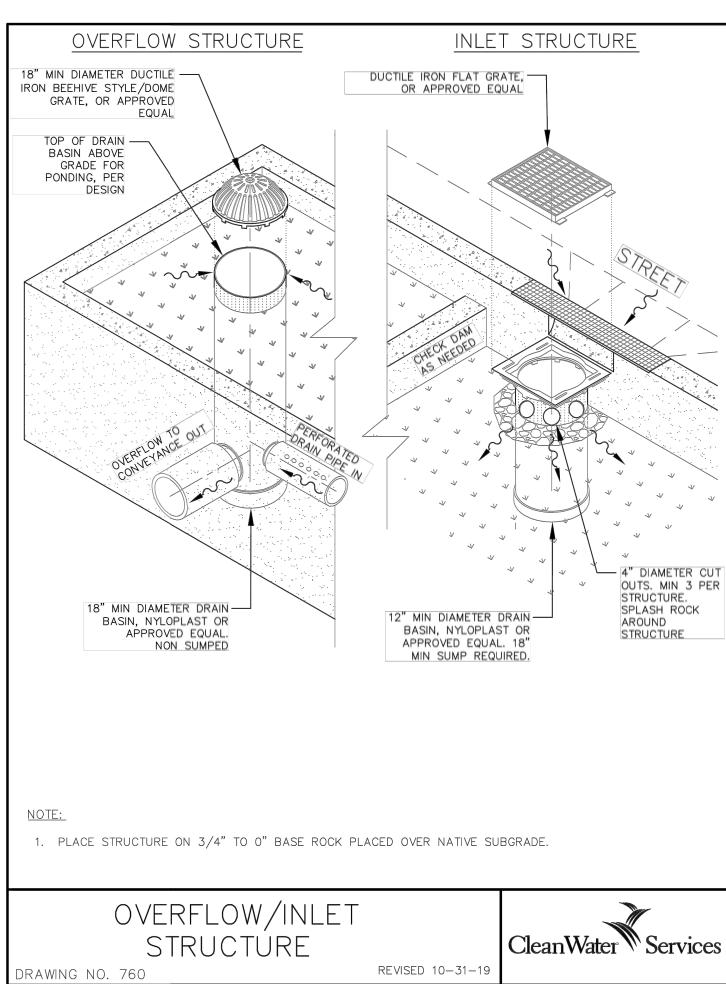
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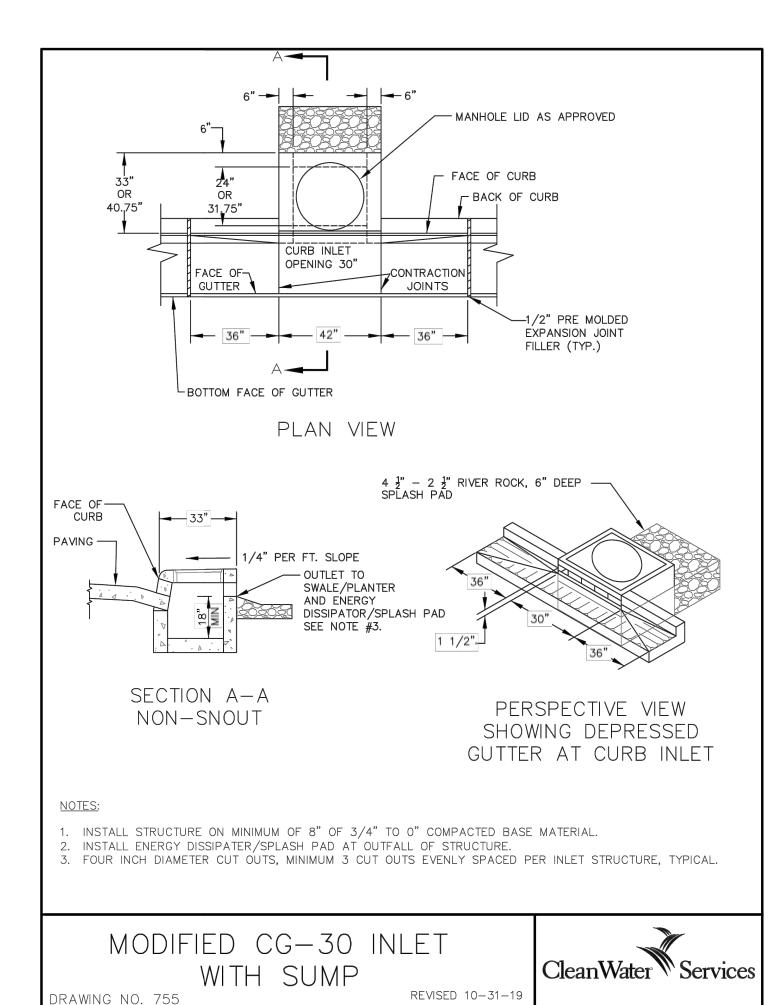
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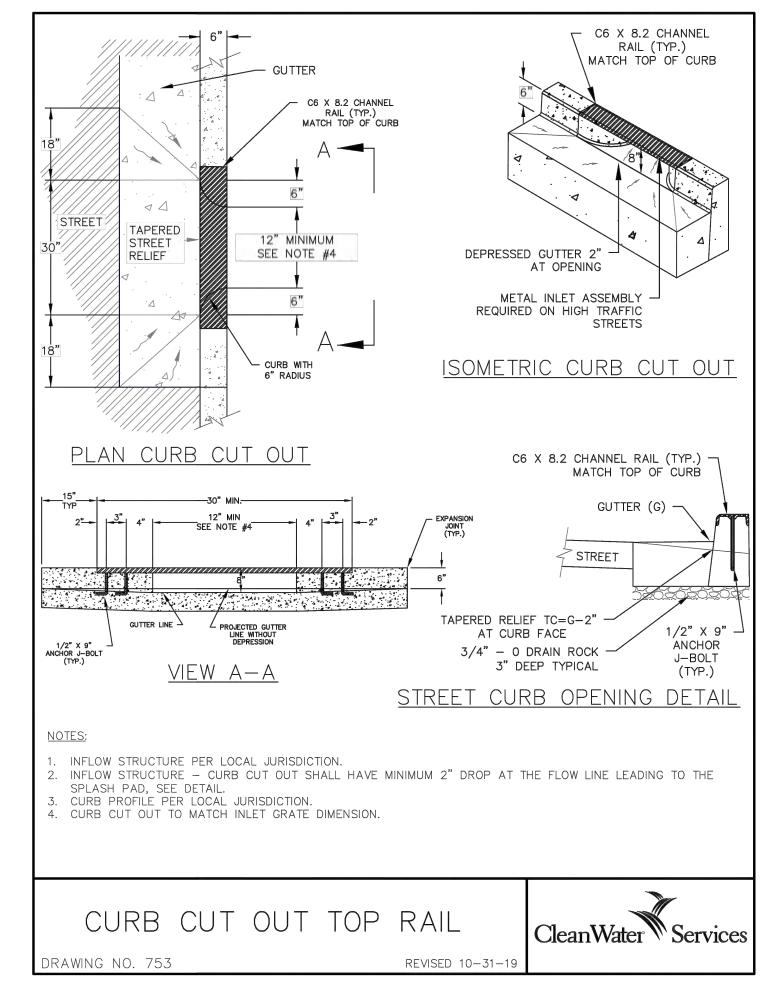
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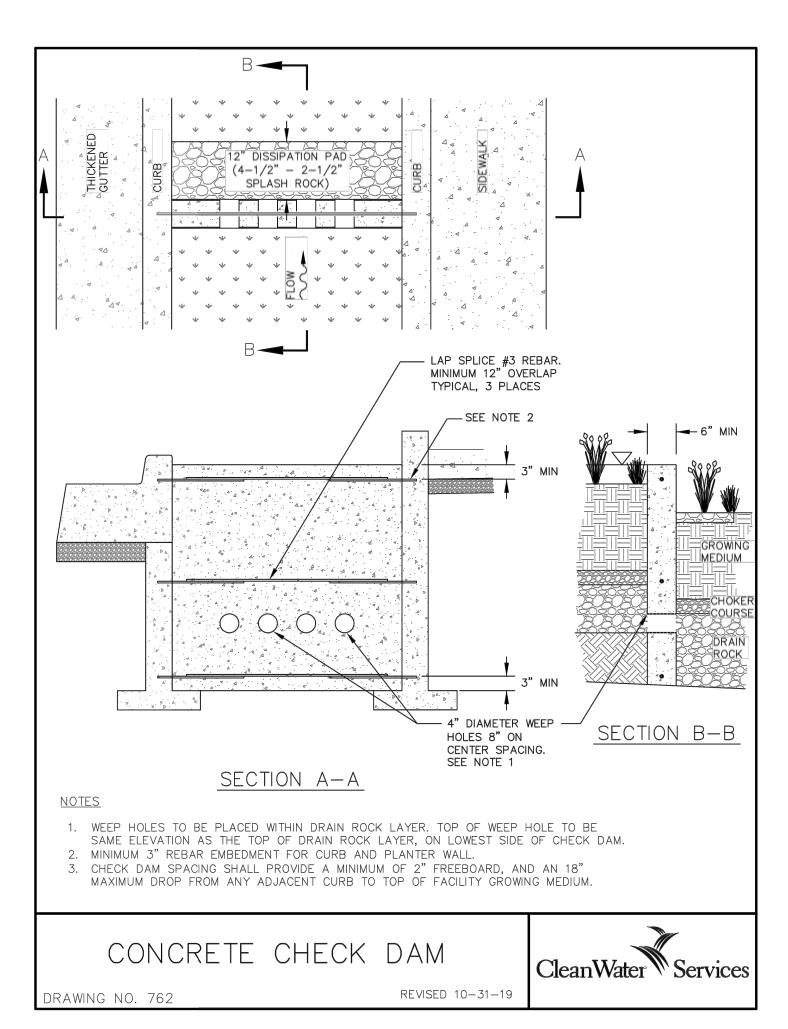
R0.03

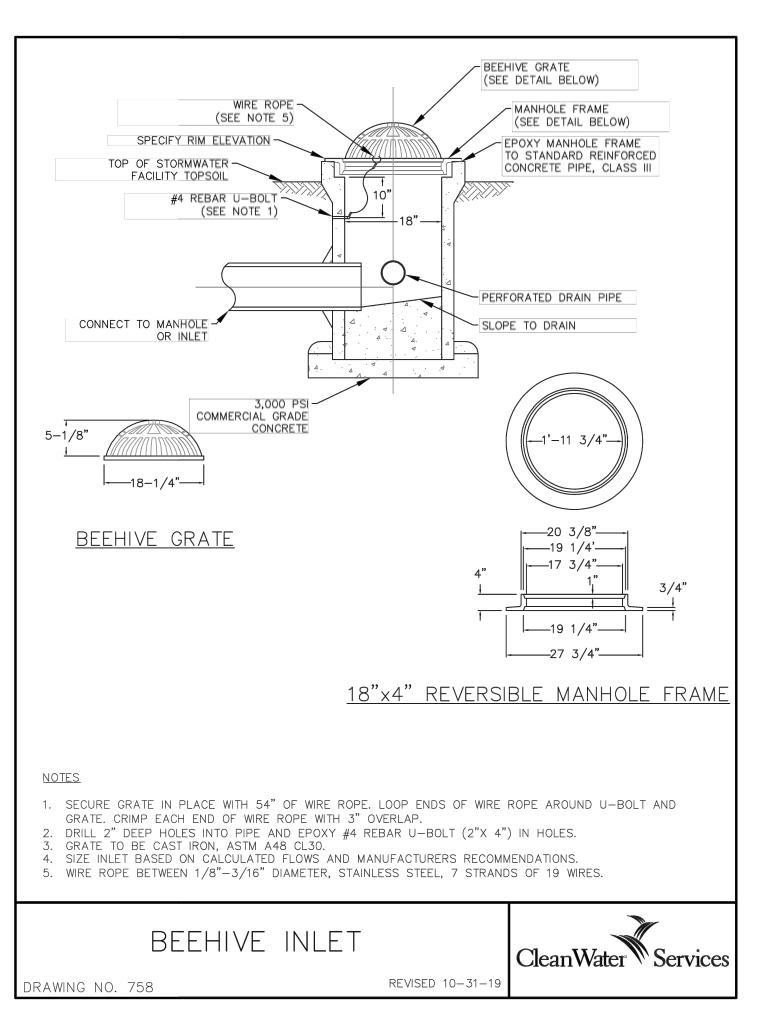


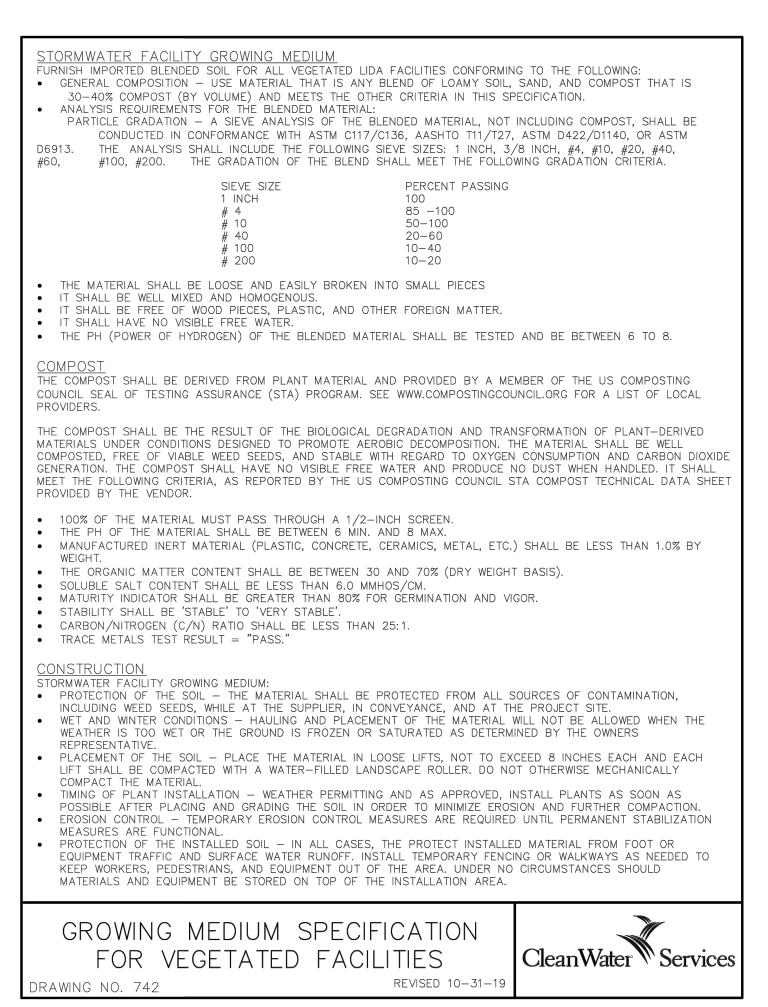














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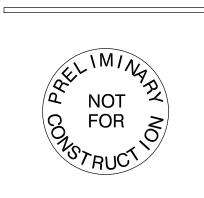
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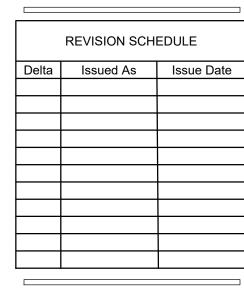
Project

DELTA LOGISTICS
SITE EXPANSION
FRONTAGE
MPROVEMENTS
9710 SW DAY RD.
CITY OF
WILSONVILLE, OR



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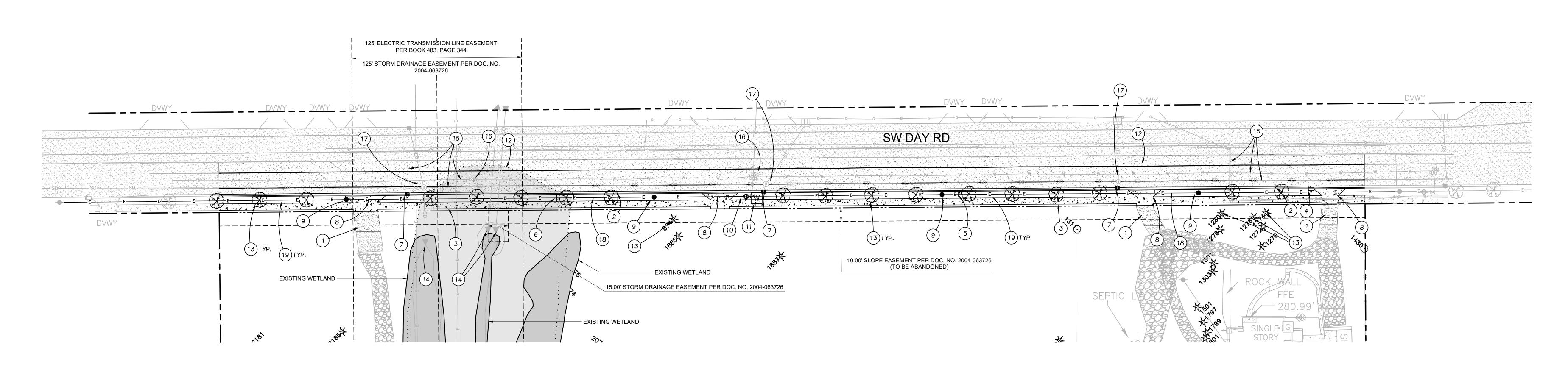


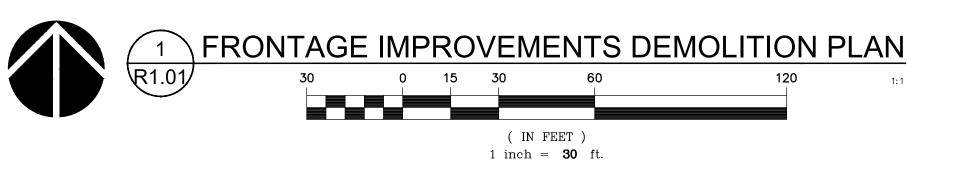
SHEET TITLE:

DETAILS

DRAWN BY: CME
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R0.04







- 1. REMOVE EXISTING ASPHALT PER SECTION 1/R0.02 2. REMOVE EXISTING CURB AND GUTTER
- 3. REMOVE EXISTING SIDEWALK
- 4. REMOVE EXISTING MAILBOX
- 5. RELOCATE EXISTING "TRUCKS ENTERING ROADWAY" SIGN
- 6. RELOCATE EXISTING "40 SPEED" SIGN
- 7. REMOVE EXISTING CATCH BASIN
- 8. REMOVE EXISTING DRIVEWAY 9. RELOCATE EXISTING POWER POLE
- 10. RELOCATE FIRE HYDRANT
- 11. REMOVE WATER METER AND SERVICE LATERAL TO MAINLINE
- 12. GRIND ASPHALT PAVEMENT PER SECTION 1/R0.02 13. REMOVE EXISTING TREE
- 14. PROTECT EXISTING STORM CULVERTS
- 15. PROTECT EXISTING UTILITIES AT THE SURFACE WITHIN THE GRINDING AREA 16. PROTECT VALVES AND ADJUST TO GRADE
- 17. PROTECT EXISTING MANHOLES IN GRINDING AREA, ADJUST TO GRADE
- 18. RELOCATE EXISTING OVERHEAD POWER LINES
- 19. REMOVE EXISTING HEDGE



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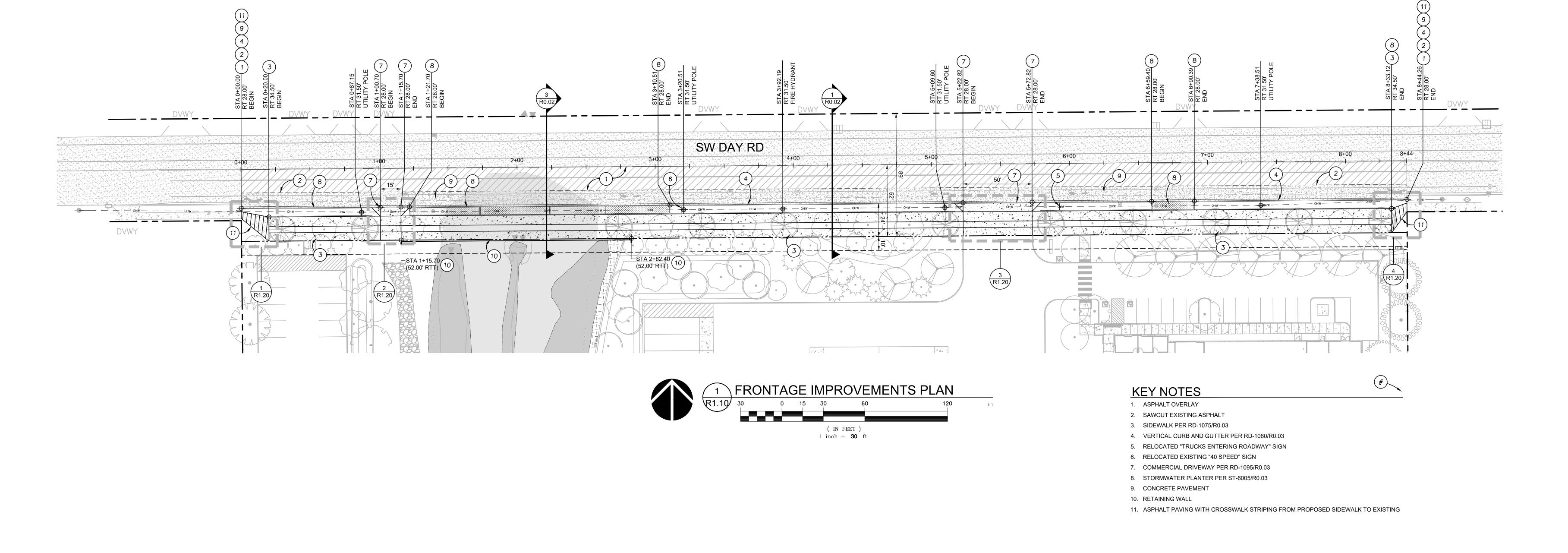
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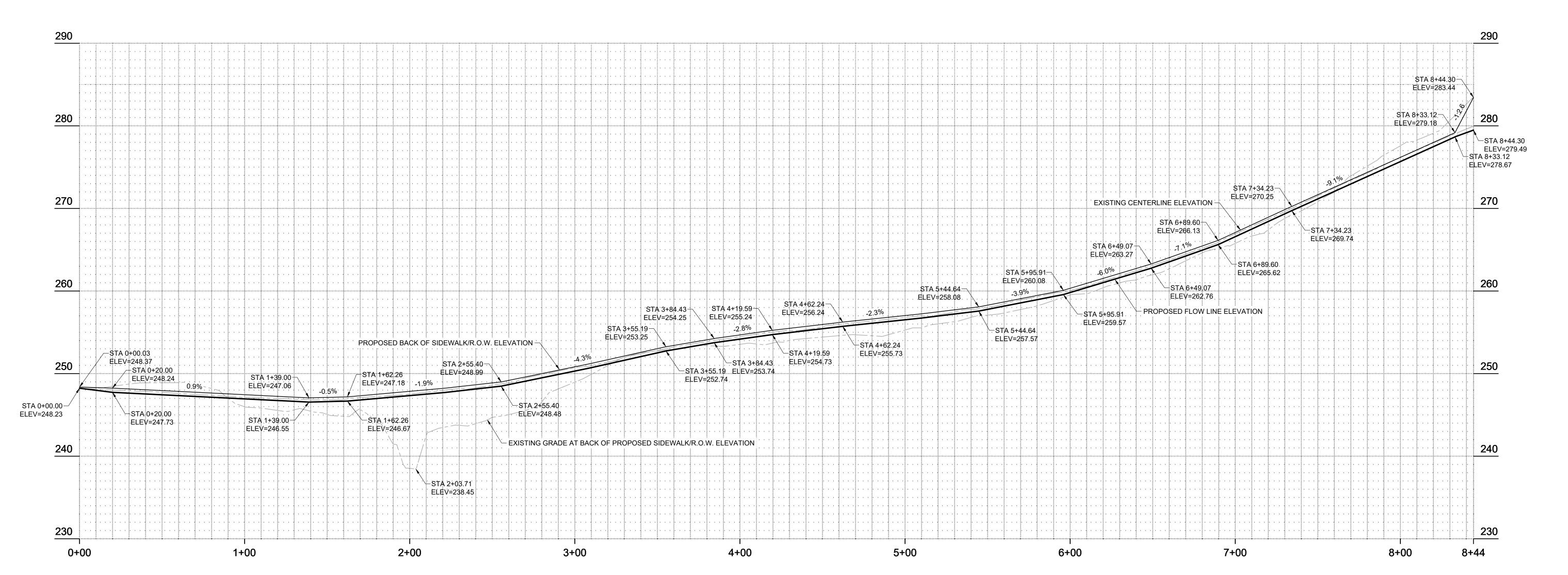
REVISION SCHEDULE			
Delta	Issued As	Issue Date	

SHEET TITLE: **DEMOLITION PLAN** 

DRAWN BY: CME

R1.01





2 FRONTAGE IMPROVEMENTS PROFILE R1.10 HORIZONTAL SCALE: 1"=30' VERTICAL SCALE: 1"=5'

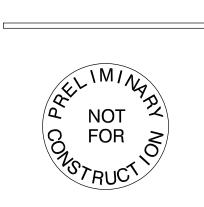
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PLAN AND PROFILE

DRAWN BY: CME

SHEET

R1.10





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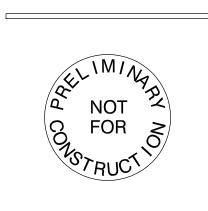
Client

DELTA LOGISTICS

9835 SW COMMERCE
CIRCLE
WILSONVILLE, OR
97070

Project

DELTA LOGISTICS SITE EXPANSION FRONTAGE MPROVEMENTS 9710 SW DAY RD. CITY OF WILSONVILLE, OR



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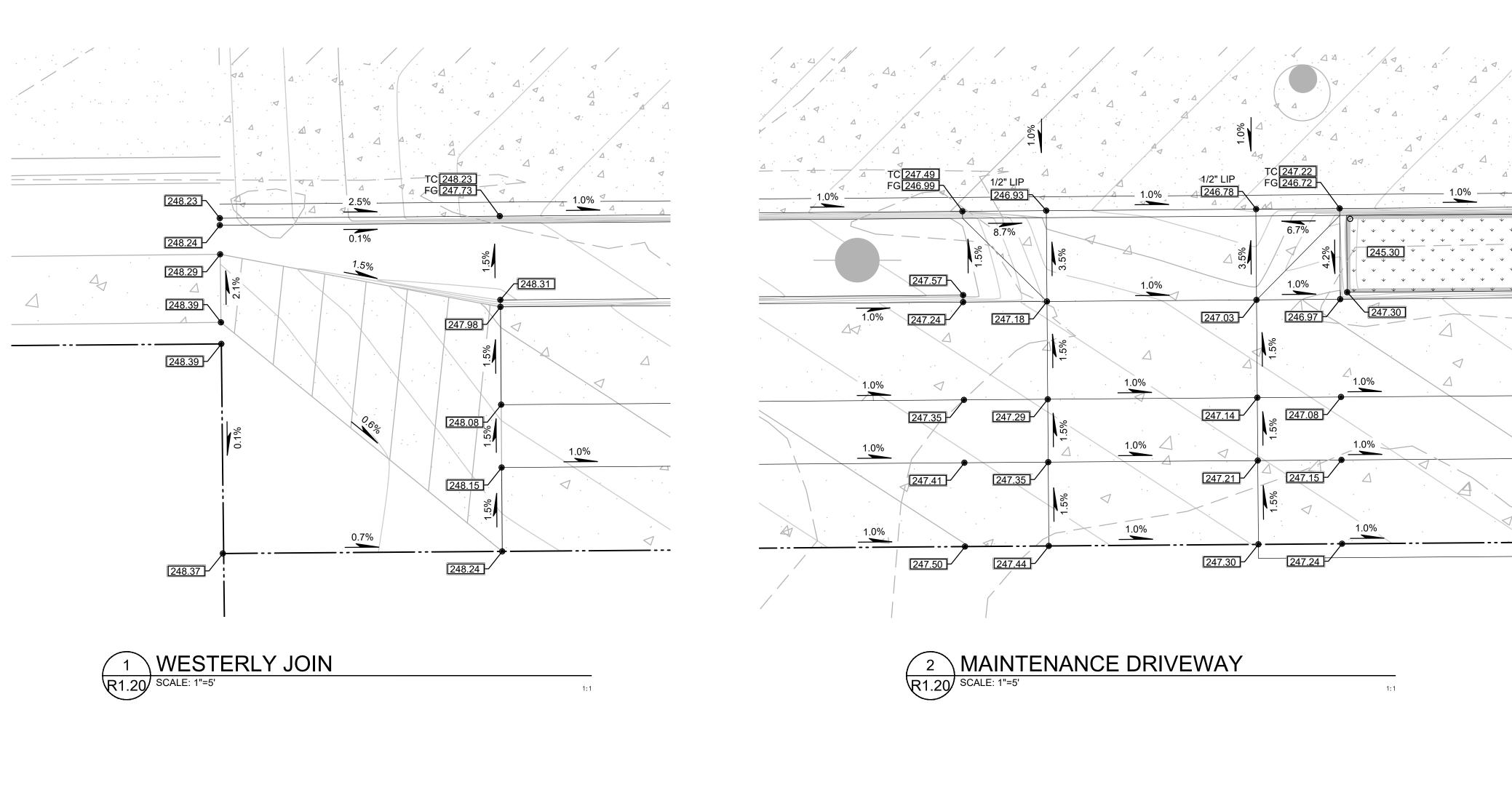
PLAN ENLARGEMENTS

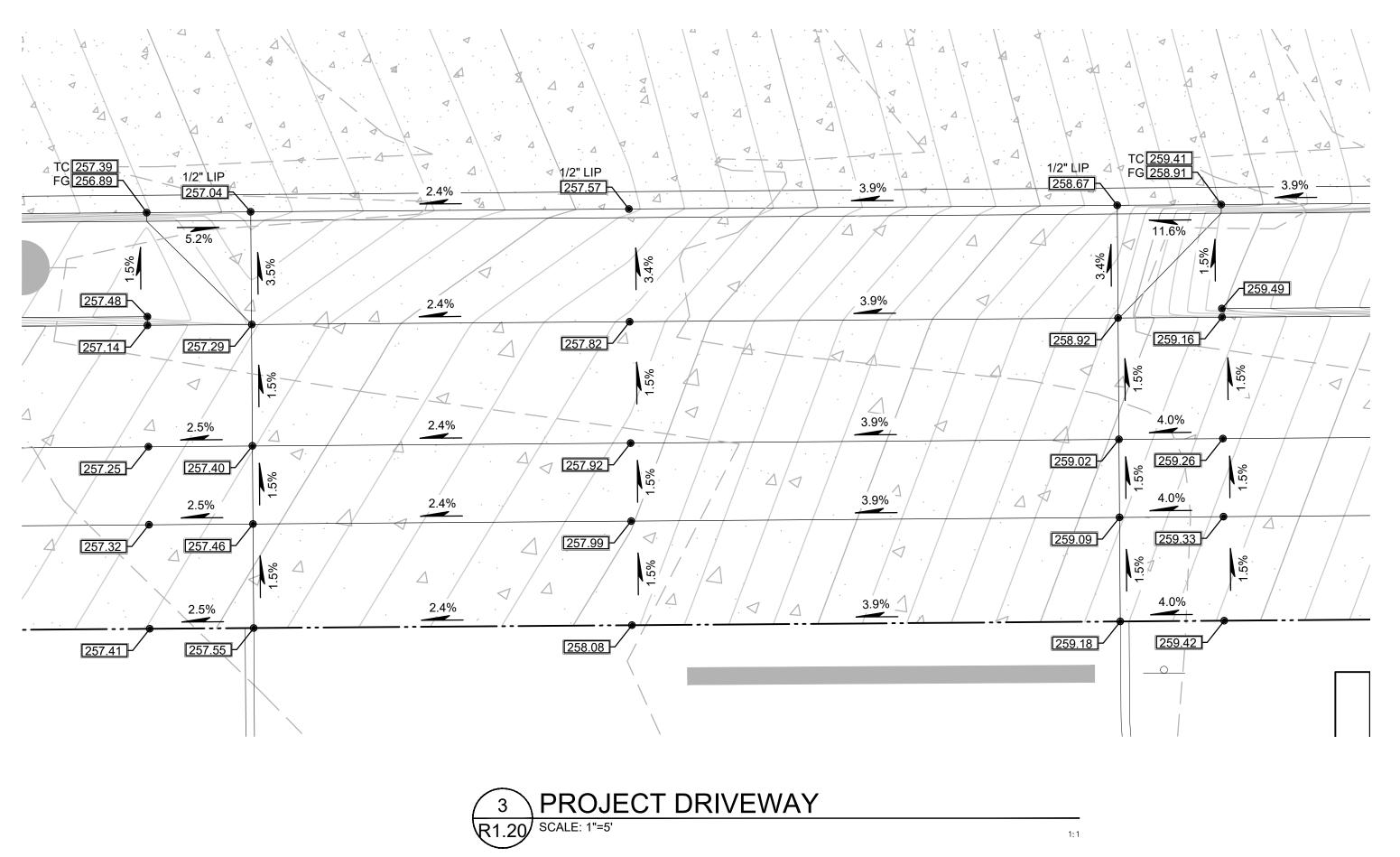
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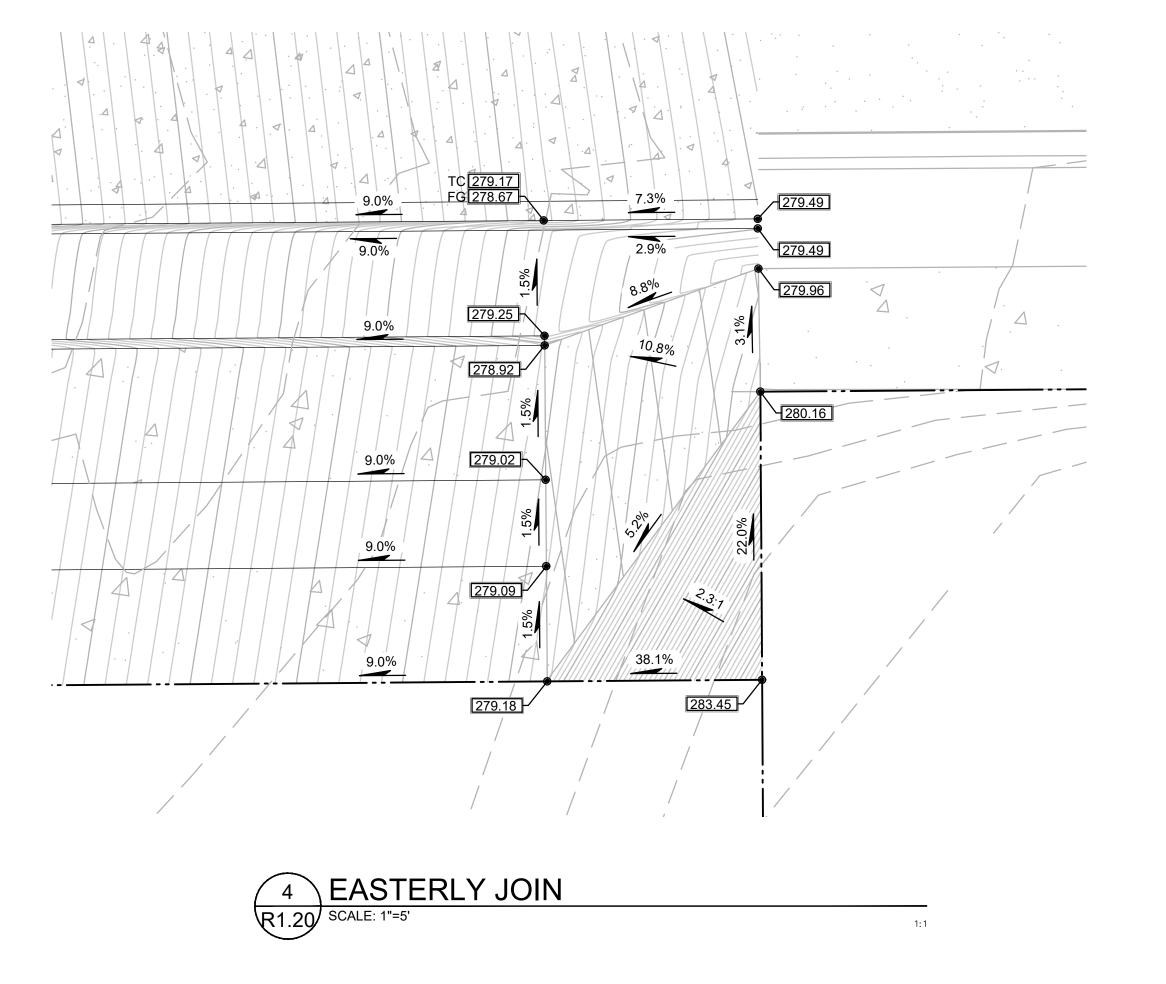
SHEET

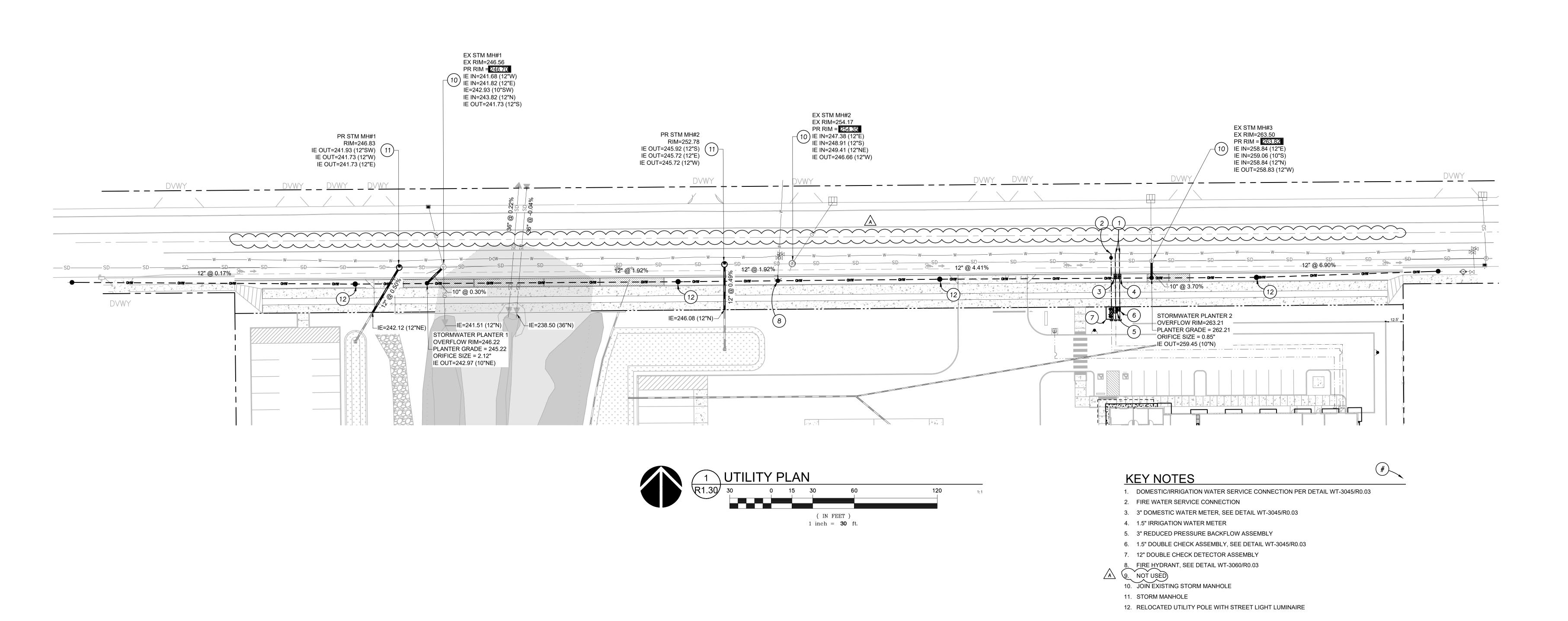
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REVISION SCHEDULE						
Delta	Issued As	Issue Date				
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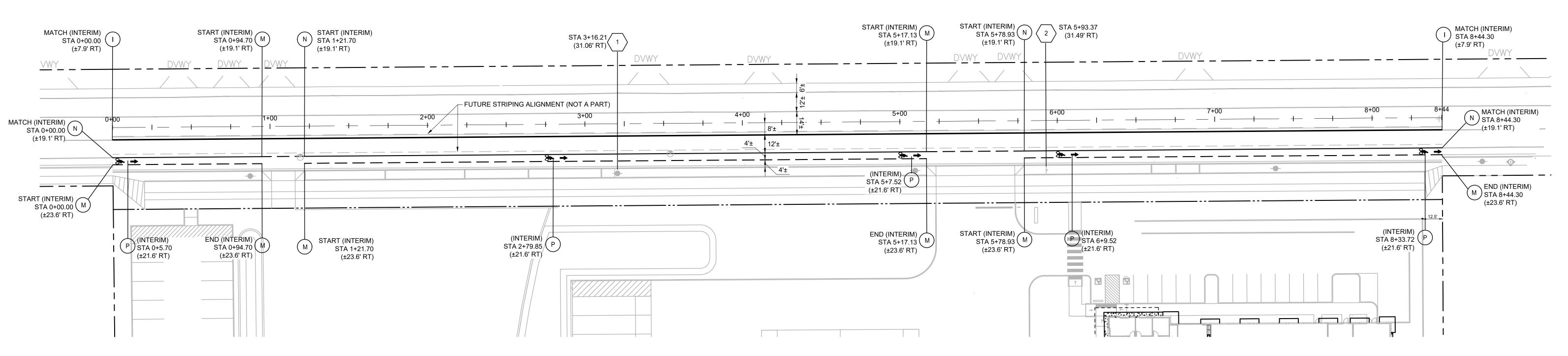
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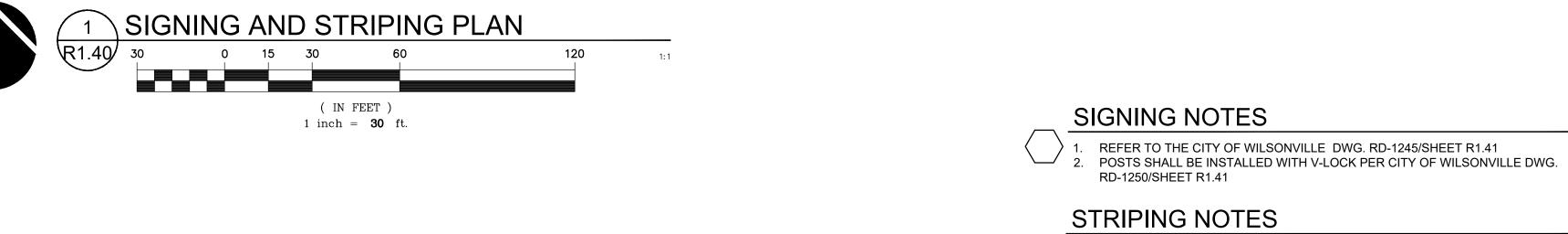
UTILITY PLAN

DRAWN BY: CME

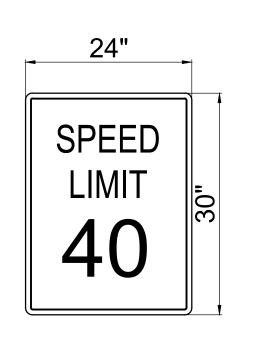
CHECKED BY:

R1.30





SIGN & SUPPORT DATA TABLE SIGN DIMENSION SIGN CODE TYPE OF SUPPORT FOOTING TYPE MOUNT SIGN QTY. USED WIDTH HEIGHT (IN) SIGN LEGEND / OTHER REMARKS 1 1 24 30 R2-1 TYPE W1 [SPEED LIMIT 40] MOUNTED ON POLE [TRUCKS ENTERING ROADWAY] 36







) 1. REFER TO THE CITY OF WILSONVILLE PAVEMENT MARKING NOTES ON CITY OF WILSONVILLE STD. DWG. RD-1280/SHEET R1.41 2. DO NOT PAINT CURBS MAINTAINED BY THE CITY OF WILSONVILLE.

CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY PAINT ON CITY

"TRUCKS ENTERING ROADWAY" SIGN

Planning - Engineering

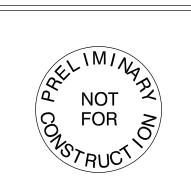
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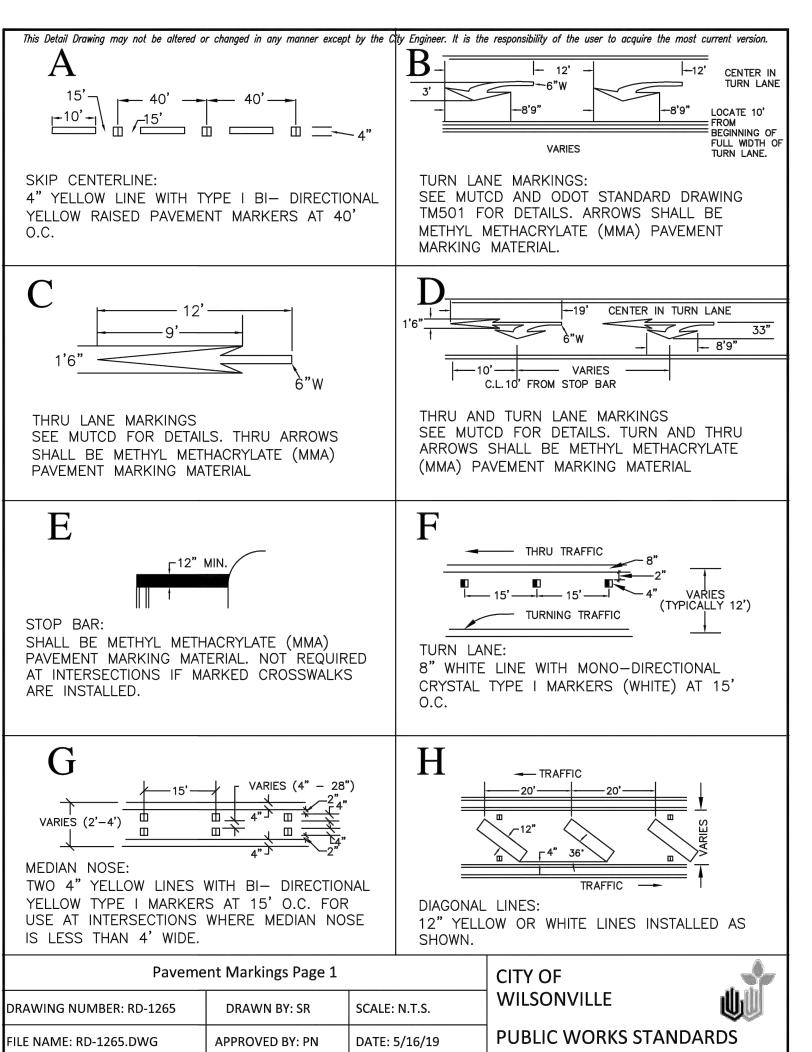
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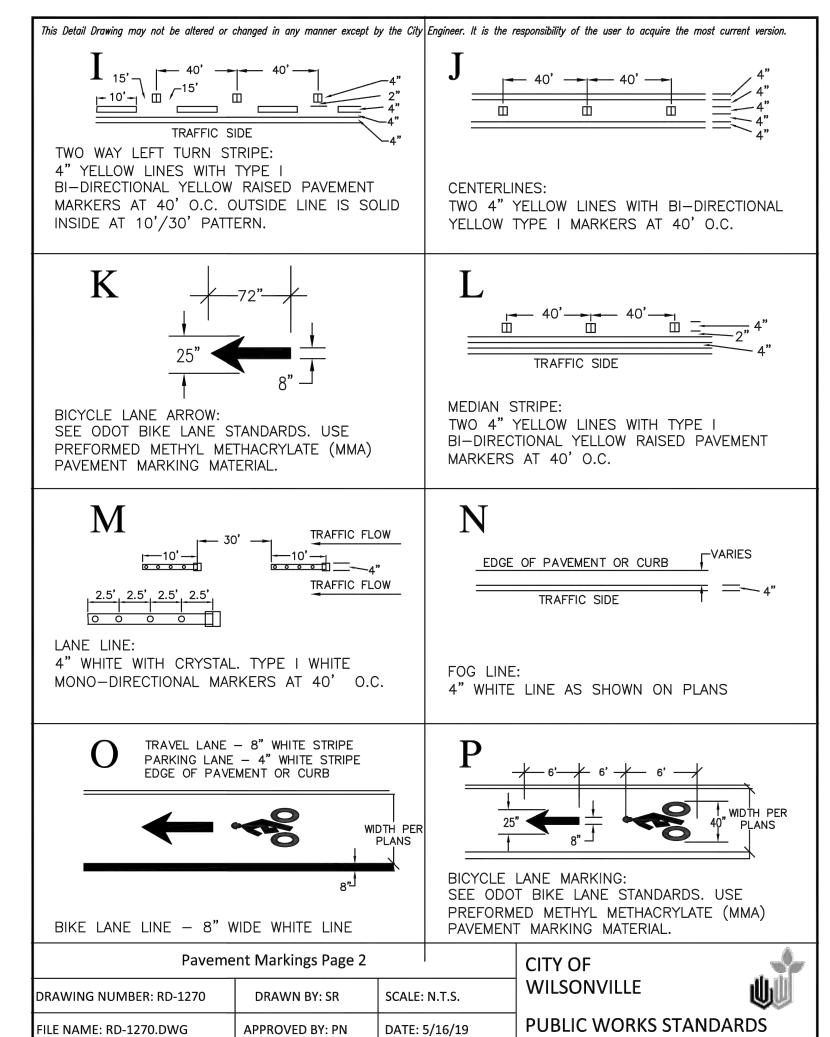
**DELTA LOGISTICS** SITE EXPANSION **FRONTAGE MPROVEMENTS** 9710 SW DAY RD. CITY OF WILSONVILLE, OR

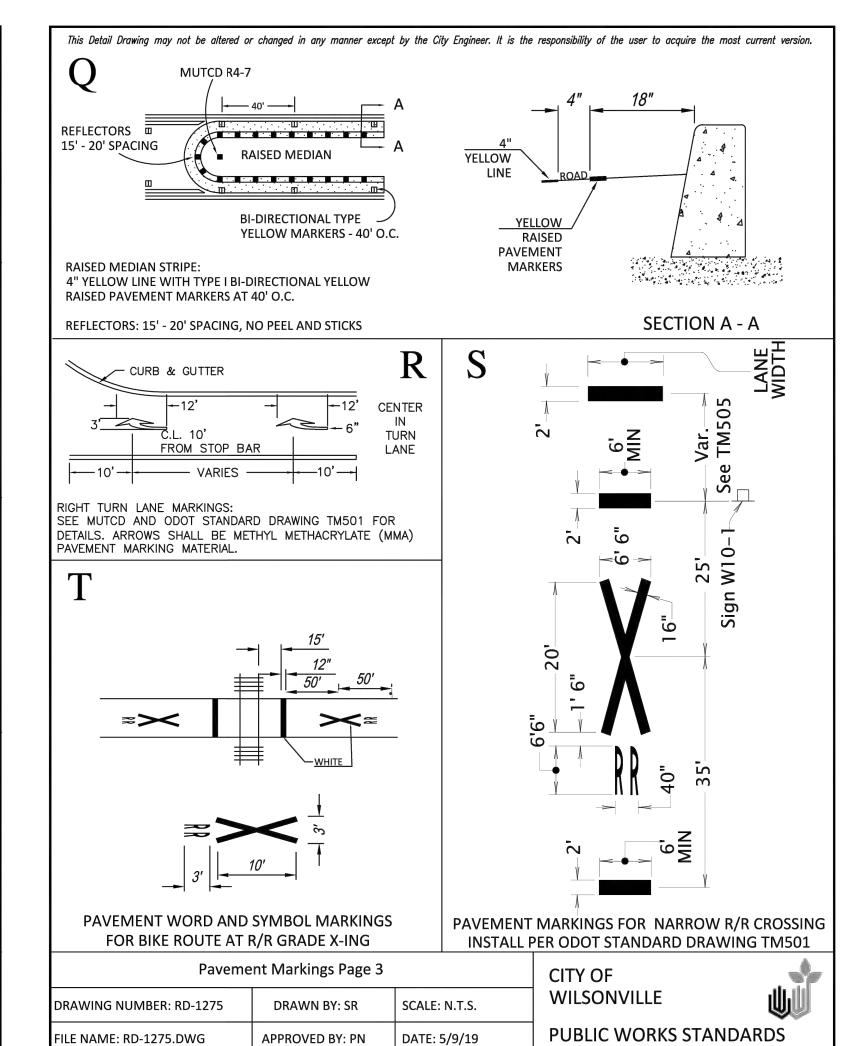


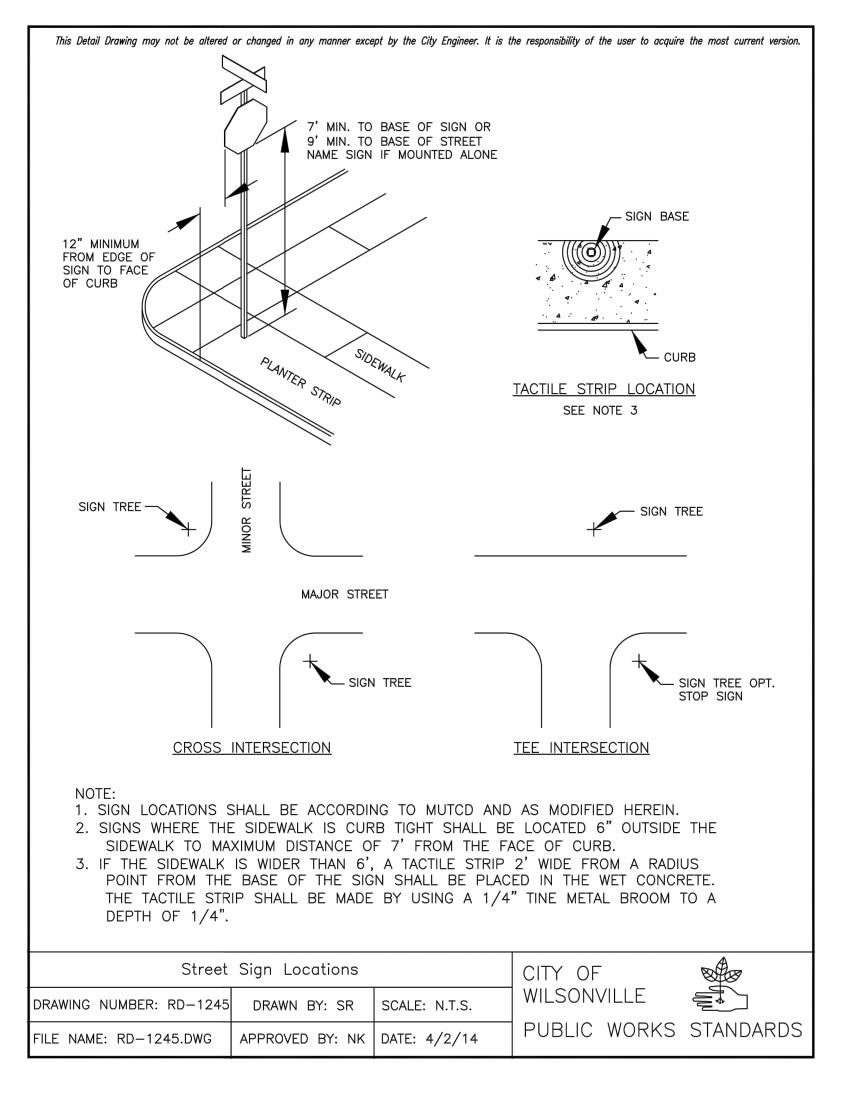
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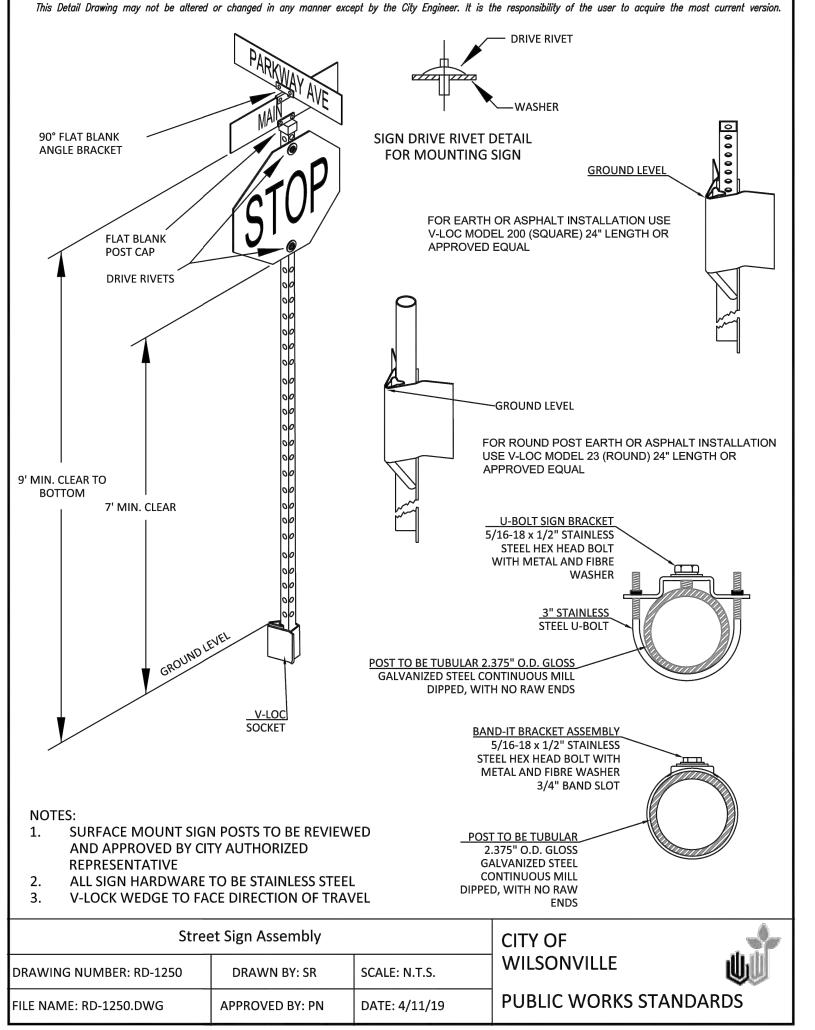
SHEET TITLE: STRIPING AND SIGNAGE PLAN













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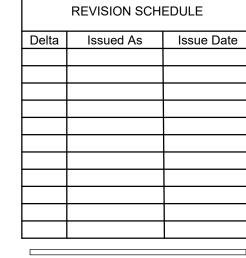
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SHEET TITLE:

STRIPING AND

SIGNAGE

DETAILS

DRAWN BY: CME

CHECKED BY: GIM

R1.41



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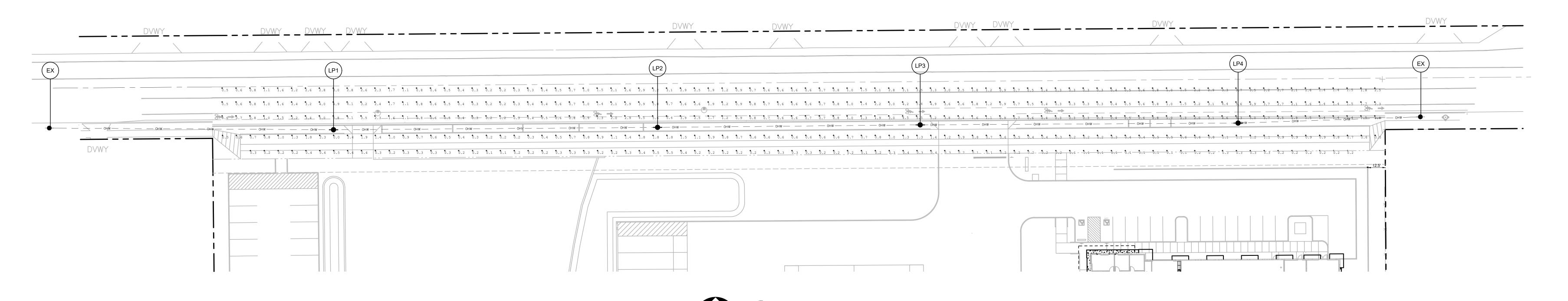


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I	REVISION SCH	EDULE
Delta	Issued As	Issue Date

SHEET TITLE: STREET **LIGHTING AND PHOTOMETRICS PLAN** 

JOB NO. **2200502.04** 



## LIGHTING NOTES

- 1. ALL MATERIALS AND WORKMANSHIP CONFORM TO CITY OF WILSONVILLE AND PGE OPTION B SPECIFICATIONS. ALL MATERIALS AND INSTALLATIONS SHALL BE APPROVED BY WILSONVILLE AND PGE
- 2. CONTRACTOR SHALL COORDINATE INSTALLATION OF STREET LIGHTS WITH PGE AND CITY FORCES. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 3. CONTRACTOR SHALL SUBMIT A LIGHTING SUBMITTAL OF ALL LIGHTING EQUIPMENT TO THE CITY OF WILSONVILLE AND HAVE APPROVED PRIOR TO ORDERING.
- 4. CONTACT PGE AT (503) 323-6700 TO BEGIN A WORK ORDER REQUEST. VERIFY PROPOSED LIGHT POLE LOCATION WITH PGE AND CITY PRIOR TO ORDERING AND INSTALLATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 5. STREET LIGHTING SHALL BE PER PGE OPTION B: PGE MAINTAINS LUMINAIRES AND PROVIDES ELECTRICITY SERVICE TO LUMINAIRES THAT ARE PURCHASED AND OWNED BY THE OWNER AND INSTALLED ON UTILITY POLES.
- 6. CONTRACTOR SHALL VERIFY LUMINAIRE CHARACTERISTICS AND CATALOG NUMBER, INCLUDING BUT NOT LIMITED TO EXTERIOR HOUSING COLOR, WITH PGE AND CITY FORCES PRIOR TO ORDERING.
- 7. WIRES TO BE PROVIDED AND PULLED BY PGE
- 8. CONTRACTOR IS RESPONSIBLE FOR THE CORRECT OPERATION OF THE STREET LIGHT SYSTEM FOR THE FIRST YEAR AFTER BEING ENERGIZED BY PGE.THE CONTRACTOR IS ALSO RESPONSIBLE FOR ANY POLES WHICH GO OUT OF PLUMB WITHIN THE FIRST YEAR. DURING THIS ACCEPTANCE PERIOD ANY REPAIRS OR POLE STRAIGHTENING PERFORMED ON THE INSTALLED SYSTEM BY PGE WILL BE BILLED TO THE DEVELOPER.

## STREET LIGHTING EQUIPMENT

1 inch = 30 ft.

1. LUMINAIRES SHALL BE:

LUM 1: LEOTEK GRAY LED: GCL-80G-MV-WW-3R-GY-610-PCR7RWGWLFDCPGE

## LIGHTING LEGEND

EXISTING LIGHTPOLE

INSTALL LUMINAIRE POLE (30' MOUNTING HEIGHT) SEE FOOTING DETAIL RD-1335 POLE NUMBER (N). SEE POLE INFORMATION TABLE.

## **ILLUMINATION DATA**

DESIGNED RECOMMENDED MINIMUM VALUE

DESIGNED	1.7	.2	8.7:1
RECOMMENDED MINIMUM VALUE	0.6	-	4.0:1
	SIDEWALK ALONG	S SW DAY RD - CO	LLECTOR ROAD
	AVERAGE (fc)	MINIMUM (fc)	AVERAGE/MINIMUM
DESIGNED	0.3	0.1	2.5:1
RECOMMENDED MINIMUM VALUE	0.6	-	4.0:1

AVERAGE (fc) MINIMUM (fc) AVERAGE/MINIMUM

SW DAY RD - COLLECTOR ROAD

1. A LIGHT LOSS FACTOR OF 0.85 WAS USED FOR ALL LUMINAIRES

2. STREET LIGHTING WAS DEIGNED IN ACCORDANCE WITH THE MOST CURRENT AMERCIAN STANDARD PRACTICE FOR ROADWAY LIGHTING (RP-8-14) PER

CITY OF WILSONVILLE PUBLIC WORKS STANDARD 3. DESIGN ASSUMES A LOW PEDESTRIANS TRAFFIC AREA AND A R2/R3 PAVEMENT CLASSIFICATION

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Delta	Issued As	Issue Date

## **ZONING COMPLIANCE LEGEND** FRAXINUS PENNSYLVANICA 'MARSHALL'S SEEDLESS' / MARSHALL'S SEEDLESS GREEN ASH PINUS PONDEROSA / PONDEROSA PINE ZELKOV. CALOCE TILIA ACERAMELANO SINGLE CORNUS ACER GRANDIDENTATUM 'SCHMIDT' TM / ROCKY MOUNTAIN GLOW MAPLE CORNUS KOUSA 'MILKY WAY' / MILKY WAY KOUSA DOGWOOD PARROTIA PERSICA 'INGE'S RUBY VASE' TM / RUBY VASE PERSIAN PARROTIA <u>STORMWATER TREE</u> CORNUS X 'EDDIE'S WHITE WONDER' / EDDIE'S WHITE WONDER DOGWOOD FRAXINUS LATIFOLIA / OREGON ASH PSEUDOTSUGA MENZIESII / DOUGLAS FIR RHAMNUS PURSHIANA / CASCARA BUCKTHORN <u>HIGH SCREEN STANDARD</u> LOW SCREEN STANDARD <u>PARKING LANDSCAPE</u> <u>STORMWATER</u> <u>GEN LANDSCAPE REQ</u> STREET PLANTING <u>WA YSIDE</u> VEGETATION PROTECTION AREA

# FRONTAGE SETBACK -- PARKING SETBACK PUE SETBACK **BUILDING** PGE EASEMENT SROZ VEGETATED CORRIDOR PLANTING AREA TRASH ENCLOSURE, SEE ARCH BUILDING SETBACK **TAPMAN CREEK**

**ZONING COMPLIANCE PLAN** 

1 inch = 40 ft.

## **ZONING COMPLIANCE**

S PONDEROSA / PONDEROSA PINE UDOTSUGA MENZIESII / DOUGLAS FIR RCUS GARRYANA / OREGON WHITE OAK 'OVA SERRATA 'GREEN VASE' / GREEN VASE SAWLEAF ZELKOVA ONDARY TREE	SECTION 4.155(.03)  B. OFF-STREET PARKING LANDSCAPE REQS PARKING AREAS OVER 650 SF, EXCLUDING ACC AREAS, SHALL BE LANDSCAPED TO 10% MIN. 1 SHALL BE AT LEAST 8 FT WIDE.	•
" — 2" CAL MIN DCEDRUS DECURRENS / INCENSE CEDAR TOMENTOSA 'STERLING' / STERLING SILVER LINDEN US X 'FRONTIER' / FRONTIER ELM	TOTAL PARKING AREA PARKING LANDSCAPE (10% MIN) STALLS TREES (1 PER 8 STALLS = 6 TREES)	19,884 SF 3,160 SF (15 41 STALLS 6 TREES
ENT TREE ' CAL MIN R RUBRUM 'BOWHALL' / BOWHALL RED MAPLE LANCHIER ALNIFOLIA 'AUTUMN BRILLIANCE' / SERVICEBERRY BLE STEM NUS KOUSA X NUTTALLII 'KN4—43' / STARLIGHT KOUSA DOGWOOD	ISLANDS (8 FT WIDTH MIN)  SECTION 4.176(.02)  C. GENERAL LANDSCAPING STANDARD  WHERE LANDSCAPE IS GREATER THAN 30 FT D  AND 2 HIGH SHRUBS OR 3 LOW SHRUBS PER 40	

**JURISDICTION** 

STORMWATER

# **PER 800 SF**

LANDSCAPE AREA TREES (1 PER 800 SF = 6 TREES) LOW SHRUBS (3 PER 400 SF = 36 SHRUBS) APPLIES ALONG SW DAY ROAD PERIMETER LANDSCAPE AREA TREES (1 PER 800 SF = 3 TREES)

B. OFF-STREET PARKING LANDSCAPE REQS	
PARKING AREAS OVER 650 SF, EXCLUDING A	CCESS AREAS, LOADING OR DELIV
AREAS, SHALL BE LANDSCAPED TO 10% MIN.	. 1 TREE PER 8 STALLS AND ISLAND
SHALL BE AT LEAST 8 FT WIDE.	
TOTAL PARKING AREA	19,884 SF
PARKING LANDSCAPE (10% MIN)	3,160 SF (15.9%)
STALLS	41 STALLS
TREES (1 PER 8 STALLS = 6 TREES)	6 TREES
ISLANDS (8 FT WIDTH MIN)	8 WIDTH
SECTION 4.176(.02)	
C. GENERAL LANDSCAPING STANDARD	

APPLIES ALONG SW DAY ROAD EAST PARKING LOT PERIMETER 8 TREES 147 SHRUBS 1,938 SF 13 TREES LOW SHRUBS (3 PER 400 SF = 15 SHRUBS) 128 SHRUBS APPLIES ALONG SOUTH SIDE OF LOADING DOCKS 1,906 SF LANDSCAPE AREA 3 TREES TREES (1 PER 800 SF = 3 TREES) LOW SHRUBS (3 PER 400 SF = 15 SHRUBS) 21 SHRUBS

D. LOW SCREEN LANDSCAPING STANDARD ONE TREE PER 30 LF, 3-FT HT EVERGREEN HEDGE, AND GROUNDCOVER TO FULL COVERAGE. A 3-FT HIGH MASONRY WALL OR BERM MAY REPLACE THE SHRUBS.

APPLIES ALONG ADJACENT LOTS 1,600 LF PERIMETER 55 TREES TREES (1 PER 30 LF = 54 TREES) SHRUBS 3 FT EVERGREEN E. LOW BERM LANDSCAPING STANDARD STANDARD NOT FEASIBLE ALONG SW DAY ROAD.

F. HIGH SCREEN LANDSCAPING STANDARD

127 LF WAYSIDE PERIMETER TREES (1 PER 30 LF = 5 TREES) 12 TREES HEDGE 6 FT EVERGREEN **GROUNDCOVER FULL COVERAGE** LOADING DOCKS 42 LF TREES (1 PER 30 LF = 2 TREES) 3 TREES 16 FT H X 32 FT W ARCHITECTURAL SCREEN WALL GROUNDCOVER **FULL COVERAGE** 20 LF TRASH ENCLOSURE 1 TREE TREES (1 PER 30 LF) HEDGE 6 FT EVERGREEN **FULL COVERAGE** 

GROUNDCOVER SECTION 4.176(.03) LANDSCAPE AREA

TOTAL SITE AREA 386,732 SF (8.9 AC) 15% MINIMUM 138,471 SF (35.8%) SECTION 4.176(.04)

**BUFFERING AND SCREENING** SITE ZONING ADJACENT ZONING

**INDUSTRIAL** INDUSTRIAL NONE **OUTDOOR STORAGE** SITE ZONING INDUSTRIAL FENCE NONE ADDITIONAL SCREENING

SECTION 4.176(.06) A. SHRUBS AND GROUNDCOVER SHRUBS ( 2 GAL. MINIMUM) 2 GAL. MINIMUM 3 YEAR GROUND COVERAGE (80%) 80% MINIMUM TURF OR LAWN (10% MAXIMUM) 0%

DECIDUOUS (2" CAL. & 10' HEIGHT MINIMUM) 2" CAL. & 10' HT. **EVERGREEN (12 FT HEIGHT MINIMUM)** 12' HT.

C. LARGER PLANT MATERIAL PROPOSED DEVELOPMENT IS GREATER THAN 50,000 SF IN FOOTPRINT AREA / LARGER THAN 24-FEET IN HEIGHT. AT MATURITY TREES WILL BE AT LEAST 50% THE HEIGHT OF THE BUILDING. DECIDUOUS TREES SHALL BE AT LEAST 10-FEET TALL AND 2-INCH CALIPER. EVERGREEN TREES MUST BE AT LEAST 12-FEET IN HEIGHT. LARGER PLANT MATERIAL HAS BEEN PROVIDED ALONG THE FRONTAGE. BUILDING HEIGHT SHORTEST MATURE TREE HEIGHT (50% OF BLDG HT MIN) 40 FT (100%) DECIDUOUS TREES (10FT HT, 2-INCH CAL AT INSTALL) EVERGREEN TREES (12 FT HT AT INSTALL)

ARTERIAL TREES SHALL BE 3-INCH CALIPER. STREET TREES SPECIES IS SHORT ENOUGH FOR OVERHEAD ELECTRICAL WIRES AND TOLERANT OF WET SOIL.

E. PLANT SPECIES THE LANDSCAPE CONSISTS OF EXISTING LANDSCAPING AND/OR NATIVE VEGETATION TO BE PROTECTED AND MAINTAINED DURING CONSTRUCTION AND NATIVE AND DROUGHT TOLERANT PLANT MATERIAL. PLANT MATERIAL PROVIDED HAS BEEN CROSS-REFERENCED WITH THE CITY'S LIST OF PROHIBITED PLANT

SEE TREE PLAN SHEET L0.03. NONE REQUESTED

SECTION 4.176(.07)

INSTALLATION AND MAINTENANCE SEE PLANTING NOTES THIS SHEET. PLANT MATERIAL REQUIRED BY CODE SHALL BE CONTINUOUSLY MAINTAINED BY OWNER AND REPLACED IN KIND WITHIN ONE GROWN SEASON IF DEAD.

SEE IRRIGATION NOTES THIS SHEET. PERMANENT SYSTEM TO BE DESIGN BUILD.

SECTION 4.176(.09) PLANT MATERIAL LIST SEE PLANT SCHEDULE ON SHEET L0.02

CONDITION OF EXISTING PLANTINGS ALL VEGETATION IS PROPOSED FOR REMOVAL, OTHER THAN THAT WITHIN THE SIGNIFICANT RESOURCE OVERLAY ZONE. SEE ARBORIST REPORT FOR CONDITION OF EXISTING TREES TO REMAIN

WATER USAGE WATER USE CATEGORY WAYSIDE AREA (8 TO 13 ACRES) NATIVE/DROUGHT TOLERANT COFFEE CREEK DESIGN GUIDELINES WAYSIDE ON ADDRESSING STREET

WAYSIDE AREA (8 TO 13 ACRES, 600 SF MIN.) BUFFER DEPTH ON 3 SIDES (20 FT MIN)

SEATING (1 LF PER 40 SF OF WAYSIDE = 18 LF)

736 SF PROVIDED

20-30 LF PROVIDED 18 LF SEATING 7 FT WIDTH

## **SHEET INDEX**

WILSONVILLE, OR

CITY OF WILSONVILLE

L0.01 GENERAL LANDSCAPE NOTES L0.02 PLANT SCHEDULES AND STORMWATER NOTES L0.03 TREE REMOVAL PLAN L0.04 TREE MITIGATION PLAN L0.05 VEGETATED CORRIDOR ENHANCEMENT PLANTING PLAN L1.10 PLANTING PLAN - WEST L1.11 PLANTING PLAN - EAST L1.20 IRRIGATION PLAN - WEST L1.21 IRRIGATION PLAN - EAST

**TABLE OF ABBREVIATIONS** 

L5.10 PLANTING DETAILS

L5.11 IRRIGATION DETAILS

AMERICAN NATIONAL MAX MAXIMUM MINIMUM STANDARDS INSTITUTE MIXTURE BALL AND BURLAP CALIPER NOT TO SCALE CONC CONCRETE ON CENTER POINT OF CONNECTION DEG DEGREE POLY VINYL CHLORIDE DIA/Ø DIAMETER SCHEDULE DWGS DRAWING SQUARE FOOT ELL **ELBOW** EQUAL SPEC SPECIFICATION EQ FEET/FOOT TYPICAL TIMES GAL GALLON GALVANIZED GALV H/HT HEIGHT

## LANDSCAPE NOTES

- 1. CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- CALL BEFORE YOU DIG. CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT IF THERE ARE ANY DISCREPANCIES WITH PLANTING ROOT ZONES. TO REQUEST LOCATES FOR PROPOSED EXCAVATION CALL 1-800-332-2344 (OR 811) IN OREGON.
- NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY
- 4. LOCATION OF EXISTING TREES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- DAMAGE TO EXISTING CONCRETE CURB, ASPHALT PAVING, OR OTHER STRUCTURE SHALL BE REPAIRED OR REPLACED TO PRE CONSTRUCTION
- 6. CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY DISRUPTION TO VEHICULAR CIRCULATION PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL EXISTING TREES, PLANTS, AND ROOTS SHALL BE PROTECTED FROM DAMAGE FROM ANY CONSTRUCTION PREPARATION, REMOVAL OR

CENTER SPACING AWAY FROM PAVEMENT EDGE.

- INSTALLATION ACTIVITIES WITHIN AND ADJACENT TO PROJECT LIMITS SHRUBS ADJACENT TO PARKING AREAS SHALL BE PLANTED 2 FT MINIMUM AWAY FROM THE BACK OF CURB. SHRUBS AND GROUNDCOVER ALONG OTHER PAVEMENT EDGES SHALL BE PLANTED A MINIMUM OF ONE HALF THEIR ON
- ALL PLANT MATERIAL SHALL BE HEALTHY NURSERY STOCK, WELL BRANCHED AND ROOTED, FULL FOLIAGE, FREE FROM INSECTS, DISEASES, WEEDS, WEED ROT, INJURIES AND DEFECTS WITH NO LESS THAN MINIMUMS SPECIFIED IN AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1-2004.
- TREES IN THE RIGHT OF WAY SHALL BE TALL ENOUGH TO BE LIMBED UP TO AT LEAST 8 FT ABOVE DRIVE SURFACE GRADE WHILE MAINTAINING ENOUGH BRANCHES TO SUPPORT HEALTHY GROWTH.
- 5. DO NOT PLANT TREES ABOVE WATERLINES, UTILITIES, OR OTHER UNDERGROUND PIPING.
- IF DISTURBANCE IS NECESSARY AROUND EXISTING TREES, CONTRACTOR SHALL PROTECT THE CROWN AND ALL WORK WITHIN THE TREE DRIPZONE
- SHALL BE LIMITED TO THE USE OF HAND TOOLS AND MANUAL EQUIPMENT ONLY REPLACE, REPAIR AND RESTORE DISTURBED LANDSCAPE AREAS DUE TO GRADING, TRENCHING OR OTHER REASONS TO PRE-CONSTRUCTION CONDITION AND PROVIDE MATERIAL APPROVED BY THE OWNER AND OWNER'S
- REPRESENTATIVE. EXISTING AREAS PROPOSED FOR NEW PLANT MATERIAL SHALL BE CLEARED
- AND LEGALLY DISPOSED UNLESS SO NOTED. 9. A SOILS ANALYSIS, BY AN INDEPENDENT SOILS TESTING LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE, SHALL BE USED TO RECOMMEND AN APPROPRIATE PLANTING SOIL AND/OR SPECIFIED SOIL
- AMENDMENTS. 10. TOPSOIL SHALL BE AMENDED AS RECOMMENDED BY AN INDEPENDENT SOILS
- 11. ALL LANDSCAPED AREAS SHALL BE COVERED BY A LAYER OF ORGANIC MULCH TO A MINIMUM DEPTH OF 2-INCHES.

TESTING LABORATORY AND AS OUTLINED IN THE SPECIFICATION.

- UNLESS OTHERWISE INDICATED, ALL NEW LANDSCAPE AREAS TO BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. PROVIDE LOOP SYSTEM FOR OPTIMUM EFFICIENCY.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS (IRRIGATION PLANS) TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. DRAWINGS TO INDICATE HEAD TYPE, GALLONS PER MINUTE, LATERAL LINES, AND BE AT MINIMUM SCALE
- 3. CONTRACTOR TO DETERMINE STATIC WATER PRESSURE AT THE P.O.C. PRIOR TO PREPARING SHOP DRAWINGS.
- CONTRACTOR SHALL ESTABLISH MINIMUM PRESSURE AND MAXIMUM DEMAND REQUIREMENTS FOR IRRIGATION SYSTEM DESIGN, AND PROVIDE INFORMATION IN AN IRRIGATION SCHEDULE.
- IRRIGATION SYSTEM AS DESIGNED AND INSTALLED SHALL PERFORM WITHIN THE TOLERANCES AND SPECIFICATIONS OF THE SPECIFIED MANUFACTURERS
- SYSTEM SHALL BE DESIGNED TO SUPPLY MANUFACTURER'S SPECIFIED MINIMUM OPERATING PRESSURE TO FARTHEST EMITTER FROM WATER METER. SYSTEM SHALL PROVIDE HEAD TO HEAD COVERAGE WITHOUT OVERSPRAY
- NON-VEGETATED SURFACES. ALL IRRIGATION PIPE MATERIAL AND INSTALLATION SHALL CONFORM TO

ONTO BUILDING, FENCES, SIDEWALKS, PARKING AREAS, OR OTHER

- APPLICABLE CODE FOR PIPING AND COMPONENT REQUIREMENTS. PROVIDE SLEEVING AT ALL AREAS WHERE PIPE TRAVELS UNDER CONCRETE OR HARD SURFACING.
- 10. VALVES SHALL BE WIRED AND INSTALLED PER MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES AND CONNECTED TO THE RRIGATION CONTROLLER.
- REFER TO CIVIL DETAILS AND DETAILS ON L5.11 FOR POINT OF CONNECTION AND BACKFLOW PREVENTION INFORMATION.
- 12. MAINLINE LAYOUT IS DIAGRAMMATIC ONLY.
- 13. CONTROLLER TO BE MOUNTED WITHIN BUILDING INTERIOR. GENERAL CONTRACTOR TO COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE. ZONE THE FOLLOWING AREAS SEPARATELY: TEMPORARY AREAS, PERMANENT
- LANDSCAPE AREAS, AND TREES. 15. QUICK COUPLERS TO BE PLACED EVERY 300 LINEAR FEET MAX.
- 16. IRRIGATION SHALL BE WINTERIZED THROUGH LOW PRESSURE, HIGH VOLUME AIR BLOWOUT CONNECTION THROUGH QUICK COUPLER.
- 17. THE SYSTEM SHALL BE GRAVITY DRAINED. THE CONTRACTOR SHALL PROVIDE APPROPRIATE MANUAL DRAINS AT LOW POINTS.

DRAWN BY: SKA, JW7

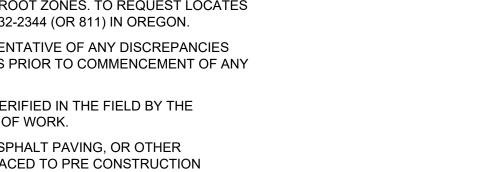
SHEET TITLE:

**GENERAL** 

**LANDSCAPE** 

L0.01

2200502.04



Project

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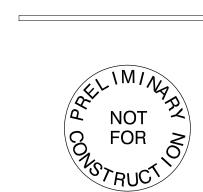
**DELTA LOGISTICS** 

WILSONVILLE, OR

CIRCLE

97070

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## STORMWATER FACILITY PLANT SCHEDULES

PER CITY OF WILSONVILLE STORMWATER AND SURFACE WATER DESIGN & CONSTRUCTION STANDARDS - SECTION 3 - PUBLIC WORKS STANDARDS (2015)

LANDSCAPE PLAN FACILITY AREA CALCULATIONS INCLUDE TOP OF FREEBOARD. CIVIL PLAN FACILITY AREA CALCULATIONS REPORT TO TOP OF OVERFLOW INLET, EXCLUDING THE 4"

PROVIDE AT LEAST 50% EVERGREEN PLANTS AND AT LEAST 2 SPECIES OF HERBACEOUS AND SMALL SHRUBS/GROUNDCOVER PLANT COMMUNITIES.

MOIST (ZONE A) VEGETATION TYPE	QUANTITY	SIZE
GROUNDCOVER PLANTS	115/100 SF	#1 CONTAINER
SMALL SHRUBS	3/100 SF	#1 CONTAINER
LARGE SHRUBS / SMALL TREES	4/100 SF	30" HEIGHT
DRY (ZONE B) VEGETATION TYPE	QUANTITY	SIZE
GROUNDCOVER PLANTS	115/100 SF	#1 CONTAINER
SMALL SHRUBS	3/100 SF	#1 CONTAINER
LARGE SHRUBS / SMALL TREES	4/100 SF	30" HEIGHT
TREE (DECIDUOUS) OR	1/100 SF	1' CALIPER
TREE (EVERGREEN)	1/100 SF	6' HEIGHT

PLANT LIST				F		TIES A /ATE)	-B
				А		В	
PLANT NAME	SIZE	SPACING	EVER- GREEN	ZONE A	ZONE B	ZONE A	ZONE B
				9,299 SF	3,454 SF	1,264 SF	2,233 SF
REQUIRED GROUND COVER PLANTS (115 PER 100 SF)	10,693	3,972	1454	2568			
ARCTOSTAPHYLOS UVA-URSI / KINNIKINNICK	#1	12" OC	YES		2,000		1,000
CAREX DENSA / DENSE SEDGE	#1	12" OC	YES	3,500		840	
CAREX OBNUPTA / SLOUGH SEDGE	#1	12" OC	YES	3,500			784
JUNCUS PATENS / SPREADING RUSH	#1	12" OC	YES	3,693	1,972	614	784
REQUIRED SMALL SHRUBS (3 PER 100 SF)				279	104	38	67
CORNUS SERCIA / RED TWIG DOGWOOD	#2	AS SHOWN	NO	10		9	6
MAHONIA AQUIFOLIUM / OREGON GRAPE	#2	AS SHOWN	YES	150	2	14	20
PHYSOCARPUS CAPITATUS / PACIFIC NINEBARK	#2	AS SHOWN	NO				
ROSA PISOCARPA	#2	AS SHOWN	NO	121	14	19	20
SYMPHORICARPOS ALBUS / SNOWBERRY	#1	AS SHOWN	NO		114		110
REQUIRED LARGE SHRUBS / SMALL TREES (4 PER 100 SF)				372	138	51	89
HOLODISCUS DISCOLOR / OCEANSPRAY	30" HT	AS SHOWN	NO	66	28	8	8
RIBES SANGUINEUM / RED FLOWERING CURRANT	30" HT	AS SHOWN	NO	73	10		7
RUBUS SPECTABILIS / SALMONBERRY	30" HT	AS SHOWN	NO	10	10		
SPIREA DOUGLASII / WESTERN SPIREA	30" HT	AS SHOWN	NO	223	66	31	10
REQUIRED TREES (1 PER 100 SF)				0	33	0	22
CORNUS NUTTALII / EDDIE'S WHITE WONDER DOGWOOD	2" CAL	AS SHOWN	NO	12			7
FRAXINUS LATIFOLIA / OREGON ASH	2" CAL	AS SHOWN	NO				6
RHAMNUS PURSHIANA	2" CAL	AS SHOWN	NO	22			
		AL PLANTS IN			,753		746
		AL EVERGREEN EVERGREEN IN			.9%		588  .2%

PLANT LIST					
			С	D	
SIZE	SPACING	EVER- GREEN	ZONE A	ZONE A	
			1,025 SF	162 SF	
			1,179	187	
#1	12" OC	YES	786	93	
#1	12" OC	YES	393	94	
			31	5	
#1	AS SHOWN	NO	15	2	
#1	AS SHOWN	NO	20	3	
REQUIRED SMALL SHRUB IN LIEU OF LARGE SHRUB (4 PER 100 SF)					
#1	AS SHOWN	NO	47	7	
#1	AS SHOWN	NO			
	TOTAL PLANTS II	N FACILITY	1,252	199	
	#1 #1 #1 #00 SF) #1 #1	#1 12" OC #1 12" OC  #1 AS SHOWN #1 AS SHOWN  #1 AS SHOWN  #1 AS SHOWN  #1 AS SHOWN	#1 12" OC YES  #1 12" OC YES  #1 AS SHOWN NO  #1 AS SHOWN NO  #1 AS SHOWN NO	SIZE   SPACING   EVER-GREEN   ZONE A   1,025 SF   1,179	

TOTAL EVERGREEN PLANTS

% EVERGREEN IN FACILITY

1,179

94.2%

187

93.9%

# BUILDING TAPMAN CREEK

# STORMWATER KEY MAP

## STORMWATER FACILITY PLANTING NOTES

- 1. PLANTING SCHEDULE: CONTAINERIZED STOCK SHALL BE INSTALLED ONLY FROM FEBRUARY 1 THROUGH MAY 1 AND OCTOBER 1 THROUGH NOVEMBER 15. BARE ROOT STOCK SHALL BE INSTALLED ONLY FROM DECEMBER 15 THROUGH APRIL 15. SEEDING SHALL OCCUR ONLY BETWEEN MARCH 1 THROUGH MAY 15 AND SEPTEMBER 1 THROUGH OCTOBER 15.
- 2. EROSION CONTROL: GRADING, SOIL PREPARATION, AND SEEDING SHALL BE PERFORMED DURING OPTIMAL WEATHER CONDITIONS AND AT LOW FLOW LEVELS TO MINIMIZE SEDIMENT IMPACTS. BIODEGRADABLE FABRICS SUCH AS BURLAP MAY BE USED TO SECURE PLANT PLUGS IN PLACE AND TO DISCOURAGE FLOATING UPON INUNDATION. NO PLASTIC MESH THAT CAN ENTANGLE WILDLIFE IS PERMITTED.
- GROWING MEDIUM INSTALLATION:

PLANT SCHEDULE

ACCENT TREES

PRIMARY TREES

 $\prec$  •  $\succ$ 

STORMWATER TREES

STREET TREES

SHRUBS

+}

\*\*

£ 222

- 3.1. PROTECT GROWING MEDIUM FROM ALL SOURCES OF CONTAMINATION. INCLUDING WEED SEEDS, WHILE AT THE SUPPLIER, IN CONVEYANCE, AND AT THE PROJECT SITE.
- PLACE MEDIUM IN LOOSE LIFTS, NOT TO EXCEED 8-INCHES AND EACH LIFT SHALL BE COMPACTED WITH A WATER-FILLED LANDSCAPE ROLLER. THE MATERIAL SHALL NOT OTHERWISE BE MECHANICALLY COMPACTED.
- WEATHER PERMITTING, PLANTS SHALL BE INSTALLED AS SOON AS POSSIBLE AFTER PLACING AND GRADING THE GROWING MEDIUM IN ORDER TO MINIMIZE EROSION AND FURTHER COMPACTION.

BOTANICAL / COMMON NAME

STARLIGHT KOUSA DOGWOOD

BOTANICAL / COMMON NAME

PINUS PONDEROSA

PSEUDOTSUGA MENZIESII

QUERCUS GARRYANA

OREGON WHITE OAK

PONDEROSA PINE

DOUGLAS FIR

CONDARY TREES BOTANICAL / COMMON NAME

MARSHALL'S SEEDLESS GREEN ASH

ZELKOVA SERRATA 'GREEN VASE'

GREEN VASE SAWLEAF ZELKOVA

CALOCEDRUS DECURRENS

TILIA TOMENTOSA 'STERLING'

BOTANICAL / COMMON NAME

CORNUS X 'EDDIE'S WHITE WONDER'

EDDIE'S WHITE WONDER DOGWOOD

STERLING SILVER LINDEN

ULMUS X 'FRONTIER'

FRAXINUS LATIFOLIA

RHAMNUS PURSHIANA

CASCARA BUCKTHORN

BOTANICAL / COMMON NAME

ROCKY MOUNTAIN GLOW MAPLE

CORNUS KOUSA 'MILKY WAY'

MILKY WAY KOUSA DOGWOOD

RUBY VASE PERSIAN PARROTIA

BOTANICAL / COMMON NAME

ARBUTUS UNEDO 'COMPACTA'

DWARF STRAWBERRY TREE

CORNUS SERICEA 'KELSEYI'

DEUTZIA GRACILIS 'NIKKO'

SLENDER DEUTZIA

GAULTHERIA SHALLON

MAHONIA AQUIFOLIUM

COMPACT OREGON GRAPE

RED FLOWERING CURRANT

SYMPHORICARPOS ALBUS

SPIRAEA BETULIFOLIA 'TOR'

MYRICA CALIFORNICA

PACIFIC WAX MYRTLE

RIBES SANGUINEUM

BIRCHLEAF SPIREA

MATURE (3' X 3')

(3' H X 5' W)

OREGON GRAPE

SALAL

KELSEYI DWARF REDTWIG DOGWOOD

MAHONIA AQUIFOLIUM 'COMPACTA'

ACER GRANDIDENTATUM 'SCHMIDT' TM

PARROTIA PERSICA 'INGE'S RUBY VASE' TM

OREGON ASH

FRONTIER ELM

INCENSE CEDAR

AMELANCHIER ALNIFOLIA 'AUTUMN BRILLIANCE'

FRAXINUS PENNSYLVANICA 'MARSHALL'S SEEDLESS'

CORNUS KOUSA X NUTTALLII 'KN4-43'

ACER RUBRUM 'BOWHALL'

BOWHALL RED MAPLE

*SER VICEBERRY* 

SINGLE STEM

- 3.4. TEMPORARY EROSION CONTROL MEASURES ARE REQUIRED UNTIL PERMANENT STABILIZATION MEASURES ARE FUNCTIONAL, INCLUDING PROTECTION OF OVERFLOW STRUCTURES.
- 3.5. IN ALL CASES, THE FACILITY MUST BE PROTECTED FROM FOOT AND EQUIPMENT TRAFFIC THAT IS UNRELATED TO THE CONSTRUCTION OF THE 6. FACILITY. TEMPORARY FENCING OR WALKWAYS SHOULD BE INSTALLED AS NEEDED TO KEEP WORKERS, PEDESTRIANS, AND EQUIPMENT OUT OF THE FACILITY. UNDER NO CIRCUMSTANCES SHOULD MATERIALS AND EQUIPMENT BE STORED IN THE FACILITY.
- STORMWATER MANAGEMENT FACILITIES SHALL BE KEPT CLEAN AND SHALL NOT BE USED AS EROSION AND SEDIMENT CONTROL STRUCTURES DURING CONSTRUCTION.
- 3.7. PLACEMENT OF THE GROWING MEDIUM WILL NOT BE ALLOWED WHEN THE 8. GROUND IS FROZEN OR SATURATED OR WHEN THE WEATHER IS DETERMINED TO BE TOO WET.
- MULCHING FOR STORMWATER FACILITIES SHALL BE PER SECTION A.3.7. USE OF MULCH IN FREQUENTLY INUNDATED AREAS SHALL BE LIMITIED TO AVOID ANY POSSIBLE WATER QUALITY IMPACTS INCLUDING THE LEACHING OF TANNINS AND NUTRIENTS, ANFD THE MIGRATION OF MULCH INTO WATER WAYS. MULCHES SHALL BE STABLE AND INERT MATTER OF SUFFICIENT MASS AND DENSITY THAT IT WLL NOT FLOAT IN STANDARD FLOWS, MULCH COVER SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE FACILITY WITH MINIMUM THICKNESS OF 2-INCHES IN DEPTH.

PERENNIALS

STORMWATER SHRUBS

GROUND COVERS

2" CAL. B&B

2" CAL. B&B

2" CAL. B&B

2" CAL. B&B

12' HT. MIN. B&B

12' HT. MIN. B&B

1*2" CAL. B&B* 

2" CAL. B&B

12' HT. MIN. B&B

|2" CAL. B&B

2" CAL. B&B

2" CAL. B&B

2" CAL. B&B

2" CAL., B&B

3" CAL. B&B

3" CAL. B&B

3" CAL. B&B

SPACING

72" o.c.

24" o.c.

72" o.c.

30" o.c.

SIZE

5 GAL.

2 GAL.

2 GAL.

2 GAL.

5 GAL.

2 GAL.

2 GAL.

2 GAL.

2 GAL.

2 GAL.

SIZE

SIZE

- 5. PLANT PROTECTION FROM WILDLIFE: DEPENDING ON SITE CONDITIONS, APPROPRIATE MEASURES SHALL BE TAKEN TO LIMIT WILDLIFE-RELATED DAMAGE. IF BEAVERS OR NUTRIA ARE PRESENT, PROTECT THE MAIN STEM OF ALL TREES WITHIN 100' OF THE EDGE OF WATER WITH 36" OF WIRE MESH.
- FERTILIZER SHOULD GENERALLY BE AVOIDED IN STORMWATER FACILITIES. FERTILIZE ALL PLANTS DURING ESTABLISHMENT AS NEEDED WITH SLOW RELEASE, ORGANIC (LOW YIELD) MATERIAL.
- IRRIGATION: A CITY APPROVED IRRIGATION SYSTEM MAY BE USED DURING THE 2-YEAR ESTABLISHMENT PERIOD. WATERING SHALL BE AT A RATE TO MAINTAIN ALL PLANTINGS IN A HEALTHY THRIVING CONDITION DURING ESTABLISHMENT. OTHER IRRIGATION TECHNIQUES, SUCH AS DEEP WATERING, MAY BE ALLOWED WITH PRIOR APPROVAL BY THE CITY'S AUTHORIZED REPRESENTATIVE.

| COMMON WHITE SNOWBERRY

EVERGREEN HUCKLEBERRY

VACCINIUM OVATUM 'SCARLET OVATION' SCARLET OVATION EVERGREEN HUCKLEBERRY

VIBURNUM TINUS 'SPRING BOUQUET'

ACHILLEA MILLIFOLIUM 'ALABASTER'

SPRING BOUQUET LAURUSTINUS

|BOTANICAL / COMMON NAME

VACCINIUM OVATUM

MATURE (3' X 3')

VIBURNUM DAVIDII

DAVID VIBURNUM

MATURE (6'H X 4'W)

ALABASTER YARROW

ASTER SUBSPICATUS

POLYSTICHUM MUNITUM

WESTERN SWORD FERN

PTERIDIUM AQUILINUM

CARADONNA SAGE

CORNUS SERICEA

OCEAN-SPRAY

OREGON GRAPE

RED TWIG DOGWOOD

HOLODISCUS DISCOLOR

MAHONIA AQUIFOLIUM

RIBES SANGUINEUM

ROSA PISOCARPA

CLUSTERED WILD ROSE

RUBUS SPECTABILIS

SALMONBERRY

RED FLOWERING CURRANT

SPIRAEA BETULIFOLIA 'TOR'

TOR BIRCHLEAF SPIREA

(3-4' H X 3' W) NATIVE

SYMPHORICARPOS ALBUS

COMMON WHITE SNOWBERRY

BOTANICAL / COMMON NAME

₿ BLONDE AMBITION BLUE GRAMA

≸BOUTELOUA GRACILIS 'BLONDE AMBITION'

GAGERANIUM X CANTABRIGIENSE 'BIOKOVO'

#PROTIME 402 NATIVE RIPARIAN MIX

SEED MIX NATIVE POLLINATOR MEADOW MIX

SPIRAEA DOUGLASII

WESTERN SPIREA

QUARTER-TEN

FESTUCA OCCIDENTALIS

WESTERN FESCUE GRASS

BIOKOVO CRANESBILL

MAHONIA REPENS

PROTIME SEEDS

SUNMARK SEEDS

CAREX DENSA

DENSE SEDGE

SEED MIX NATIVE UPLANDS MEADOW MIX

CREEPING MAHONIA

ARCTOSTAPHYLOS UVA-URSI

A John Stand of the John of the KINNIKINNICK

CRUSHED GRAVEL

SUNMARK SEEDS

|STORMWATER PLANTING |BOTANICAL / COMMON NAME

+++++++++++CAREX OBNUPTA

+'+'+'+'+'+'+'+'+'+'+| SLOUGH SEDGE

WESTERN BRACKENFERN

SALVIA X SUPERBA 'CARADONNA'

BOTANICAL / COMMON NAME

DOUGLAS ASTER

(3' H X 3' W)

MAINTENANCE: CHECK FOR WEEDS REGULARLY. CHECK MULCH REGULARLY AND MAINTAIN EVEN COVERAGE. REPLANT BARE PATCHES AS NECESSARY TO COMPLY WITH THE FACILITY'S COVERAGE REQUIREMENTS AND MAINTENANCE PLAN. IMPLEMENT ALL OF THE REQUIRED MAINTENANCE ACTIVITIES LISTED IN THE CITY OF WILSONVILLE VEGETATED STORMWATER MANAGEMENT FACILITY DETAILS.

? GAL.

2 GAL.

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2 GAL.

2 GAL.

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? GAL.

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2 GAL.

2 GAL.

GAL.

GAL.

GAL.

GAL.

GAL.

SIZE

GAL.

GAL.

LB / 1000 SF

LB / 1000 SF

LB / 1000 SF

SIZE

36" o.c.

136" o.c.

48" o.c.

SPACING

18" o.c.

24" o.c.

24" o.c.

24" o.c.

24" o.c.

SPACING

136" o.c.

48" o.c.

36" o.c.

50" o.c.

30" o.c.

48" o.c.

36" o.c.

SPACING

24" o.c.

24" o.c.

18" o.c.

24" o.c.

24" o.c.

SPACING

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NOT FOR MACKENZIE 2022



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	REVISION SCHEDULE						
Delta	Issued As	Issue Date					
SHEET	TITLE:						
PI .	ANT						

**SCHEDULES STORMWATER** 

L0.02

2200502.04

## TREE PROTECTION NOTES

- SEE G0.01 FOR PROJECT ARBORIST CONTACT INFORMATION.
- PROTECTION FENCING: ESTABLISH TREE PROTECTION FENCING IN THE LOCATIONS SHOWN. THE INTENT OF THE TREE PROTECTION FENCING IS TO PROTECT THE MINIMUM ROOT PROTECTION ZONES DETAILED IN FIGURE 1. NOTE THAT THE TREE PROTECTION FENCING MAY BE MOVED TO ALLOW CONSTRUCTION ACCESS TO THE SIDE OF THE PROPOSED BUILDING FOLLOWING APPROVAL BY THE PROJECT ARBORIST.
- 2. DIRECTIONAL FELLING FELL THE TREES TO BE REMOVED AWAY FROM THE TREES TO BE RETAINED SO THEY DO NOT CONTACT OR OTHERWISE DAMAGE THE TRUNKS OR BRANCHES OF THE RETAINED TREES. NO VEHICLES OR HEAVY EQUIPMENT SHOULD BE PERMITTED WITHIN THE TREE PROTECTION ZONES
- DURING TREE REMOVAL OPERATIONS. 3. STUMP REMOVAL - THE STUMPS OF THE TREES TO BE REMOVED FROM WITHIN THE TREE PROTECTION ZONES SHALL BE RETAINED OR CAREFULLY STUMP
- GROUND SO AS NOT TO DISTURB THE ROOT SYSTEMS OF THE RETAINED TREES. 4. PERIODIC RISK ASSESSMENTS: CONDUCT RISK ASSESSMENTS PERIODICALLY THROUGHOUT CONSTRUCTION TO DOCUMENT WHETHER TREES ARE ADAPTING TO THE NEW SITE CONDITIONS AND RISKS ARE MITIGATED APPROPRIATELY WITH CITY APPROVAL. THE RETAINED TREES WERE PREVIOUSLY PROTECTED WITHIN A STAND OF SURROUNDING TREES. THE REMOVAL OF ADJACENT TREES WILL EXPOSE THE RETAINED TREES TO CHANGES IN WIND FORCES WHICH WILL INCREASE THEIR RISK OF WINDTHROW. THE PROJECT ARBORIST SHALL CONDUCT A TREE RISK ASSESSMENT IMMEDIATELY FOLLOWING SITE CLEARING TO IDENTIFY TREES THAT POSE SIGNIFICANT RISKS. FOR TREES THAT POSE SIGNIFICANT RISKS, CONSULT PROJECT ARBORIST FOR RETENTION STRATEGIES, SUCH AS PRUNING OR SNAG CREATION. ANY RECOMMENDED TREE REMOVAL OR SNAG CREATION REQUIRES REVIEW AND APPROVAL OF THE CITY OF
- WILSONVILLE. 5. CONSTRUCTION ACCESS: WHEN ACCESSING THE SIDES OF THE BUILDING IN THE MODIFIED TREE PROTECTION ZONE, SOIL COMPACTION PREVENTION SUCH AS THE PLACEMENT OF STEEL PLATES IS REQUIRED TO PROTECT THE ROOT ZONES b. OF THE ADJACENT TREES.
- 6. ONSITE SUPERVISION OF PROJECT ARBORIST: THE PROJECT ARBORIST SHALL BE ONSITE TO OVERSEE THE RETAINING WALL EXCAVATION AND FOUNDATION CONSTRUCTION WITHIN AND ADJACENT TO THE TREE PROTECTION ZONES OF TREES PERIMETER TREES.

- 7. PROTECT CROWNS OF TREES: THE CROWNS OF THE TREES MAY EXTEND BEYOND THE TREE PROTECTION FENCING. CARE WILL NEED TO BE TAKEN TO NOT CONTACT OR OTHERWISE DAMAGE THE CROWNS OF THE TREES DURING CONSTRUCTION ACTIVITIES. ANY REQUIRED PRUNING SHALL BE COMPLETED BY AN ISA CERTIFIED ARBORIST CONSISTENT WITH ANSI A300 PRUNING STANDARDS 2. SIGNAGE
- AS DIRECTED BY THE PROJECT ARBORIST. SEDIMENT FENCING: SEDIMENT FENCING SHALL BE INSTALLED OUTSIDE THE PROTECTION ZONES OF THE TREES TO BE RETAINED TO MINIMIZE ROOT DISTURBANCES. IF EROSION CONTROL IS REQUIRED INSIDE THE ROOT ZONES,

## BEFORE CONSTRUCTION BEGINS

NOTIFY ALL CONTRACTORS OF TREE PROTECTION PROCEDURES. FOR SUCCESSFUL TREE PROTECTION ON A CONSTRUCTION SITE, ALL CONTRACTORS MUST KNOW AND UNDERSTAND THE GOALS OF TREE PROTECTION.

STRAW WATTLES SHALL BE USED ON THE SOIL SURFACE.

HOLD A TREE PROTECTION MEETING WITH ALL CONTRACTORS TO EXPLAIN THE GOALS OF TREE PROTECTION.

HAVE ALL CONTRACTORS SIGN MEMORANDA OF UNDERSTANDING REGARDING THE GOALS OF TREE PROTECTION. THE MEMORANDA SHOULD INCLUDE A PENALTY FOR VIOLATING THE TREE PROTECTION PLAN. THE PENALTY SHOULD EQUAL THE RESULTING FINES ISSUED BY THE LOCAL JURISDICTION PLUS THE APPRAISED VALUE OF THE TREE(S) WITHIN THE VIOLATED TREE PROTECTION ZONE PER THE CURRENT TRUNK FORMULA METHOD AS OUTLINED IN THE CURRENT EDITION OF THE 'GUILD FOR PLANT APPRAISAL' BY THE COUNCIL OF TREE AND LANDSCAPE APPRAISERS. THE PENALTY SHOULD BE PAID TO THE OWNER OF THE PROPERTY.

## **FENCING**

- TREE PROTECTION FENCING MAY BE SET AS SHOWN ON THE TREE PLAN.
- THE FENCING SHOULD BE PUT IN PLACE BEFORE THE GROUND IS CLEARED TO PROTECT THE TREES AND THE SOIL AROUND THE TREE FROM DISTURBANCES.
- FENCING SHOULD CONSIST OF 4-FOOT HIGH STEEL FENCING ON CONCRETE BLOCKS OR OTHER ANCHORING DEVICES, OR 4-FOOT METAL FENCING SECURED TO THE GROUND WITH 6-FOOT METAL POSTS TO PREVENT IT FROM BEING MOVED BY CONTRACTORS, SAGGING, OR FALLING DOWN.

- FENCING SHOULD REMAIN IN THE POSITION THAT IS ESTABLISHED BY THE PROJECT ARBORIST AND NOT BE MOVED WITHOUT APPROVAL FROM THE PROJECT ARBORIST UNTIL FINAL PROJECT APPROVAL.
- a. ALL TREE PROTECTION FENCING SHOULD HAVE SIGNAGE AS FOLLOWS SO THAT 2. ALL CONTRACTORS UNDERSTAND THE PURPOSE OF THE FENCING:

## TREE PROTECTION ZONE

DO NOT REMOVE OR ADJUST THE LOCATION OF THIS TREE PROTECTION FENCING. UNAUTHORIZED ENCROACHMENT MAY RESULT IN FINES. Please contact the project arborist if alterations to the location of the tree protection fencing are

## Project Arborist: Teregan & Associates, Inc. (503) 697-1975

## SIGNAGE SHOULD BE PLACED EVERY 75-FEET OR LESS.

## DURING CONSTRUCTION

PROTECTION ZONES.

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VEGETATION

PROTECTION AREA

**SW DAY RD** 

- 1. PROTECTION GUIDELINES WITHIN THE TREE PROTECTION ZONES:
- NO NEW BUILDINGS; GRADE CHANGES OR CUT AND FILL, DURING OR AFTER CONSTRUCTION; NEW IMPERVIOUS SURFACES; OR UTILITY OR DRAINAGE FILED PLACEMENT SHOULD BE ALLOWED WITHIN THE TREE PROTECTION ZONES.
- NO TRAFFIC SHOULD BE ALLOWED WITHIN THE TREE PROTECTION ZONES. THIS INCLUDES BUT IS NOT LIMITED TO VEHICLE, HEAVY EQUIPMENT, OR EVEN REPEATED FOOT TRAFFIC.
- NO STORAGE OF MATERIALS INCLUDING BUT NOT LIMITED TO SOIL, ON STRUCTION MATERIALS, OR WASTE FROM THE SITE SHOULD BE PERMITTED WITHIN THE TREE PROTECTION ZONES. WASTE INCLUDES BUT IS NOT LIMITED TO CONCRETE WASH OUT, GASOLINE, DIESEL, PAINT, CLEANER, THINNERS, ETC. d. CONSTRUCTION TRAILERS SHOULD NOT BE PARKED/PLACED WITHIN THE TREE

PROTECTION ZONES. NO OTHER ACTIVITIES SHOULD BE ALLOWED THAT WILL CAUSE SOIL

NO VEHICLES SHOULD BE ALLOWED TO PARK WITHIN THE TREE

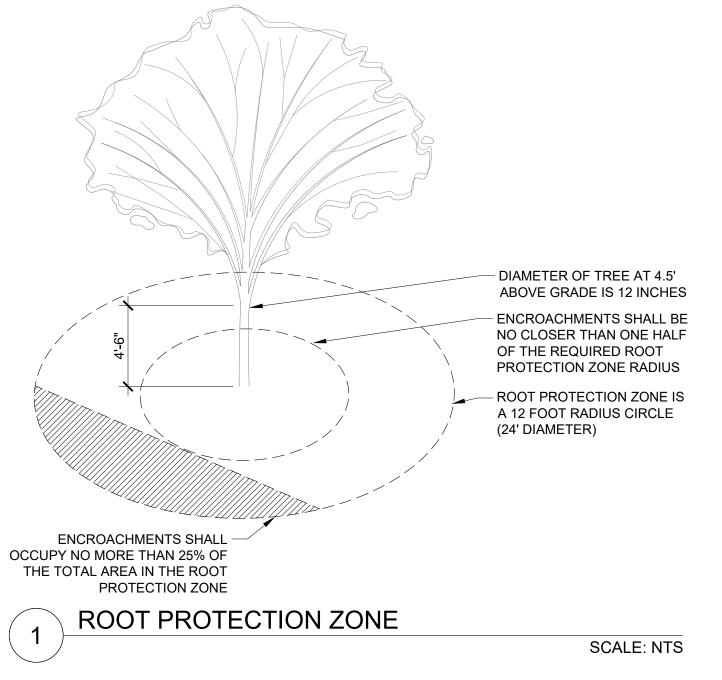
- COMPACTIONS WITHIN THE TREE PROTECTION ZONES. THE TREES SHOULD BE PROTECTED FROM ANY CUTTING, SKINNING, OR
- BREAKING OF BRANCHES, TRUNKS OR WOODY ROOTS. 3. THE PROJECT ARBORIST SHOULD BE NOTIFIED PRIOR TO THE CUTTING OF WOODY ROOTS FROM TREES THAT ARE TO BE RETAINED TO EVALUATE AND OVERSEE THE PROPER CUTTING OF ROOTS WITH SHARP CUTTING TOOLS. CUT ROOTS SHOULD BE IMMEDIATELY COVERED WITH SOIL OR MULCH TO PREVENT
- THEM FROM DRYING OUT. 4. TREES THAT HAVE WOODY ROOTS CUT SHOULD BE PROVIDED SUPPLEMENTAL
- WATER DURING THE SUMMER MONTHS. 5. ANY NECESSARY PASSAGE OF UTILITIES WITHIN THE TREE PROTECTION ZONES SHOULD BE BY MEANS OF TUNNELING UNDER WOODY ROOTS BY HAND DIGGING
- OR BORING WITH OVERSIGHT BY THE PROJECT ARBORIST. 6. ANY DEVIATION FROM THE RECOMMENDATIONS IN THIS SECTION SHOULD RECEIVE PRIOR APPROVAL FROM THE PROJECT ARBORIST.

## AFTER CONSTRUCTION

- 1. CAREFULLY LANDSCAPE THE AREAS WITHIN THE TREE PROTECTION ZONES. DO NOT ALLOW TRENCHING FOR IRRIGATION OR OTHER UTILITIES WITHIN THE TREE
- PROTECTION ZONES. 2. CAREFULLY PLANT NEW PLANTS WITHIN THE TREE PROTECTION ZONES. AVOID CUTTING THE WOODY ROOTS OF TREES THAT ARE RETAINED. 3. DO NOT INSTALL PERMANENT IRRIGATION WITHIN THE TREE PROTECTION ZONES
- UNLESS IT IS DRIP IRRIGATION TO SUPPORT A SPECIFIC PLANTING OR THE IRRIGATION IS APPROVED BY THE PROJECT ARBORIST. 4. PROVIDE ADEQUATE DRAINAGE WITHIN THE TREE PROTECTION ZONES AND DO
- NOT ALTER SOIL HYDROLOGY SIGNIFICANTLY FROM EXISTING CONDITIONS FOR THE TREES TO BE RETAINED. 5. PROVIDE FOR THE ONGOING INSPECTION AND TREATMENT OF INSECT AND

/ 1 1

- DISEASE POPULATIONS THAT CAN DAMAGE THE RETAINED TREES AND PLANTS THE RETAINED TREES MAY NEED TO BE FERTILIZED IF RECOMMENDED BY THE PROJECT ARBORIST.
- 7. ANY DEVIATION FROM THE RECOMMENDATIONS IN THIS SECTION SHOULD RECEIVE PRIOR APPROVAL FROM THE PROJECT ARBORIST



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**DELTA LOGISTICS** 9835 SW COMMERCE CIRCLE WILSONVILLE, OR 97070

**DELTA LOGISTICS** 

SITE EXPANSION

9710 SW DAY RD.

WILSONVILLE, OR

CITY OF

IREE DATA								
ALL TREES (257 TREES)	QTY	RETAIN	REMOVE	MITIGATION				
ON SITE < 6" DBH	200	11	189	189				
PUBLIC < 6" DBH	21	0	21	21				
OFF SITE < 6" DBH	36	36	0	0				
TOTAL	257	47	210	210				

EXISTING	BOTANICAL / COMMON NAME	QTY
The state of the s	DOUGLAS FIR TO REMOVE	190
Manager State of the State of t	DOUGLAS FIR TO REMAIN	5
	ENGLISH HAWTHORN TO REMAIN	1
	OREGON ASH TO REMAIN	3
	STREET TREES TO REMOVE	18
	) SWEET CHERRY TO REMOVE ) _1	2
	WILLOW TO REMAIN	2

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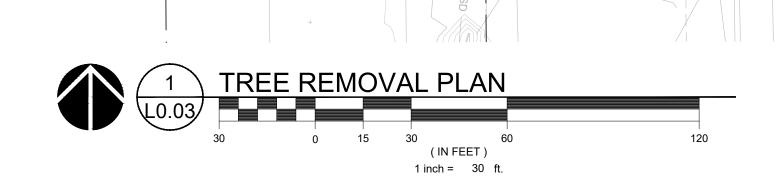
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REVISION SCHEDULE PLAN CHECK 10/07/2022

TREE REMOVAL **PLAN** 

L0.03

2200502.04



TDEE DATA TREE INVENTORY - ON SITE AND PUBLIC

	,		
	BIGLEAF MAPLE TO REMAIN	1	
A STATE OF THE STA	DOUGLAS FIR TO REMAIN	33	
•	OREGON WHITE OAK TO REMAIN	1	
	PACIFIC MADRONE TO REMAIN	1	

MINIMUM CONSTRUCTION

SETBACK RADIUS

MITIGATION REQUIREMENTS REPLACE LIVING TREES 6-INCH IN DBH OR LARGER WITH A 2-INCH CALIPER TREE OR LARGER OF SIMILAR MATURE CANOPY SIZE AND STRUCTURE. TOTAL TREES REQUIRING MITIGATION 210 210 TOTAL 2" CAL. TREES IN PLAN TOTAL TREES REQUIRING FEE IN LIEU  $\mathbf{V}$ TREE CREDITS (SECTION 4.176.06.F) DBH IS 18-24" 3 TREE CREDITS DBH IS 25-31" 4 TREE CREDITS DBH IS 32" OR GREATER 5 TREE CREDITS FOR FULL LIST OF TREES TO BE REMOVED SEE EXHIBIT D ARBORIST'S REPORT. TREES TO BE RETAINED 549 CRATAEGUS MONOGYNA 791 WILLOW / SALIX POOR 1847 DOUGLAS-FIR / PSEUDOTSUGA MENZIESII 22" 0 2072 OREGON ASH / FRAXINUS LATIFOLIA 2073 WILLOW / SALIX 2074 OREGON ASH / FRAXINUS LATIFOLIA POOR

2278 DOUGLAS-FIR / PSEUDOTSUGA MENZIESII 14" 0

2340 DOUGLAS-FIR / PSEUDOTSUGA MENZIESII 22" 0

2366 DOUGLAS-FIR / PSEUDOTSUGA MENZIESII 13" 0

2374 DOUGLAS-FIR / PSEUDOTSUGA MENZIESII 12" 0

2075 OREGON ASH / FRAXINUS LATIFOLIA

**TOTAL TREE CREDITS** 

DEAD

POOR

GOOD

POOR

GOOD

14" 0

0 TREES

EVICTIMO TREE IMVENTARY

<u>EXISTING</u>	<u> 3 TREE INVENTORY</u>	<u>_</u>
EXISTING	BOTANICAL / COMMON NAME	Q
Manufacture of the state of the	DOUGLAS FIR TO REMAIN	5
	ENGLISH HAWTHORN TO REMAIN	1
	OREGON ASH TO REMAIN	3
$\odot$	WILLOW TO REMAIN	2
	EXISTING	DOUGLAS FIR TO REMAIN  ENGLISH HAWTHORN TO REMAIN  OREGON ASH TO REMAIN  WILLOW

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## MACKENZIE.

**DELTA LOGISTICS** 9835 SW COMMERCE CIRCLE WILSONVILLE, OR 97070

**DELTA LOGISTICS** SITE EXPANSION 9710 SW DAY RD. CITY OF WILSONVILLE, OR



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REVISION SCHEDULE Issued As Issue Date PLAN CHECK 10/06/2022 SHEET TITLE:

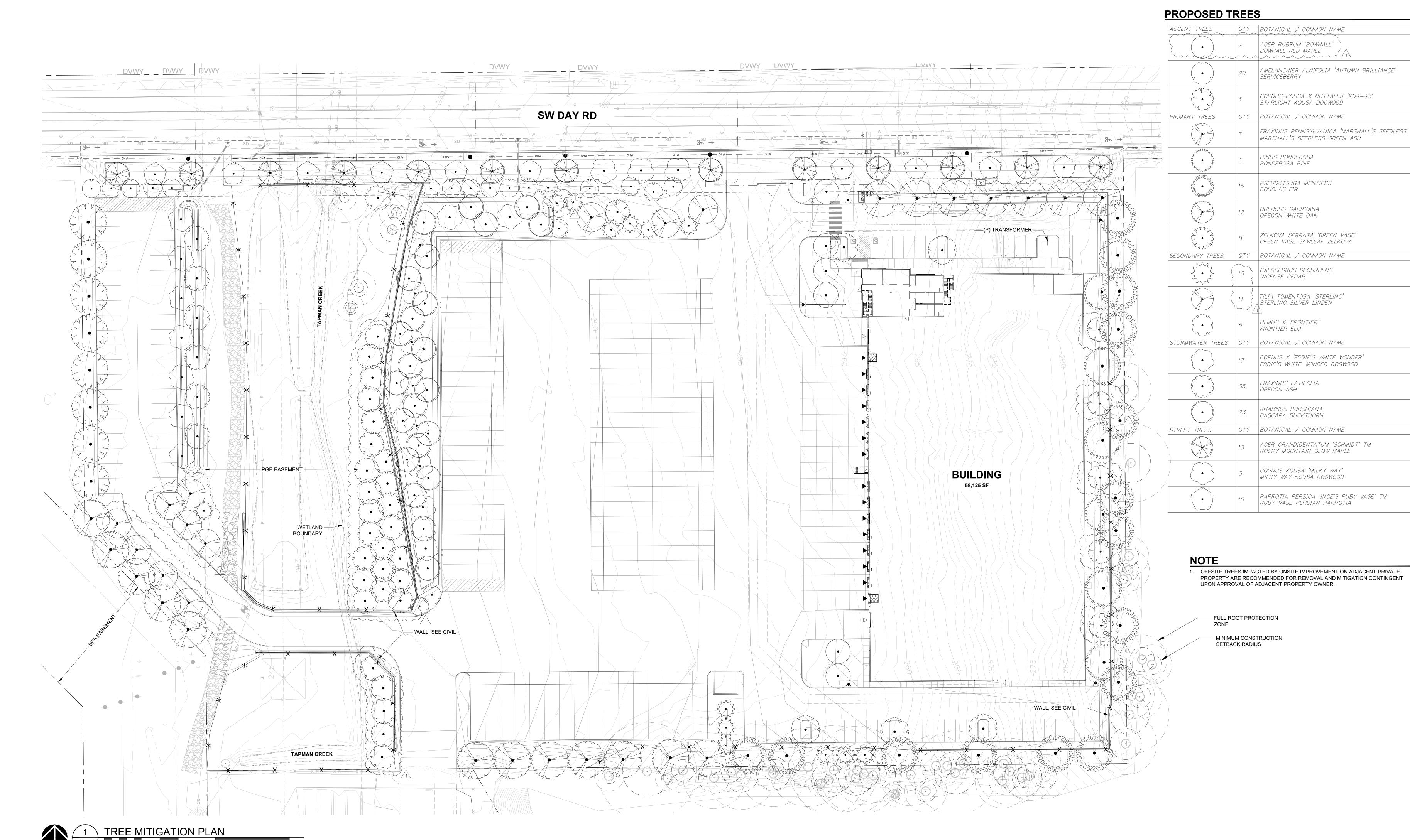
**MITIGATION PLAN** 

DRAWN BY: AEZ, JWT

L0.04

JOB NO. **2200502.04** 





1 inch = 30 ft.

## **MITIGATION PLANTING NOTES**

NOTES PER EXHIBIT C NATURAL RESOURCE ASSESSMENT FOR 9710 SW DAY ROAD PREPARED BY SCHOTT AND ASSOCIATES (2022).

## SITE PREPARATION

PRIOR TO ANY SITE CLEARING, GRADING OR CONSTRUCTION, THE SROZ AREA SHALL BE STAKED AND FENCED PER APPROVED PLAN. DURING CONSTRUCTION, THE SROZ AREA SHALL REMAIN FENCED AND UNDISTURBED EXCEPT AS ALLOWED BY AN APPROVED DEVELOPMENT PERMIT.

## PROPOSED ENCROACHMENTS

ENCROACHMENTS WILL OCCUR IN THE NORTHERN PORTION OF THE VEGETATED CORRIDOR

ENCROACHMENTS ARE PROPOSED TO THE VEGETATED CORRIDOR AND IMPACT AREA.

- FOR THE CITY REQUIRED WIDENING OF SW DAY RD AND IN THE SOUTHERN PORTION FOR THE TAPMAN CREEK CROSSING. THESE AREAS ARE VEGETATED ENTIRELY BY INVASIVE SPECIES INCLUDING HIMALAYAN BLACKBERRY AND REED CANARY GRASS. NO TREES OR NATIVE SPECIES WILL BE REMOVED AS A RESULT OF CONSTRUCTION.
- ENCROACHMENTS WILL OCCUR ON BOTH SIDES OF THE CREEK FOR THE ROAD CROSSING AND ALONG THE EASTERN PORTION OF THE IMPACT AREA FOR THE ROAD WIDENING, CREEK CROSSING, AND CONSTRUCTION OF A VEGETATED WATER QUALITY AND STORMWATER DETENTION FACILITY. NO ENCROACHMENTS TO TAPMAN CREEK OR THE WETLANDS ARE PROPOSED. NO TREES WILL BE REMOVED FROM THE SROZ.
- DEVELOPMENT ACTIVITY HAS BEEN LIMITED TO THE IMPACT AREA WHERE PRACTICAL EXCEPT WHERE NECESSARY TO WIDEN SW DAY ROAD AND CROSS TAPMAN CREEK TO ACCESS THE WESTERN PORTION OF THE SITE.

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TAPMAN CREEK

 $\frac{\mathbf{X}}{\mathbf{X}} = \frac{\mathbf{X}}{\mathbf{X}} = \frac{\mathbf{X}}{\mathbf{X} = \mathbf{X}} = \frac{\mathbf{X}}{\mathbf{X}} = \frac{\mathbf{X}}{\mathbf{X}} = \frac{\mathbf{X}}{\mathbf{X}} = \frac{\mathbf{X$ 

**FACILITY** 

SROZ VEGETATED CORRIDOR PLANTING AREA

WALL, SEE CIVIL

BRIDGE CROSSING

- WALL, SEE CIVIL

MITGATION PLANTING THE MITIGATION PLANTING PLAN WAS DESIGNED ACCORDING SECTION 4.139.07(.02)(E) AND SHALL MEET THE FOLLOWING:

- THE PLANTING PLAN SHALL BE IMPLEMENTED PRIOR TO OR AT THE SAME TIME AS THE IMPACT ACTIVITY IS CONDUCTED.
- ALL TREES, SHRUBS AND GROUND COVER SHALL BE NATIVE VEGETATION.
- TREES AND SHRUBS SHALL BE AT LEAST ONE-GALLON IN SIZE AND SHALL BE AT LEAST TWELVE (12) INCHES IN HEIGHT.
- TREES SHALL BE PLANTED BETWEEN EIGHT (8) AND TWELVE (12) FEET ON CENTER, AND SHRUBS SHALL BE PLANTED BETWEEN FOUR (4) AND FIVE (5) FEET ON CENTER. OR CLUSTERED IN SINGLE SPECIES GROUPS OF NO MORE THAN FOUR (4) PLANTS, WITH EACH CLUSTER PLANTED BETWEEN EIGHT (8) AND TEN (10) FEET ON CENTER. WHEN PLANTING NEAR EXISTING TREES. THE DRIP LINE OF THE EXISTING TREE SHALL BE THE STARTING POINT FOR PLANT SPACING MEASUREMENTS.
- SHRUBS SHALL CONSIST OF AT LEAST TWO (2) DIFFERENT SPECIES. IF FIVE (5) TREES OR MORE ARE PLANTED, THEN NO MORE THAN FIFTY (50) PERCENT OF THE TREES MAY BE OF THE SAME GENUS.
- INVASIVE NON-NATIVE OR NOXIOUS VEGETATION SHALL BE REMOVED WITHIN THE MITIGATION AREA PRIOR TO PLANTING AND SHALL BE REMOVED OR CONTROLLED FOR FIVE (5) YEARS FOLLOWING THE DATE THAT THE MITIGATION PLANTING IS COMPLETED.

**SW DAY RD** 

MITIGATION GOALS AND PERFORMANCE STANDARDS

THE MITIGATION SITE GOAL IS AS FOLLOWS:

ENHANCE 32,890 SQ. FT. OF VEGETATED CORRIDOR TO IMPROVE RIPARIAN CORRIDOR, WATER QUALITY PROTECTION, ECOLOGICAL INTEGRITY AND WILDLIFE HABITAT FUNCTIONS BY REMOVING INVASIVE SPECIES AND MAINTAINING A NATIVE, WOODY-DOMINATED PLANT COMMUNITY.

PERFORMANCE STANDARDS ARE BASED ON METRO'S TITLE 3 WATER QUALITY PERFORMANCE STANDARDS TO PROTECT AND IMPROVE WATER QUALITY AND PROTECT THE FUNCTIONS AND VALUES OF WATER QUALITY RESOURCE AREAS (METRO 2018). THIS PLAN'S PERFORMANCE STANDARDS FOR FOREST AND/OR SHRUB DOMINATED AREAS AND SHALL CONSIST OF THE FOLLOWING:

- ESTABLISHMENT OF PERMANENT MONITORING LOCATIONS DURING THE FIRST ANNUAL MONITORING.
- 2. COVER OF NATIVE HERBACEOUS SPECIES IS AT LEAST 60% 3. COVER OF INVASIVE SPECIES IS NO MORE THAN 10%. AFTER THE SITE HAS MATURED TO THE

MAY BE INCLUDED IN THE COVER OR DENSITY ESTIMATE

- STAGE WHEN DESIRABLE CANOPY SPECIES REACH 50% COVER, THE COVER OF INVASIVE SPECIES MAY INCREASE BUT MAY NOT EXCEED 30%.
- 4. BARE SUBSTRATE REPRESENTS NO MORE THAN 20% COVER. 5. DENSITY OF WOODY VEGETATION IS AT LEAST 1,600 LIVE TREES OR SHRUBS PER ACRE OR THE COVER OF NATIVE WOODY VEGETATION ON SITE IS AT LEAST 50%. NATIVE VOLUNTEER SPECIES
- 6. BY YEAR 3 AND THEREAFTER, AT LEAST 6 DIFFERENT NATIVE SPECIES MUST BE PRESENT. TO QUALIFY, A SPECIES MUST HAVE AT LEAST 5% AVERAGE COVER IN THE HABITAT CLASS AND
- OCCUR IN AT LEAST 10% OF THE PLOTS SAMPLED. 7. BY YEAR 5, A MINIMUM OF EIGHTY (80) PERCENT OF THE TREES AND SHRUBS INITIALLY REQUIRED SHALL REMAIN ALIVE.

MAINTENANCE AND MONITORING

MONITORING WILL OCCUR ANNUALLY OVER A 5-YEAR MONITORING PERIOD TO ASSESS CONDITION OF PLANTINGS, IRRIGATION, MULCH ETC. MONITORING WILL BE CONDUCTED BY QUALIFIED PERSONNEL DURING PEAK GROWING SEASON (JULY-AUGUST). ANNUAL MONITORING REPORTS WILL BE PROVIDED TO THE PLANNING DIRECTOR FOR REVIEW BY DECEMBER OF EACH MONITORING YEAR. THE REPORT SHALL CONTAIN, AT A MINIMUM, PHOTOGRAPHS FROM ESTABLISHED PHOTO POINTS, QUANTITATIVE MEASURE OF SUCCESS CRITERIA, INCLUDING PLANT SURVIVAL AND VIGOR. THE YEAR 1 ANNUAL REPORT SHALL BE SUBMITTED ONE YEAR FOLLOWING MITIGATION ACTION IMPLEMENTATION. THE FINAL ANNUAL REPORT (YEAR 5 REPORT) SHALL DOCUMENT SUCCESSFUL SATISFACTION OF MITIGATION GOALS, AS PER THE STATED PERFORMANCE STANDARDS.

THE APPLICANT WILL BE RESPONSIBLE FOR COORDINATING ONGOING MAINTENANCE AND MANAGEMENT. IF THE OWNERSHIP OF THE MITIGATION SITE PROPERTY CHANGES, THE NEW OWNERS WILL HAVE THE CONTINUED RESPONSIBILITIES MAINTENANCE ACTIVITIES INCLUDING MULCHING, WEED REMOVAL, HERBIVORY CONTROL, AND SUPPLEMENTAL PLANTING WILL BE CONDUCTED BY A QUALIFIED CONTRACTOR AT LEAST TWICE PER GROWING SEASON AND ONCE PRIOR TO THE GROWING SEASON OR MORE FREQUENTLY AS INDICATED BY MONITORING RESULTS ANY FAILED PLANTS WILL BE REPLACED IN-KIND WITH THE CAUSE OF LOSS (WILDLIFE DAMAGE, POOR PLANT STOCK, DROUGHT, WEED OVERGROWTH, ETC.) DOCUMENTED AND ADDITIONAL MAINTENANCE DONE TO ADDRESS THE CAUSE OF LOSS AND ENSURE FUTURE PLANT SURVIVAL

**BUILDING** 

58,125 SF

## MITIGATION PLANT SCHEDULE PER SRIR

$\triangle \triangle \triangle \triangle$	SPECIES	TYPE	MIN SIZE*	SPACING	QTY	TOTA
$\nabla \nabla \nabla$	OREGON ASH	TREE	2-GAL	8'06	9	
$\triangle \triangle \triangle \triangle$	FRAXINUS LATIFOLIA		2 "CAL	15' OC	28	
7 0 0 0	SCOULER'S WILLOW	TREE	2-GAL. OR	8°0C^	37	$/\Lambda$
abla  abl	SALIX SCOULERIANA		BARE ROOT			
$\nabla$ $\nabla$ $\nabla$	WESTERN REDCEDAR	TREE	2 GAL OR	8'OC	60	134
$\wedge \wedge $	THUJA PLICATA		BARE ROOT			TREE
$\bigcirc$ $\bigcirc$ $\bigcirc$	REDOSIER DOGWOOD	SHRUB	1 GAL. OR	5'OC	86	
$\nabla \nabla $	CORNUS STOLONIFERA		BARE ROOT	CLUSTER		
$\nabla \nabla \nabla$	RED ELDERBERRY	SHRUB	1 GAL. OR	5'OC	86	
$\nabla \nabla \nabla$	SAMBUCUS RACEMOSA		BARE ROOT	CLUSTER		
abla  abl	SNOWBERRY	SHRUB	1 GAL. OR	5'OC	86	
$\nabla \nabla \nabla$	SYMPHORICARPOS ALBUS		BARE ROOT	CLUSTER		
$\triangle \triangle \triangle \triangle$	SALMONBERRY	SHRUB	1 GAL. OR	5'OC	86	
abla  abl	RUBUS SPECTABILIS		BARE ROOT	CLUSTER		
$\nabla$	SWAMP ROSE	SHRUB	1 GAL. OR	5'OC	86	
abla  abl	ROSA PISOCARPA		BARE ROOT	CLUSTER		
V V V I	RIPARIAN SHRUB COMMUNIT	Y : 24,263	SQ. FT.		'	
XXX	SPECIES	TYPE	MIN SIZE*	SPACING	QTY	
XXX	REDOSIER DOGWOOD	SHRUB	1 GAL. OR	5'OC	200	
XXX	CORNUS STOLONIFERA		BARE ROOT	CLUSTER		
XXX	RED ELDERBERRY	SHRUB	1 GAL. OR	5'OC	200	
XXX	SAMBUCUS RACEMOSA		BARE ROOT	CLUSTER		
XXX	SNOWBERRY	SHRUB	1 GAL. OR	5'OC	213	
	SYMPHORICARPOS ALBUS		BARE ROOT	CLUSTER		
	SALMONBERRY	SHRUB	1 GAL. OR	5'OC	200	
$\langle \chi \chi \chi \chi \rangle$	RUBUS SPECTABILIS		BARE ROOT	CLUSTER		
$\longleftrightarrow$	SWAMP ROSE	SHRUB	1 GAL. OR	5'OC	200	
$\longleftrightarrow$	ROSA PISOCARPA		BARE ROOT	CLUSTER		
XXX	INDIAN PLUM	SHRUB	1 GAL. OR	5'OC	200	1,643
$\langle \chi \chi \chi \chi \chi \rangle$	OEMLERIA CERASIFORMIS		BARE ROOT	CLUSTER		SHRI
(XXX)	PROTIME 402*	HERB	25 LBS PER AC	RF	17.5 LE	BS

(HORDEUM BRACHYANTHERUM), AND TUFTED HAIRGRASS (DESCHAMPSIA CESPITOSA)

## PROPOSED PLANT LIST (REMAINDER OF SITE) IN COMPLIANCE WITH THE MITIGATION REQUIREMENTS, NATIVE AND DROUGHT TOLERANT

PLANT NAME	NATIVE STATUS
ACCENT TREES	
ACER RUBRUM 'BOWHALL' AMELANCHIER ALNIFOLIA 'AUTUMN BRILLIANCE'	NATIVE CULTIVAR
CORNUS KOUSA X NUTTALLII 'KN4-43'	NATIVE CULTIVAR
CONNOS NOOSA X NOTTALLII NN4-45	INATIVE COLITIVAL
<u>PRIMARY TREES</u>	
FRAXINUS PENNSYLVANICA 'MARSHALL'S SEEDLESS'	I NIA TIVE
PINUS PONDEROSA	NATIVE NATIVE
PSEUDOTSUGA MENZIESII QUERCUS GARRYANA	NATIVE
ZELKOVA SERRATA 'GREEN VASE'	
SECONDARY TREES	
CALOCEDRUS DECURRENS	NATIVE
TILIA TOMENTOSA 'STERLING'	
ULMUS X 'FRONTIER'	
STORMWATER TREES	
CORNUS X 'EDDIE'S WHITE WONDER'	NATIVE CULTIVAR
FRAXINUS LATIFOLIA	NATIVE
RHAMNUS PURSHIANA	NATIVE
STREET TREES	1
ACER GRANDIDENTATUM 'SCHMIDT' TM	
CORNUS KOUSA 'MILKY WAY'	
PARROTIA PERSICA 'INGE'S RUBY VASE' TM	
<u>SHRUBS</u>	
ARBUTUS UNEDO 'COMPACTA'	NATIVE CULTIVAR
CORNUS SERICEA 'KELSEYI'	A LA TIV (T
DEUTZIA GRACILIS 'NIKKO' GAULTHERIA SHALLON	NATIVE
MAHONIA AQUIFOLIUM	NATIVE NATIVE CULTIVAR
MAHONIA AQUIFOLIUM 'COMPACTA'	INATIVE COLTIVAR
MYRICA CALIFORNICA	NATIVE
RIBES SANGUINEUM	NATIVE CULTIVAR
SPIRAEA BETULIFOLIA 'TOR'	NATIVE
SYMPHORICARPOS ALBUS	NATIVE OUT TO (A D
VACCINIUM OVATUM VACCINIUM OVATUM 'SCARLET OVATION'	NATIVE CULTIVAR
VACCINIUM OVATUM SCARLET OVATION VIBURNUM DAVIDII	
VIBURNUM TINUS 'SPRING BOUQUET'	
DEDENINIALC	<u> </u>
<u>PERENNIALS</u> ACHILLEA MILLIFOLIUM 'ALABASTER'	NATIVE CULTIVAR
ASTER SUBSPICATUS	NATIVE COLITIVAR
POLYSTICHUM MUNITUM	NATIVE
PTERIDIUM AQUILINUM	NATIVE
SALVIA X SUPERBA 'CARADONNA'	
STORMWATER SHRUBS	
CORNUS SERICEA	NATIVE
HOLODISCUS DISCOLOR MAHONIA AQUIFOLIUM	NATIVE NATIVE
RIBES SANGUINEUM	NATIVE
ROSA PISOCARPA	NATIVE
RUBUS SPECTABILIS	NATIVE CULTIVAR
SPIRAEA BETULIFOLIA 'TOR'	NATIVE
SPIRAEA DOUGLASII SYMPHORICARPOS ALBUS	NATIVE NATIVE
	INATIVE
GROUND COVERS	
ARCTOSTAPHYLOS UVA-URSI BOUTELOUA GRACILIS 'BLONDE AMBITION'	NATIVE
CRUSHED GRAVEL	
FESTUCA OCCIDENTALIS	NATIVE
GERANIUM X CANTABRIGIENSE 'BIOKOVO'	
MAHONIA REPENS	NATIVE
PROTIME 402 NATIVE RIPARIAN MIX	NATIVE
SEED MIX NATIVE POLLINATOR MEADOW MIX SEED MIX NATIVE UPLANDS MEADOW MIX	NATIVE
<u>STORMWATER PLANTING</u> CAREX DENSA	NATIVE
CAREX DENSA CAREX OBNUPTA	NATIVE
JUNCUS PATENS	NATIVE

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**VEGETATED** CORRIDOR **ENHANCEMENT** 

**PLANTING PLAN** 

DRAWN BY: AEZ, LJM, JWT

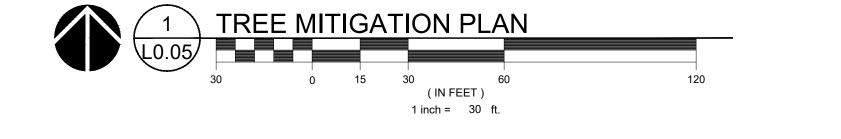
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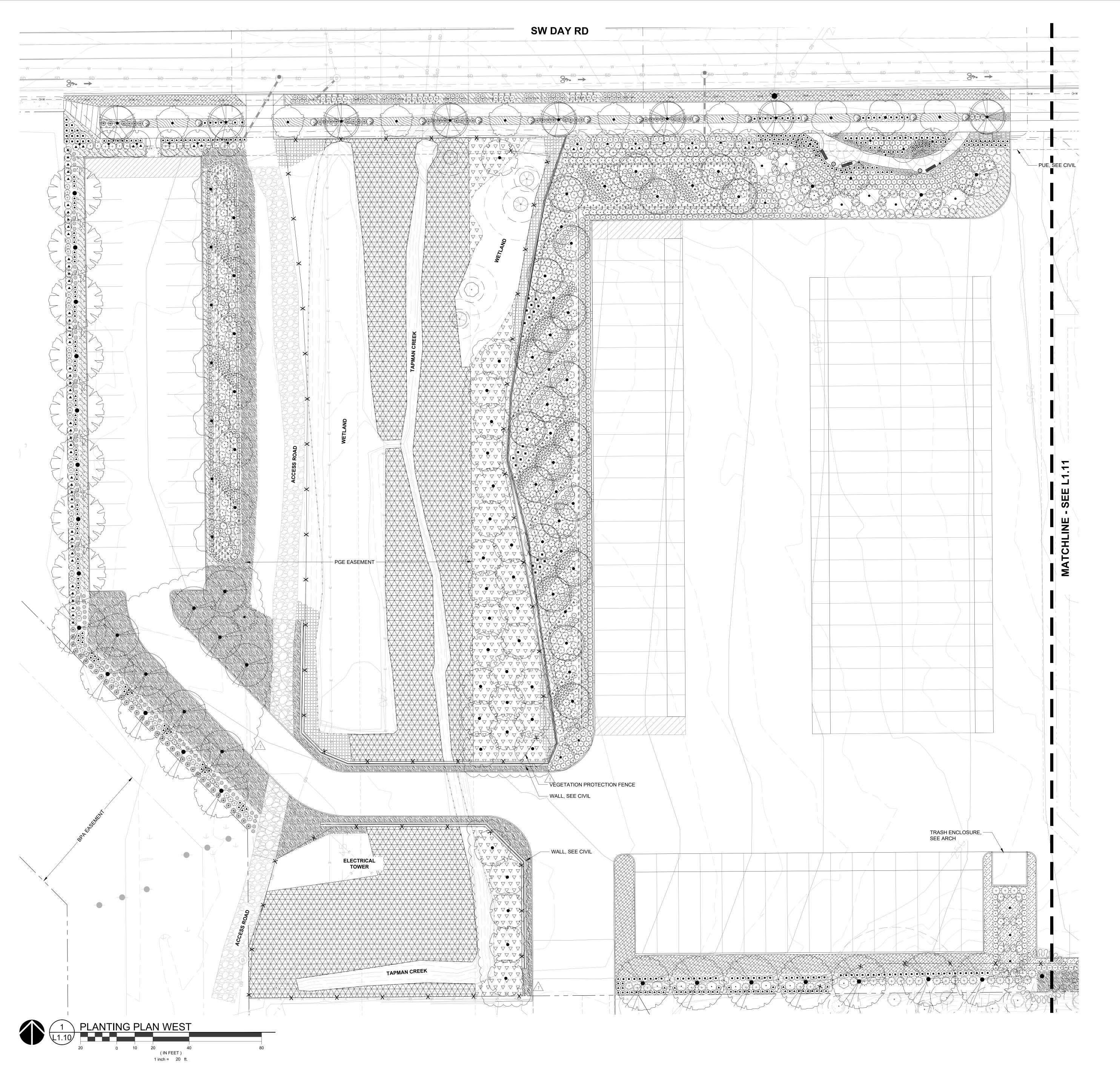
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**DESIGN REVIEW SET 07/29/2022** 

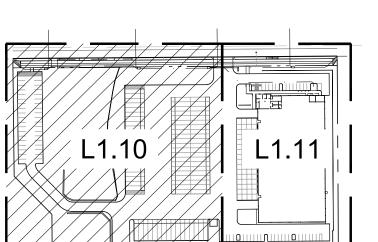


## DI ANT KEV I ECEND

	BOTANICAL / COMMON NAME
(2 • 6)	AMELANCHIER ALNIFOLIA 'AUTUMN BRILLIAN SERVICEBERRY
	CORNUS KOUSA X NUTTALLII 'KN4-43' STARLIGHT KOUSA DOGWOOD
PRIMARY TREES	BOTANICAL / COMMON NAME
20000000000000000000000000000000000000	PSEUDOTSUGA MENZIESII DOUGLAS FIR
	QUERCUS GARRYANA OREGON WHITE OAK
	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE SAWLEAF ZELKOVA
SECONDARY TREES	BOTANICAL / COMMON NAME
7°-6	CALOCEDRUS DECURRENS INCENSE CEDAR
	TILIA TOMENTOSA 'STERLING' STERLING SILVER LINDEN
STORMWATER TREES	BOTANICAL / COMMON NAME
$(\cdot)$	CORNUS X 'EDDIE'S WHITE WONDER' EDDIE'S WHITE WONDER DOGWOOD
\(\frac{\sigma}{\circ}\)	FRAXINUS LATIFOLIA OREGON ASH
(·)	RHAMNUS PURSHIANA CASCARA BUCKTHORN
STREET TREES	BOTANICAL / COMMON NAME
	ACER GRANDIDENTATUM 'SCHMIDT' TM ROCKY MOUNTAIN GLOW MAPLE
•	CORNUS KOUSA 'MILKY WAY' MILKY WAY KOUSA DOGWOOD
•	PARROTIA PERSICA 'INGE'S RUBY VASE' TM RUBY VASE PERSIAN PARROTIA
SHRUBS	BOTANICAL / COMMON NAME
$\odot$	ARBUTUS UNEDO 'COMPACTA' DWARF STRAWBERRY TREE
<u></u>	CORNUS SERICEA 'KELSEYI' KELSEYI DWARF REDTWIG DOGWOOD
9	DEUTZIA GRACILIS 'NIKKO' SLENDER DEUTZIA
•	GAULTHERIA SHALLON SALAL
<del>\\</del> }	MAHONIA AQUIFOLIUM OREGON GRAPE
	MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE
Constant of the second of the	MYRICA CALIFORNICA PACIFIC WAX MYRTLE  RIBES SANGUINEUM
<u>()</u>	RED FLOWERING CURRANT  SPIRAEA BETULIFOLIA 'TOR'
<u>(A)</u>	BIRCHLEAF SPIREA  SYMPHORICARPOS ALBUS
<u>•</u>	COMMON WHITE SNOWBERRY  VACCINIUM OVATUM
( <del>\</del> )	EVERGREEN HUCKLEBERRY  VACCINIUM OVATUM 'SCARLET OVATION'
$\odot$	SCARLET OVATION EVERGREEN HUCKLEBERR VIBURNUM DAVIDII
<u> </u>	DAVID VIBURNUM  VIBURNUM TINUS 'SPRING BOUQUET'  SPRING BOUQUET LAURUSTINUS
PERENNIALS	BOTANICAL / COMMON NAME
+	ACHILLEA MILLIFOLIUM 'ALABASTER' ALABASTER YARROW
(•)	ASTER SUBSPICATUS DOUGLAS ASTER  POLYSTICHUM MUNITUM
£;3	WESTERN SWORD FERN  PTERIDIUM AQUILINUM
STORMWATER SHRUBS	WESTERN BRACKENFERN BOTANICAL / COMMON NAME
$\bigcirc$	CORNUS SERICEA RED TWIG DOGWOOD
(o)	HOLODISCUS DISCOLOR OCEAN—SPRAY
₹ <b>`</b> }	MAHONIA AQUIFOLIUM OREGON GRAPE
<u>.</u>	RIBES SANGUINEUM RED FLOWERING CURRANT
<b>⊗</b>	ROSA PISOCARPA CLUSTERED WILD ROSE
	RUBUS SPECTABILIS SALMONBERRY SPIRAEA BETULIFOLIA 'TOR'
( <u>A</u>	TOR BIRCHLEAF SPIREA  SPIRAEA DOUGLASII
<u></u>	WESTERN SPIREA SYMPHORICARPOS ALBUS
GROUND COVERS	COMMON WHITE SNOWBERRY  BOTANICAL / COMMON NAME
	ARCTOSTAPHYLOS UVA-URSI KINNIKINNICK
	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA
	FESTUCA OCCIDENTALIS WESTERN FESCUE GRASS
	MAHONIA REPENS CREEPING MAHONIA
<u>/////////////////////////////////////</u>	PROTIME 402 NATIVE RIPARIAN MIX PROTIME SEEDS
	acco
	SUNMARK SEEDS
STORMWATER DI ANTINO	SUNMARK SEEDS  SEED MIX NATIVE UPLANDS MEADOW MIX SUNMARK SEEDS
STORMWATER PLANTING	SEED MIX NATIVE UPLANDS MEADOW MIX

## **REFERENCE NOTES**

- 1. PLANT SIZE, SPACING, AND QUANTITY, SEE PLANT SCHEDULE L0.02
- 2. PROPOSED UTILITY BOX. AVOID PLANTING WITHIN DEFINED ACCESS ZONE. 3. COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES, REPORT CONFLICTS TO LANDSCAPE ARCHITECT.



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**PLANTING PLAN** 

- WEST

PLANCHECK 10/06/2022

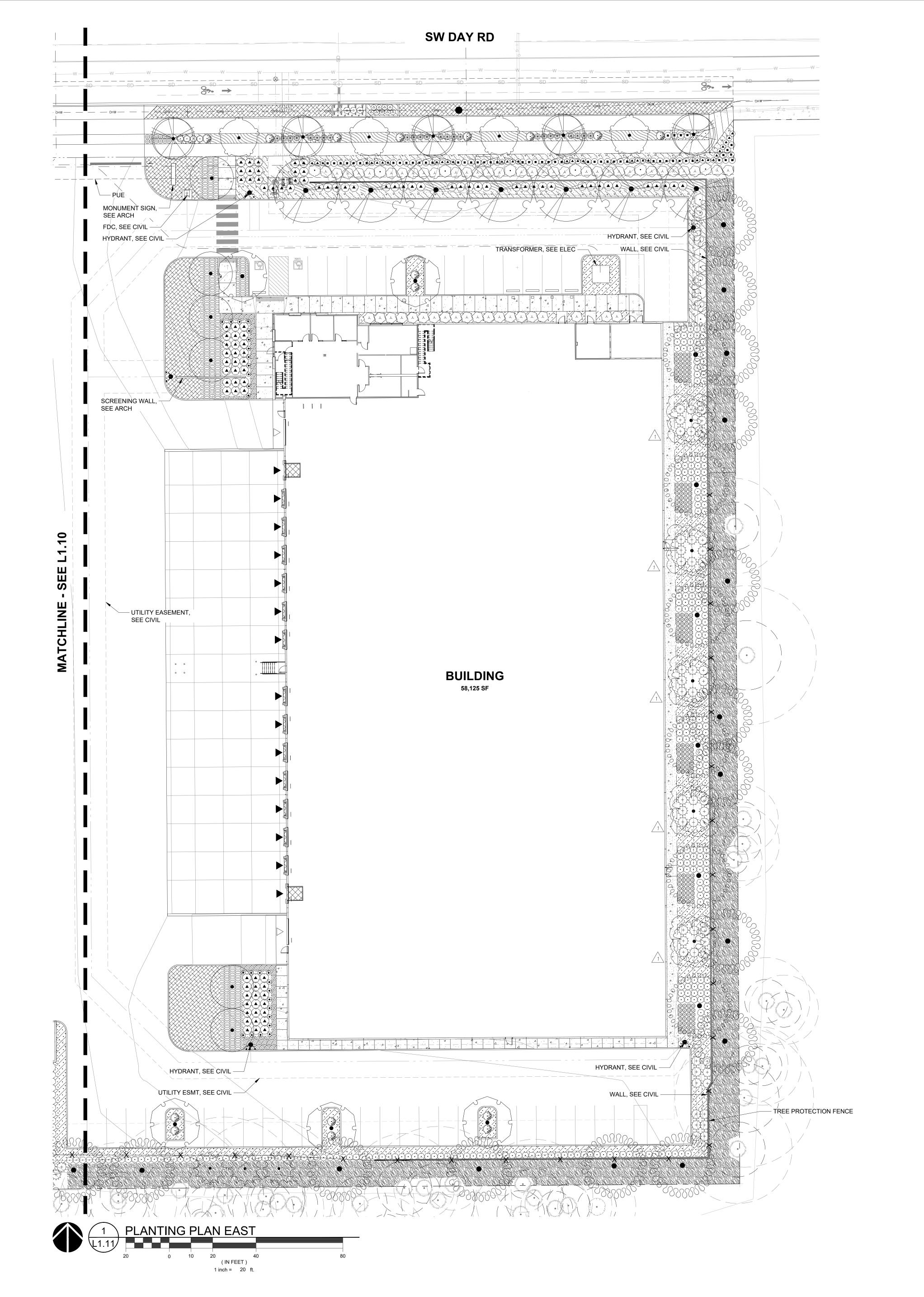
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9835 SW COMMERCE

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ACCENT TREES	BOTANICAL / COMMON NAME
•	ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE
	CORNUS KOUSA X NUTTALLII 'KN4-43' STARLIGHT KOUSA DOGWOOD
PRIMARY TREES	BOTANICAL / COMMON NAME
	FRAXINUS PENNSYLVANICA 'MARSHALL'S SEEDLESS MARSHALL'S SEEDLESS GREEN ASH
00000000000000000000000000000000000000	PINUS PONDEROSA
• • • • • • • • • • • • • • • • • • •	PONDEROSA PINE
· SS · S	PSEUDOTSUGA MENZIESII
SECONDARY TREES	BOTANICAL / COMMON NAME
5. (	CALOCEDRUS DECURRENS
3	INCENSE CEDAR
	ULMUS X 'FRONTIER' FRONTIER ELM
STREET TREES	BOTANICAL / COMMON NAME
	ACER GRANDIDENTATUM 'SCHMIDT' TM
	ROCKY MOUNTAIN GLOW MAPLE
<b>( • )</b>	PARROTIA PERSICA 'INGE'S RUBY VASE' TM RUBY VASE PERSIAN PARROTIA
SHRUBS	BOTANICAL / COMMON NAME
$\bigcirc$	ARBUTUS UNEDO 'COMPACTA' DWARF STRAWBERRY TREE
	CORNUS SERICEA 'KELSEYI' KELSEYI DWARF REDTWIG DOGWOOD
	DEUTZIA GRACILIS 'NIKKO'
	SLENDER DEUTZIA  GAULTHERIA SHALLON
	SALAL
<u></u>	MAHONIA AQUIFOLIUM OREGON GRAPE
***	MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE
<b>(A</b> )	SPIRAEA BETULIFOLIA 'TOR' BIRCHLEAF SPIREA
	SYMPHORICARPOS ALBUS
	COMMON WHITE SNOWBERRY  VACCINIUM OVATUM
	EVERGREEN HUCKLEBERRY
	VIBURNUM DAVIDII DAVID VIBURNUM
	VIBURNUM TINUS 'SPRING BOUQUET' SPRING BOUQUET LAURUSTINUS
PERENNIALS	BOTANICAL / COMMON NAME
€3	POLYSTICHUM MUNITUM WESTERN SWORD FERN
•	SALVIA X SUPERBA 'CARADONNA' CARADONNA SAGE
STORMWATER SHRUBS	BOTANICAL / COMMON NAME
	SPIRAEA BETULIFOLIA 'TOR' TOR BIRCHLEAF SPIREA
$\odot$	SYMPHORICARPOS ALBUS COMMON WHITE SNOWBERRY
GROUND COVERS	BOTANICAL / COMMON NAME
2	ARCTOSTAPHYLOS UVA—URSI KINNIKINNICK
	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA
	CRUSHED GRAVEL
	QUARTER—TEN  FESTUCA OCCIDENTALIS
	WESTERN FESCUE GRASS
ાં આવેલી કું આ જો	GERANIUM X CANTABRIGIENSE 'BIOKOVO' BIOKOVO CRANESBILL
	MAHONIA REPENS CREEPING MAHONIA
	SEED MIX NATIVE POLLINATOR MEADOW MIX SUNMARK SEEDS
	SEED MIX NATIVE UPLANDS MEADOW MIX
STORMWATER PLANTING	SUNMARK SEEDS BOTANICAL / COMMON NAME
	CAREX DENSA
	DENSE SEDGE

## **REFERENCE NOTES**

1. PLANT SIZE, SPACING, AND QUANTITY, SEE PLANT SCHEDULE L0.02 PROPOSED UTILITY BOX. AVOID PLANTING WITHIN DEFINED ACCESS ZONE. 3. COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES, REPORT CONFLICTS TO LANDSCAPE ARCHITECT.

KEY MAP

SCALE: NTS

DRAWN BY: SKA SHEET

JOB NO. **2200502.04** 

DESIGN REVIEW SET 07/29/2022

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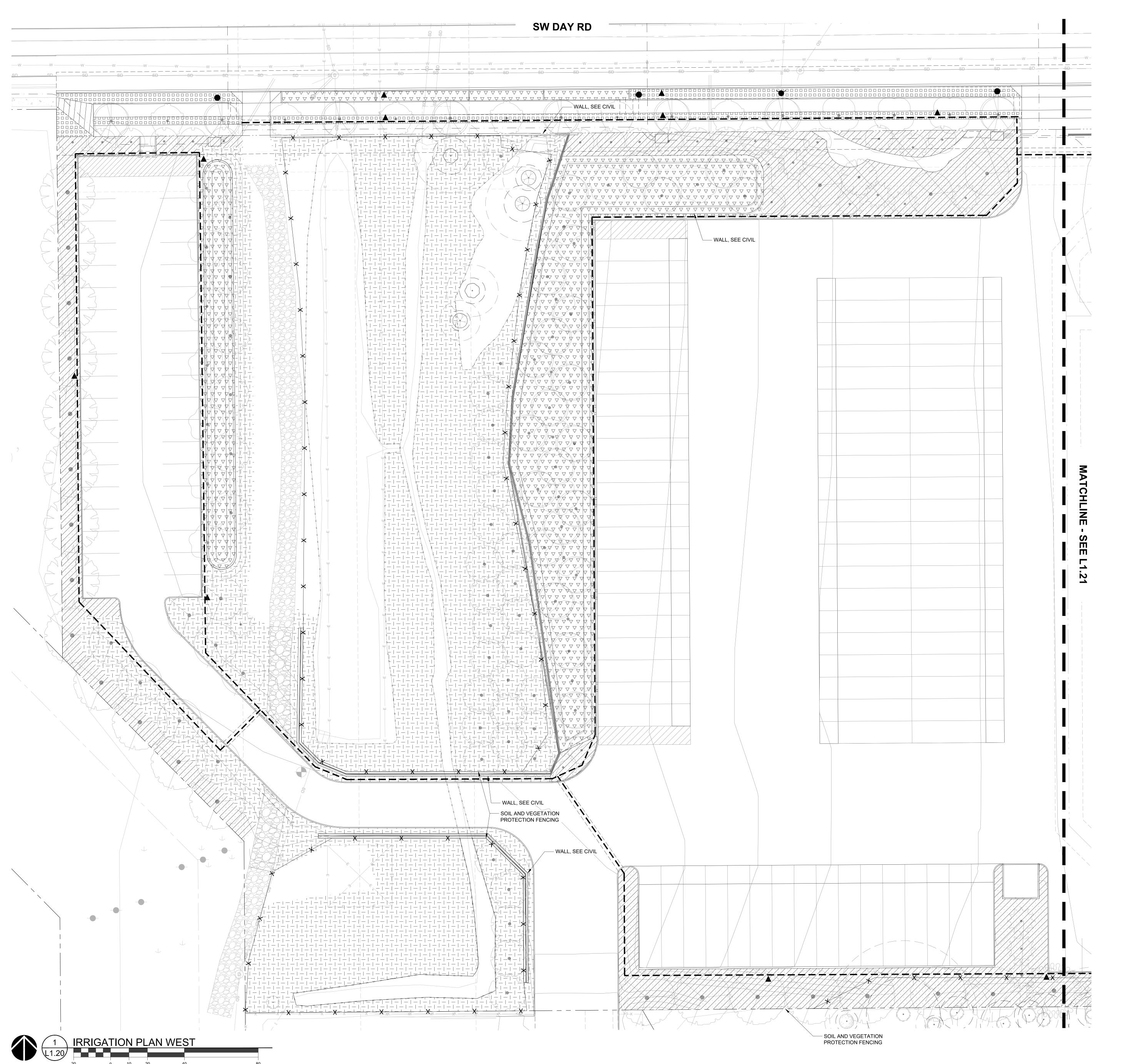
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REVISION SCHEDULE Delta Issued As Issue Date PLAN CHECK 10/06/2022

SHEET TITLE:
PLANTING PLAN - EAST

L1.11



1 inch = 20 ft.

## **IRRIGATION LEGEND**

POINT OF CONNECTION, INCLUDE DOUBLE CHECK BACKFLOW PREVENTOR, MASTER VALVE AND FLOW SENSOR - SEE DETAIL ON L5.11

QUICK COUPLER AT 150' (INTERVALS MAX)

SHRUB AND GROUNDCOVER SPRAY AREA

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LAWN AREA - ZONE SEPARATELY TEMPORARY IRRIGATED AREA - ZONE SEPARATELY

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REFERENCE NOTES

1. CAREFULLY EXCAVATE IRRIGATION TRENCHES IN VICINITY OF EXISTING TREES. SEE TREE PROTECTION NOTES L0.03 AND IN EXHIBIT D ARBORIST REPORT.

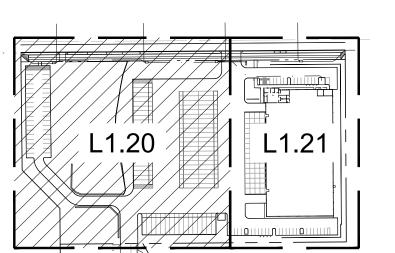
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SHEET TITLE: **IRRIGATION PLAN - WEST** 



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SHEET

L1.20

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IRRIGATION CONTROLLER

GATE VALVE

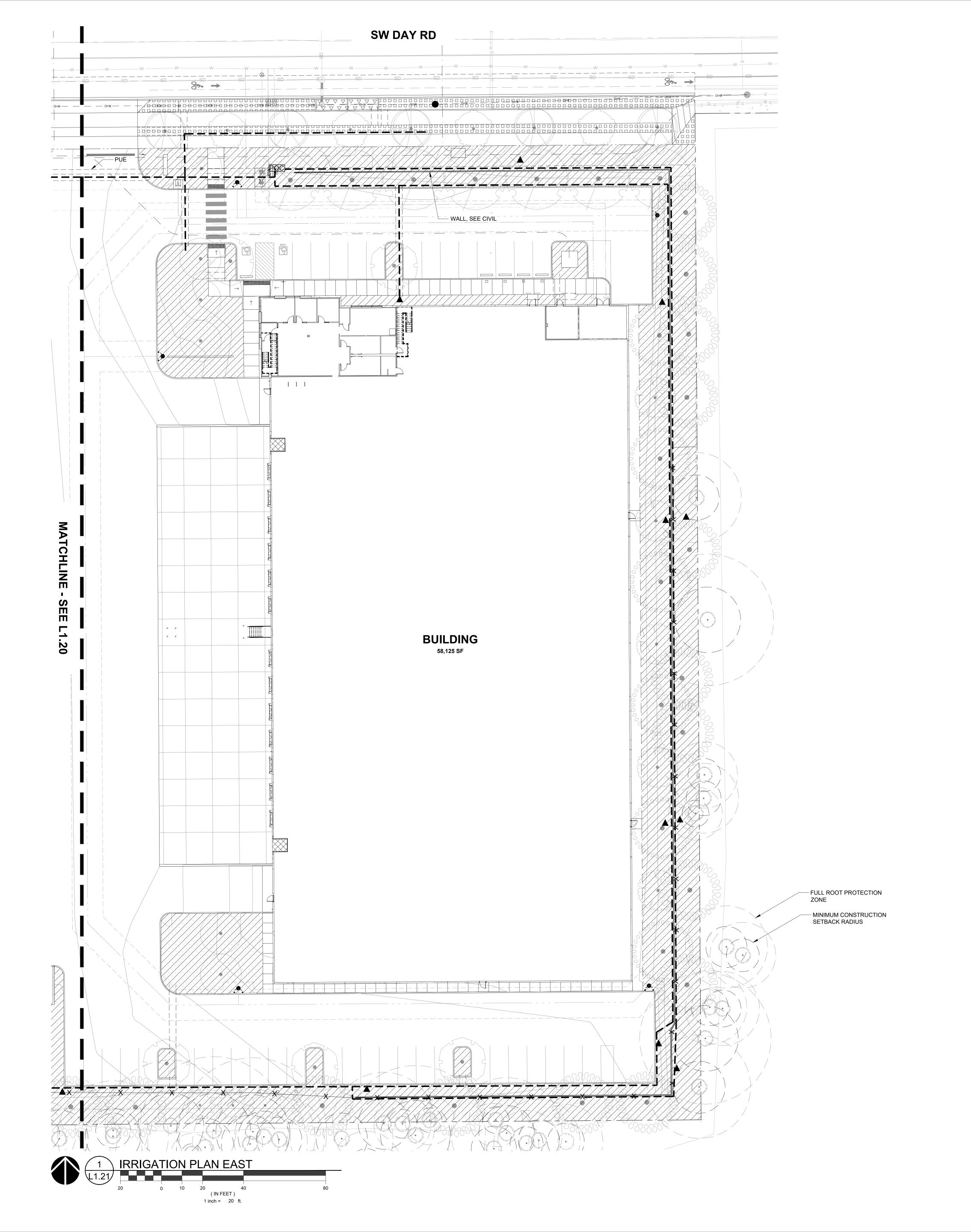
---- MAINLINE SLEEVE- DIAMETER AT LEAST TWICE

---- DIAMETER OF PIPE BEING SLEEVED — — — MAINLINE-SCHEDULE 40 PVC

SHRUB AND GROUNDCOVER DRIP AREA

RIGHT-OF-WAY - ZONE SEPARATELY

MEADOW AREA - ZONE SEPARATELY



## **IRRIGATIONLEGEND**

POINT OF CONNECTION, INCLUDE DOUBLE CHECK BACKFLOW PREVENTOR, MASTER VALVE AND FLOW SENSOR - SEE DETAIL ON L5.11

IRRIGATION CONTROLLER

**GATE VALVE** 

QUICK COUPLER AT 150' (INTERVALS MAX)

---- MAINLINE SLEEVE- DIAMETER AT LEAST TWICE
---- DIAMETER OF PIPE BEING SLEEVED

— — — MAINLINE-SCHEDULE 40 PVC SHRUB AND GROUNDCOVER DRIP AREA

SHRUB AND GROUNDCOVER SPRAY AREA

 
 ▽ ▽ ▽ ▽ □
 STORMWATER AREA - ZONE SEPARATELY
 LAWN AREA - ZONE SEPARATELY

> TEMPORARY IRRIGATED AREA - ZONE SEPARATELY RIGHT-OF-WAY - ZONE SEPARATELY

9835 SW COMMERCE CIRCLE MEADOW AREA - ZONE SEPARATELY WILSONVILLE, OR 97070

## REFERENCE NOTES

1. CAREFULLY EXCAVATE IRRIGATION TRENCHES IN VICINITY OF EXISTING TREES. SEE TREE PROTECTION NOTES L0.03 AND IN EXHIBIT D ARBORIST REPORT.

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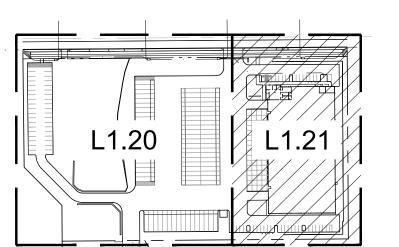
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SHEET TITLE: **IRRIGATION PLAN - EAST** 



KEY MAP

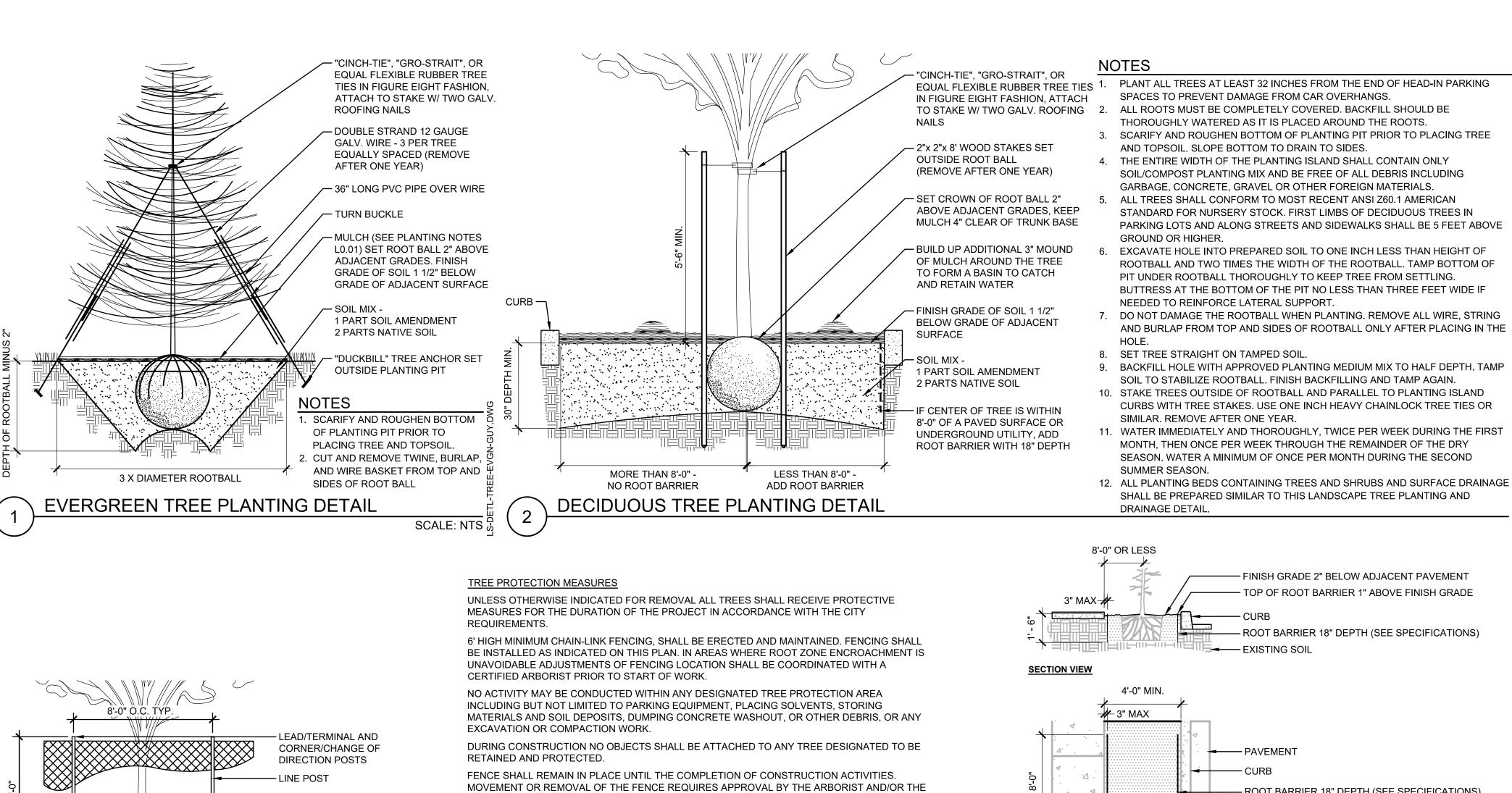
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DRAWN BY: SKA

L1.21

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PROPOSED TRENCHING AND EXCAVATION AROUND TREES SHALL BE COORDINATED WITH

ROOTS BY HAND DIGGING OR BORING. DO NOT CUT MAIN LATERAL ROOTS OR TAP ROOTS.

CLEANLY CUT/SEVER SMALLER ROOTS. RELOCATE ROOTS IN BACKFILL AREAS WHEREVER

DO NOT ALLOW EXPOSED ROOTS TO DRY OUT BEFORE PERMANENT BACKFILL IS PLACED,

PROVIDE TEMPORARY EARTH COVER, OR PACK WITH PEAT MOSS AND WRAP WITH BURLAP.

WATER AND MAINTAIN IN MOIST CONDITION UNTIL RELOCATED AND COVERED WITH BACKFILL.

SCALE: NTS

WHERE TRENCHING IS REQUIRED WITHIN CRITICAL ROOT ZONE, TUNNEL UNDER OR AROUND

CITY'S AUTHORIZED REPRESENTATIVE.

CONSULTING ARBORIST.

POSSIBLE.

EXCAVATION / TRENCHING AROUND TREES

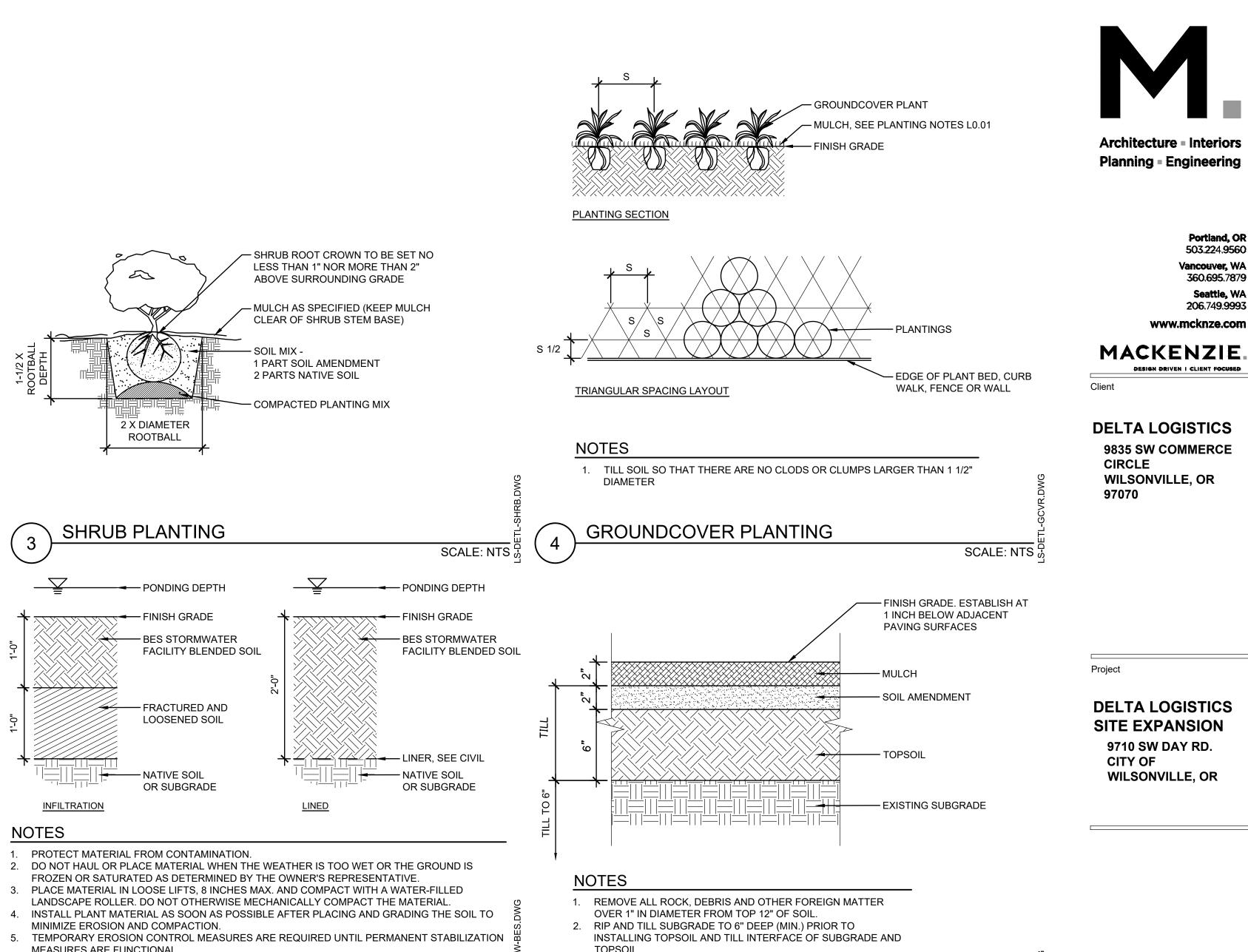
FENCE FABRIC

TREE PROTECTION

AND POSTS, SEE

SPECIFICATIONS

— FINISH GRADE 2" BELOW ADJACENT PAVEMENT — TOP OF ROOT BARRIER 1" ABOVE FINISH GRADE —— ROOT BARRIER 18" DEPTH (SEE SPECIFICATIONS) — ROOT BARRIER 18" DEPTH (SEE SPECIFICATIONS) PROTECT MATERIAL FROM CONTAMINATION. - TAMP SOIL ADJACENT TO ROOT BARRIER TO STABILIZE BARRIER NOTES 1. INSTALL ROOT BARRIER PER MANUFACTURER'S SPECIFICATIONS AND 6. PROTECT THE INSTALLED MATERIAL FROM FOOT OR EQUIPMENT TRAFFIC AND SURFACE RECOMMENDATIONS. 2. INSTALL ROOT BARRIER WHERE CENTER OF **PLAN VIEW** ROOT BALL IS WITHIN 8' OF PAVEMENT. ROOT BARRIER DETAIL



3. TILL TOPSOIL AND SOIL AMENDMENTS TO A MIN. 12" DEPTH.

4. SUBMIT SAMPLE OF MULCH & TOPSOIL FOR ACCEPTANCE

PRIOR TO PLACEMENT.

SCALE: NTS

**SOIL PREPARATION** 

1 PART SOIL AMENDMENT 2 PARTS NATIVE SOIL

2 X DIAMETER

ROOTBALL

SHRUB PLANTING

INFILTRATION

SCALE: NTS

── PONDING DEPTH

BES STORMWATER

FRACTURED AND

| |<del>|</del> NATIVE SOIL

MINIMIZE EROSION AND COMPACTION.

MEASURES ARE FUNCTIONAL.

LOOSENED SOIL

OR SUBGRADE

WATER RUNOFF. INSTALL TEMPORARY FENCING OR WALKWAYS AS NEEDED TO KEEP WORKS,

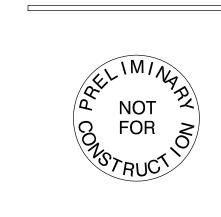
PEDESTRIANS, AND EQUIPMENT OUT OF THE AREA. UNDER NO CIRCUMSTANCES SHOULD

MATERIALS AND EQUIPMENT BE STORED ON TOP OF THE INSTALLATION AREA.

SOIL PREP. AT STORMWATER

FACILITY BLENDED SOIL

FINISH GRADE



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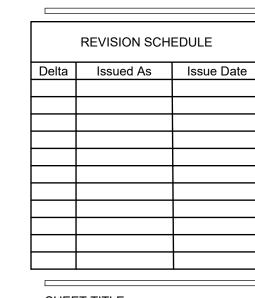
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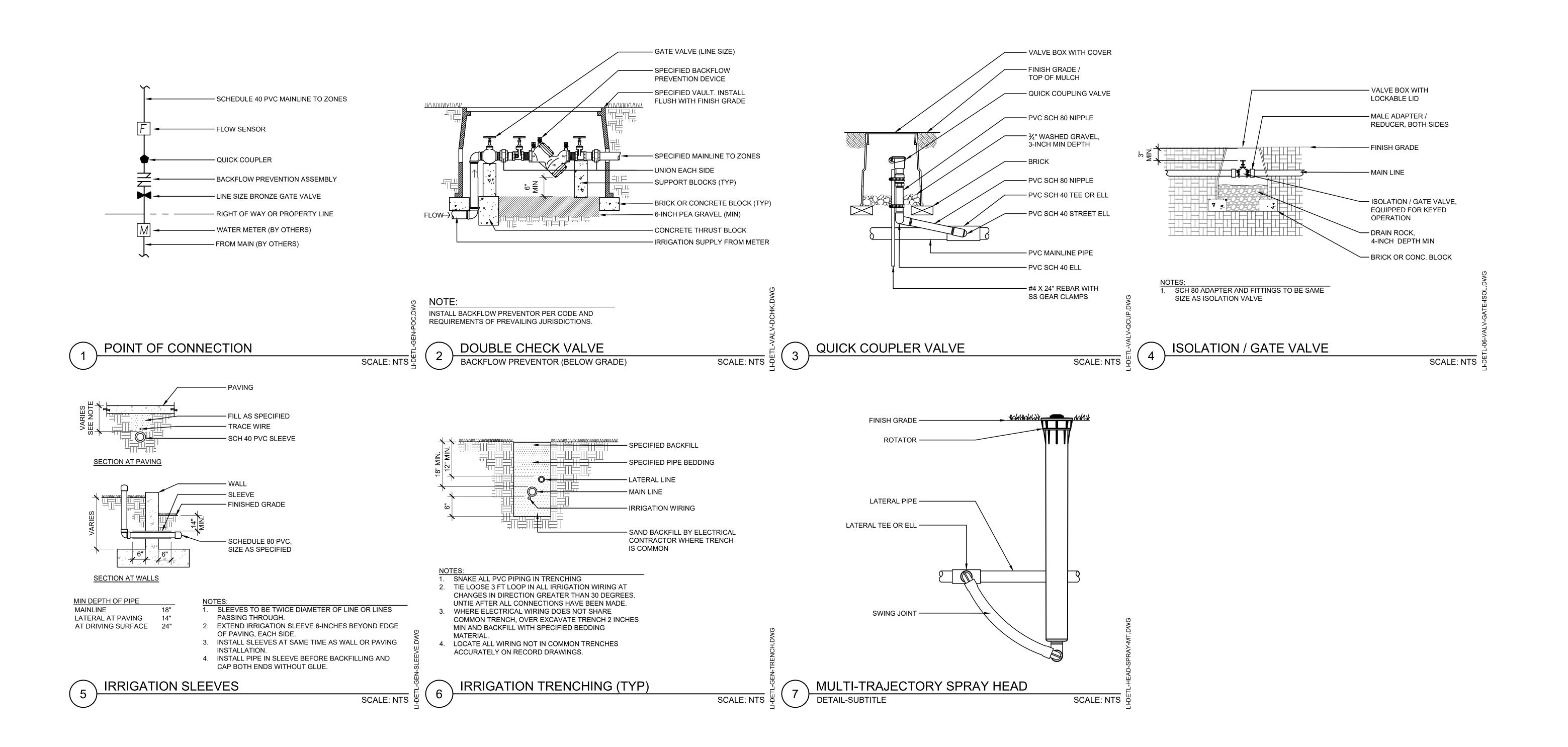
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SHEET TITLE: **PLANTING DETAILS** 

L5.10





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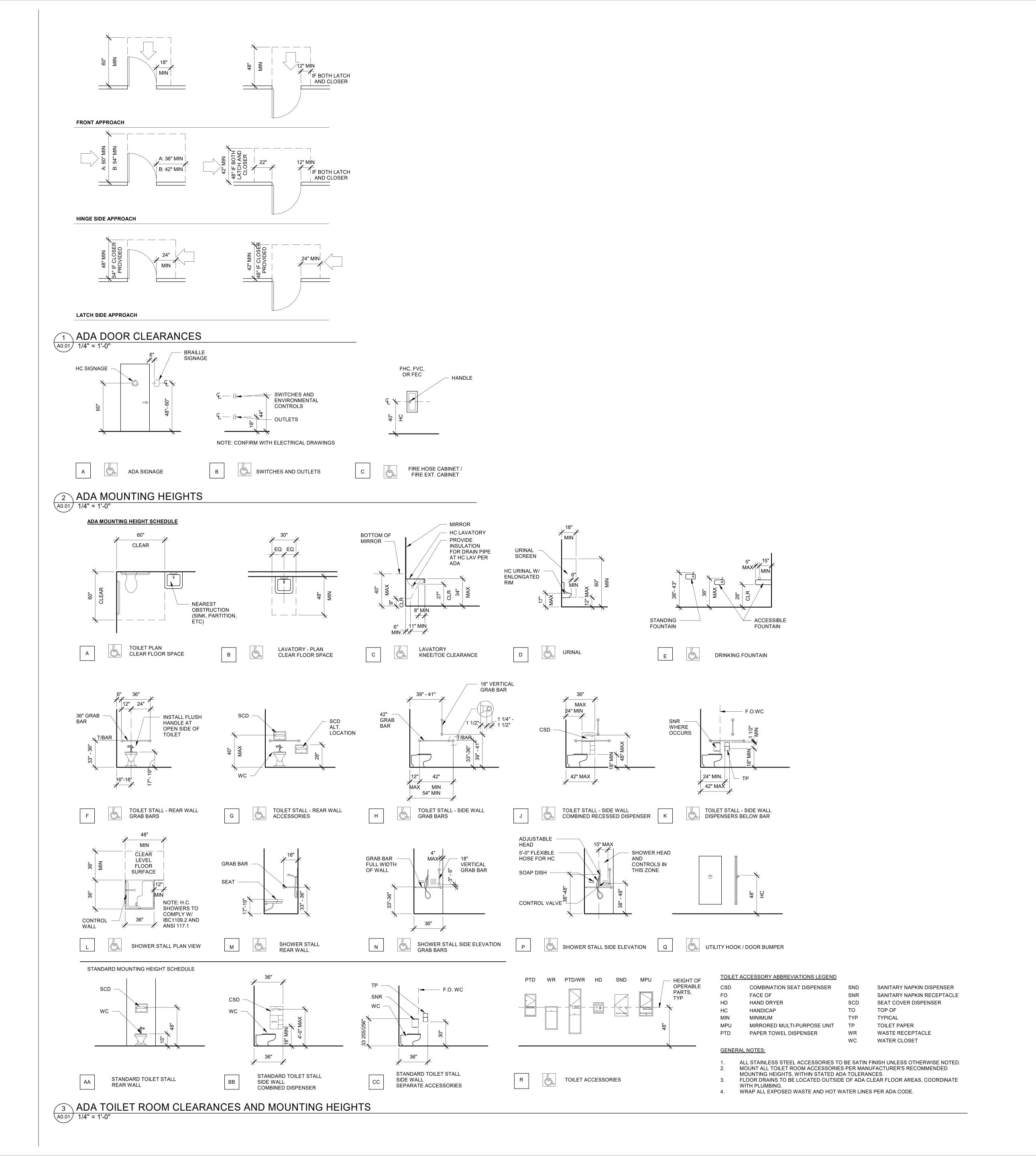
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SHEET TITLE:
IRRIGATION
DETAILS

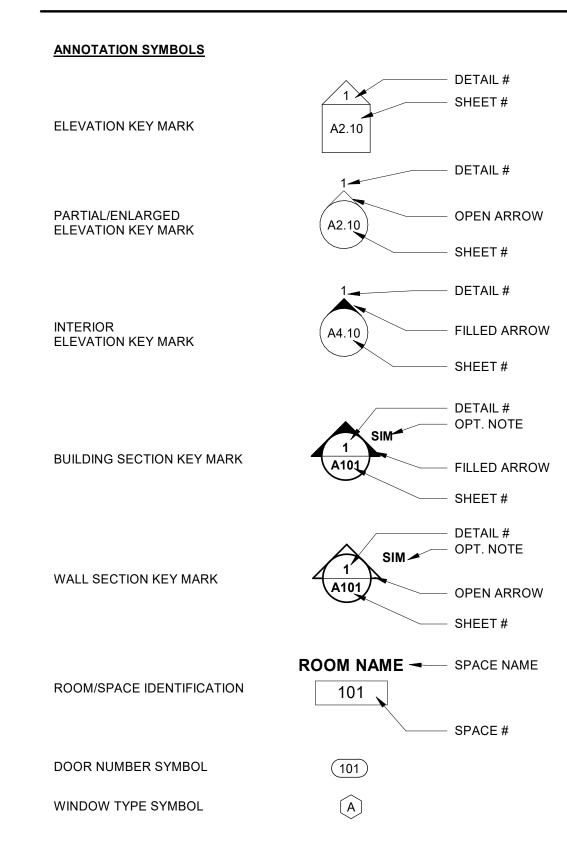
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ARCHITECTURAL LEGEND



## **ARCHITECTURAL GENERAL NOTES**

- OVERALL FLOOR PLANS ARE INTENDED TO IDENTIFY ENTIRE FLOOR AREA. SEE INDIVIDUAL AREA PLANS FOR SPECIFIC DIMENSIONS, DETAILING, PARTITION TYPES, AND ADDITIONAL INFORMATION. PROVIDE 30' - 0" CLEAR MINIMUM TO BOTTOM OF STRUCTURE, MECHANICAL DUCTS, LIGHTING, SPRINKLERS, ETC.
- ALL WALLS ARE TO 6" ABOVE CEILING GRID UNLESS OTHERWISE NOTED. WHERE TOP OF WALL MEETS UNDERSIDE OF ROOF DECK, PROVIDE DEFLECTION HEAD AS
- REFERENCE BUILDING ELEVATIONS FOR EXTERIOR WINDOW TYPE DESIGNATION.
- REFERENCE DOOR SCHEDULE FOR DOOR TYPE DESIGNATION AND ADD'L INFORMATION. SEE CODE ANALYSIS PLANS FOR FIRE EXTINGUISHER LOCATIONS.
- PROVIDE BLOCKING AS REQUIRED ADJACENT TO FIRE EXTINGUISHERS FOR OWNER INSTALLED AED STATIONS
- COORDINATE ALL EXTERIOR WALL PENETRATIONS AMONG AFFECTED DISCIPLINES. WATERPROOFING SYSTEMS AND THEIR INSTALLATIONS SHALL BE SUITABLE FOR THEIR INTENDED
- PROVIDE APPROPRIATE AND COMPLETE SEALANT OF ALL PENETRATIONS THROUGH EXTERIOR ASSEMBLIES. SEAL VOIDS BETWEEN SLEEVES, CONDUITS, AND OTHER PENETRATIONS WITH
- APPROPRIATE JOINT SEALANT. CONTRACTOR TO ASSURE PROPER SEALANT OF ALL VOIDS AT OPENINGS AND PENETRATIONS.
- FURNITURE AND EQUIPMENT BY OTHERS. SHOWN FOR REFERENCE ONLY, CONTRACTOR TO COORDINATE WALL MOUNTED FURNITURE, INCLUDING BUT NOT LIMITED TO, CABINETRY, PROJECTION SCREENS, WHITE BOARDS, TELEVISIONS, ETC. AND PROVIDE NECESSARY BLOCKING
- M. CONTRACTOR SHALL COORDINATE DELIVERY AND INSTALLATION OF OWNER FURNISHED
- EQUIPMENT WITH THE OWNER. ALL DIMENSIONS TO FACE OF GYP, CENTERLINE OF COLUMN OR EXTERIOR FACE OF WALL,
- UNLESS OTHERWISE NOTED. ALIGN FINISHES WHERE INDICATED. WALL THICKNESSES ARE ACTUAL UNLESS OTHERWISE NOTED.
- DIMENSIONS MARKED "CLR" ARE FROM FINISH SURFACE TO FINISH SURFACE. DIMENSIONS WITH THIS MARK TAKE PRIORITY OVER ADJACENT DIMENSIONS, DIMENSIONS ADJACENT TO LATCH SIDE OF DOORS INDICATE REQUIRED CLEARANCES BETWEEN CLEAR DOOR OPENING AND ADJACENT
- ALL DIMENSIONS SHOWN AS PLUS/MINUS (+/-) ARE FOR GENERAL LAYOUT AND REFERENCE ONLY. DOORS NOT DIMENSIONED ARE TO BE LOCATED 4" FROM FACE OF WALL TO OUTSIDE EDGE OF
- ALL MEP TO BE DESIGN-BUILD. COORDINATE AND REFER TO MECHANICAL AND ELECTRICAL DISCIPLINES FOR SPECIFIC INFORMATION, LOCATIONS, DIMENSIONS, CONNECTIONS, AND PENETRATIONS.
- SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- A. ALL RATED CONSTRUCTION ASSEMBLIES EXTEND FROM FLOOR STRUCTURE TO UNDERSIDE OF STRUCTURE AND DECKING ABOVE UNLESS OTHERWISE NOTED. PROVIDE TYPE 'X' GYPSUM BOARD AT ALL FIRE RATED WALLS AND PARTITIONS. SEE CODE SUMMARY DRAWINGS AND FLOOR PLANS FOR SCOPE OF FIRE RATED WALLS.
- ALL PENETRATIONS AND VOIDS THROUGH FIRE-RATED ASSEMBLIES TO BE FIRE STOPPED WITH APPROVED MATERIALS. PROVIDE FIRE BLOCKING AS REQUIRED.
- STAIRS ARE DESIGN-BUILD BY CONTRACTOR. SEE VERTICAL CIRCULATION DRAWINGS FOR TREADS, RISERS, RAILING, AND DIMENSIONAL REQUIREMENTS. SEE SPECIFICATIONS FOR DESIGN REQUIREMENTS. PROVIDE SHOP DRAWINGS WITH CALCULATIONS PREPARED AND STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN OREGON FOR REVIEW BY ARCHITECT. SEE STRUCTURAL DRAWINGS FOR FRAMING, SLAB EDGE, ROOF OPENINGS INFORMATION.
- SEE STRUCTURAL DRAWINGS FOR PANEL/WALL THICKNESS.
- FURR ALL EXTERIOR WALLS WITHIN THE OFFICE AND UTILITY ROOMS. PAINT ALL EXPOSED STEEL.
- ALL EXPOSED EXTERIOR STEEL TO BE GALVANIZED.



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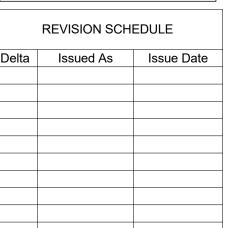
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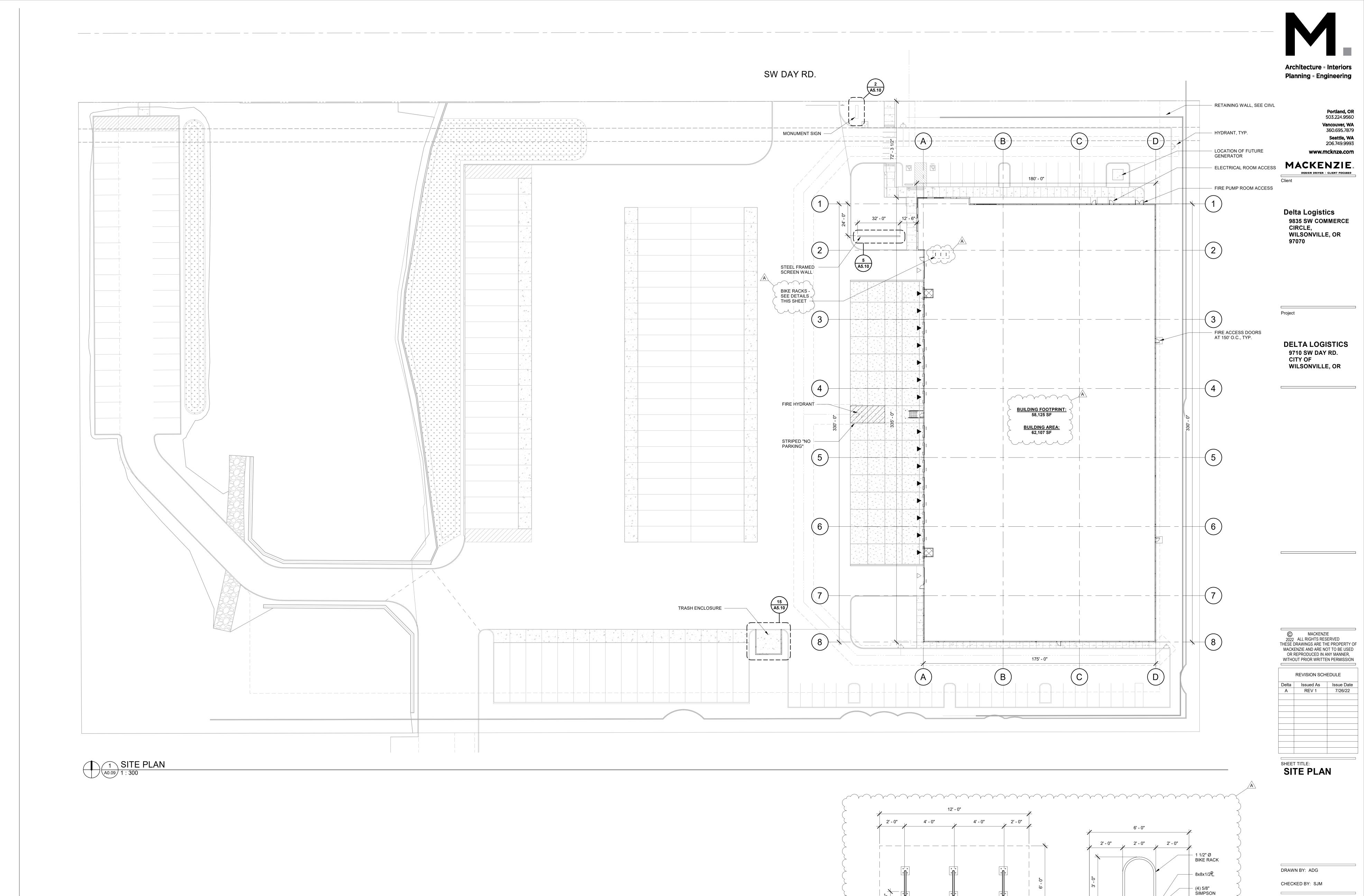
SHEET TITLE:

ARCHITECTURAL **GENERAL NOTES AND SYMBOLS** 

DRAWN BY: ADG CHECKED BY: SJM

SHEET

A0.01



JOB NO. **2200502.00** 

A0.09

SHEET

LAND USE RESUBMITTAL 07/26/22

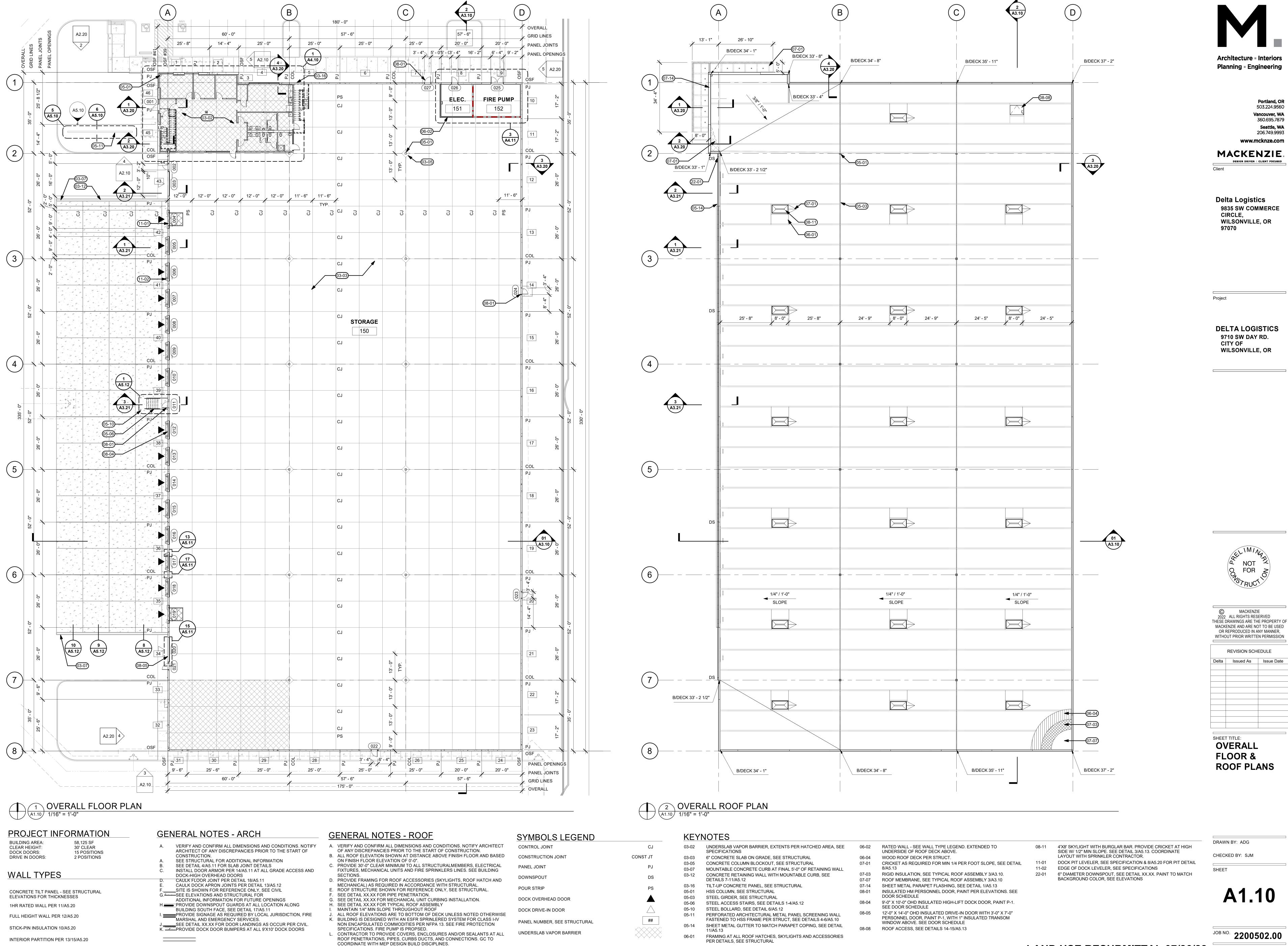
BIM 360://Delta Logistics Wilsonville Annex-ZC/502 Delta Logistics-B.rvt 7/29/2022 8:27:21 AM As indicated

3 BIKE RACKS ELEVATION
A0.09 1/2" = 1'-0"

menter and the second s

2 BIKE RACK PLAN A0.09 3/8" = 1'-0" TITEN HD W/ MIN 4"

EMBED @ 6" OC, EW



M. PROVIDE SPLASH BLOCKS AT DOWNSPOUTS OF ALL ROOF ACCESSORY

STRUCTURES.

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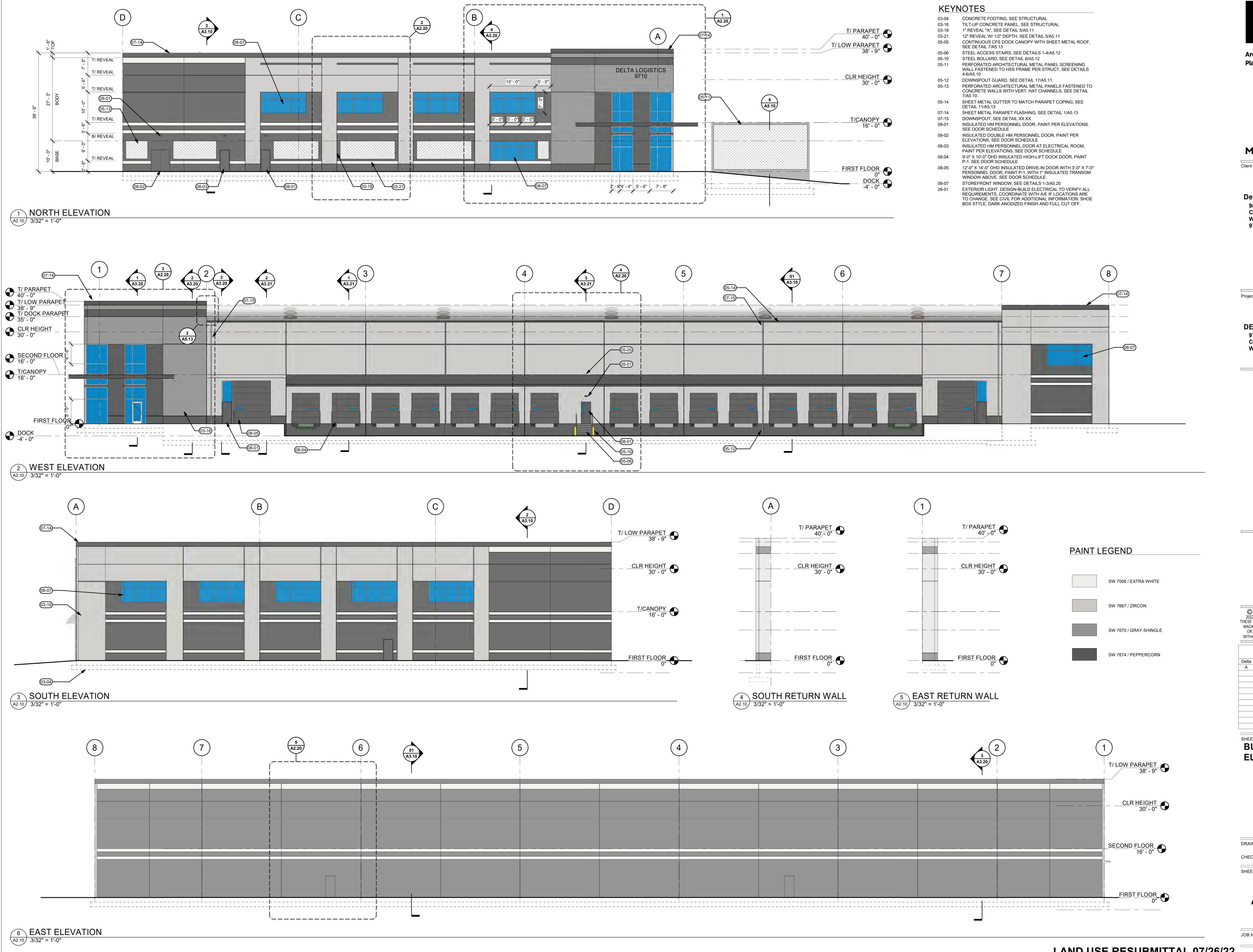
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SHEET TITLE:

OVERALL FLOOR & **ROOF PLANS** 

DRAWN BY: ADG



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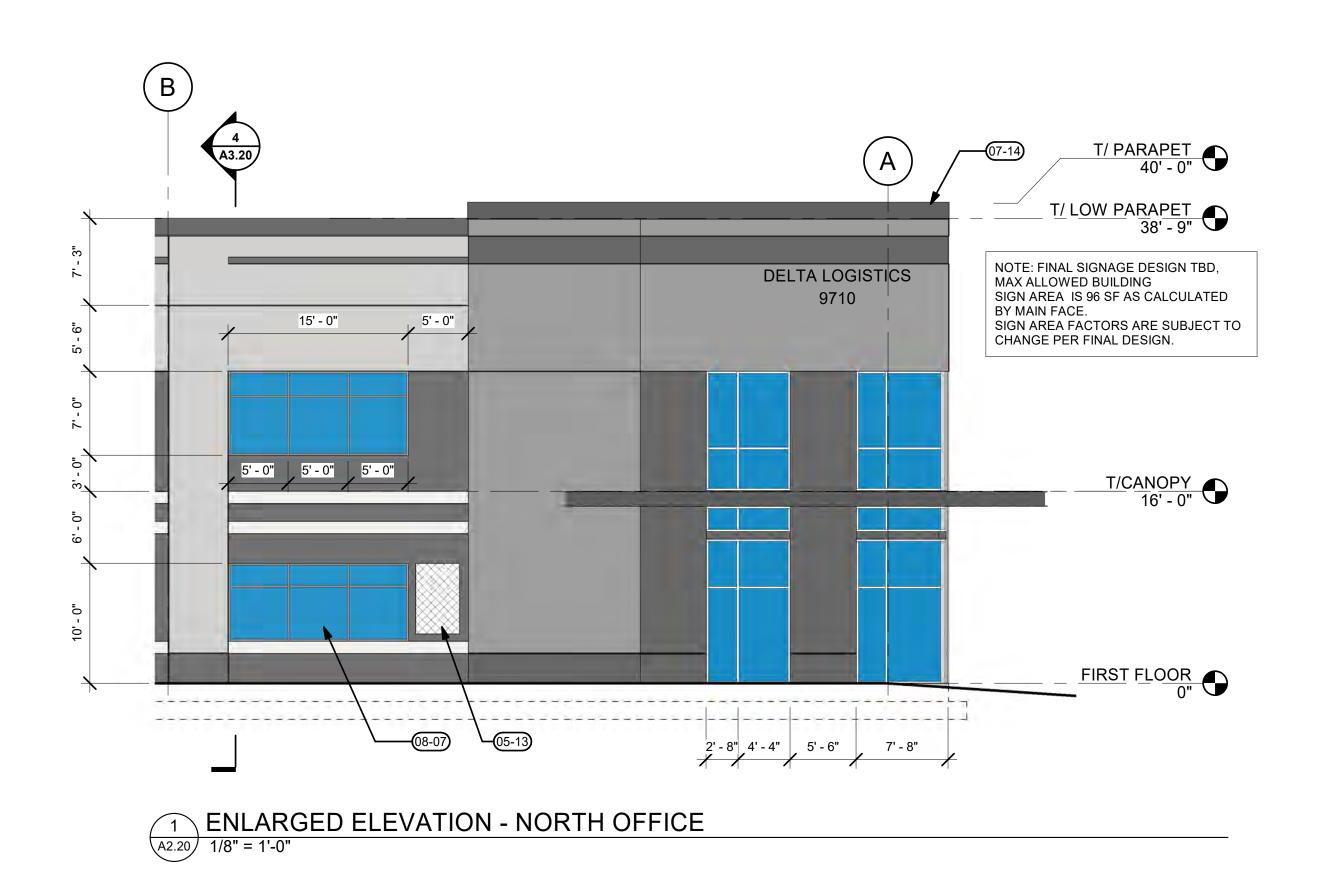
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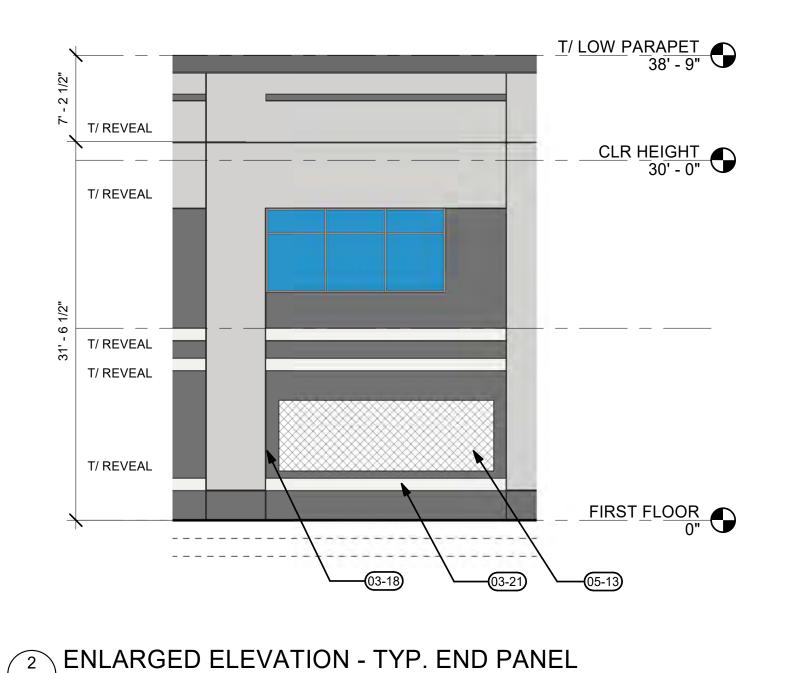
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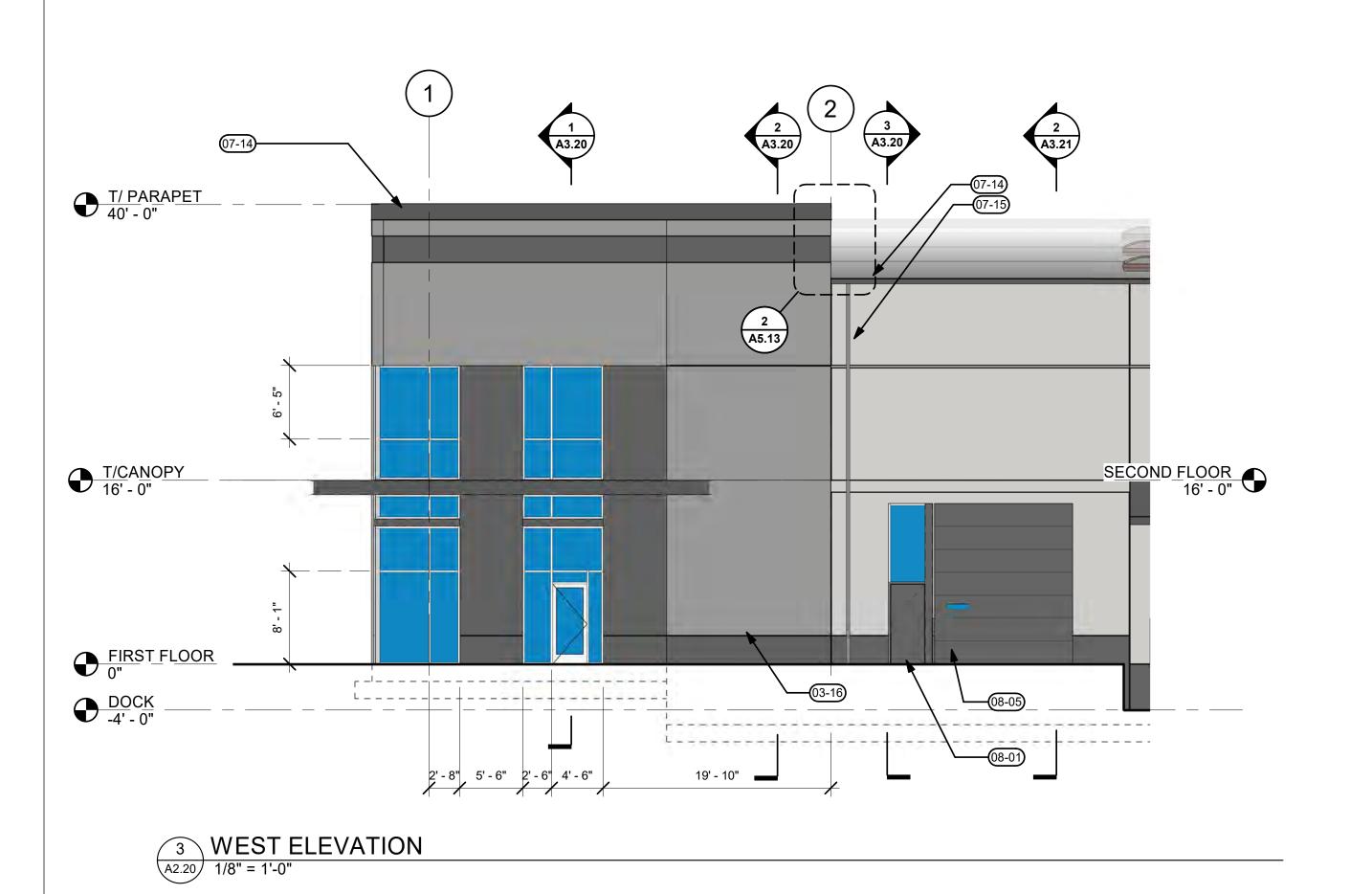
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BUILDING **ELEVATIONS** 

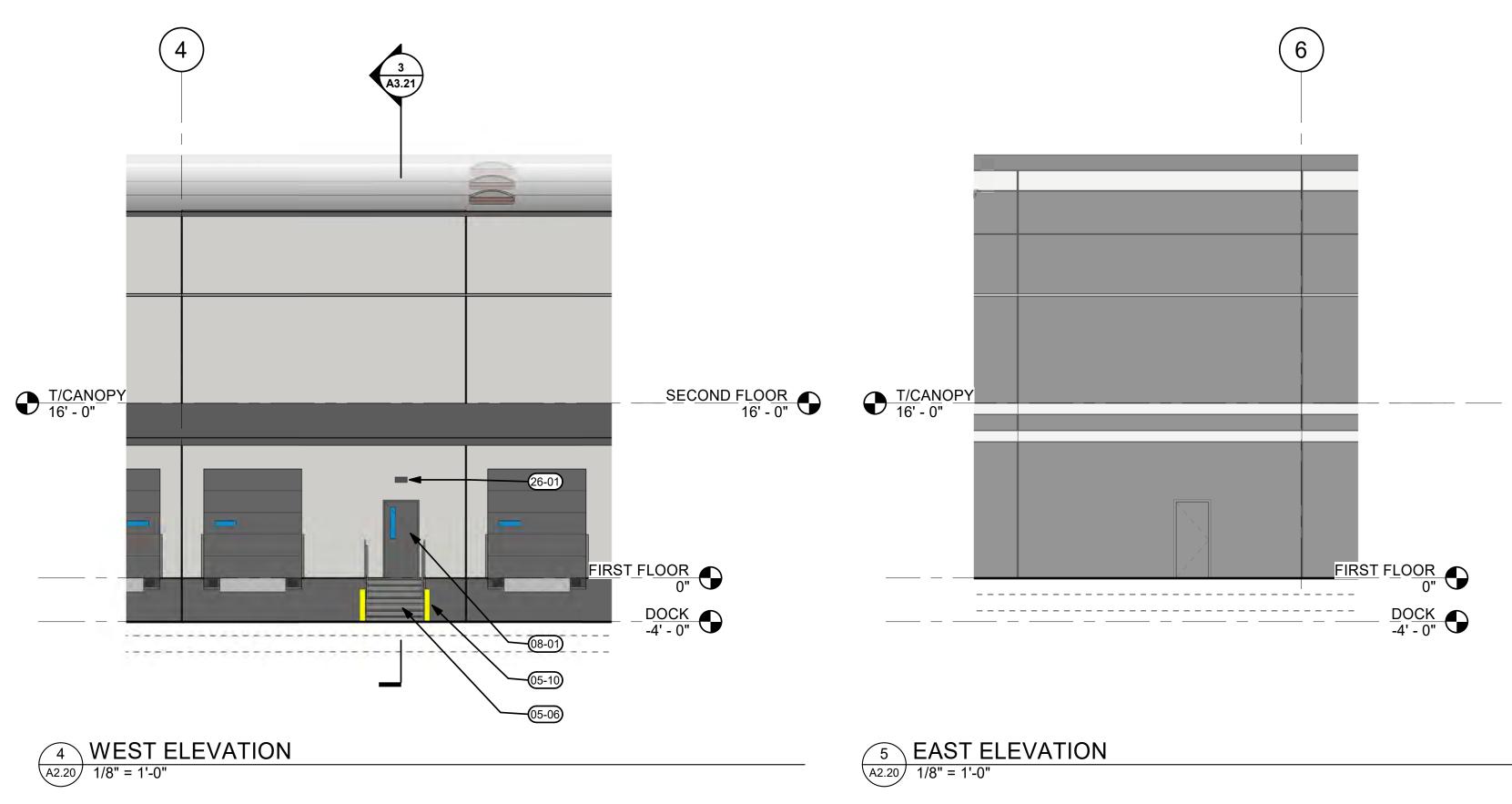
DRAWN BY: ADG





A2.20 1/8" = 1'-0"





**KEYNOTES** 

03-16 TILT-UP CONCRETE PANEL, SEE STRUCTURAL 1" REVEAL "A", SEE DETAIL 5/A5.11

03-18 12" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11 STEEL ACCESS STAIRS, SEE DETAILS 1-4/A5.12

STEEL BOLLARD, SEE DETAIL 6/A5.12 PERFORATED ARCHITECTURAL METAL PANELS FASTENED TO CONCRETE WALLS WITH VERT. HAT CHANNELS, SEE DETAIL

SHEET METAL PARAPET FLASHING, SEE DETAIL 1/A5.13

DOWNSPOUT, SEE DETAIL XX.XX INSULATED HM PERSONNEL DOOR, PAINT PER ELEVATIONS.

SEE DOOR SCHEDULE 12'-0" X 14'-0" OHD INSULATED DRIVE-IN DOOR WITH 3'-0" X 7'-0" PERSONNEL DOOR, PAINT P-1, WITH 1" INSULATED TRANSOM

WINDOW ABOVE. SEE DOOR SCHEDULE STOREFRONT WINDOW, SEE DETAILS 1-3/A5.20

EXTERIOR LIGHT. DESIGN-BUILD ELECTRICAL TO VERIFY ALL REQUIREMENTS. COORDINATE WITH A/E IF LOCATIONS ARE TO CHANGE. SEE CIVIL FOR ADDITIONAL INFORMATION. SHOE BOX STYLE, DARK ANODIZED FINISH AND FULL CUT OFF.

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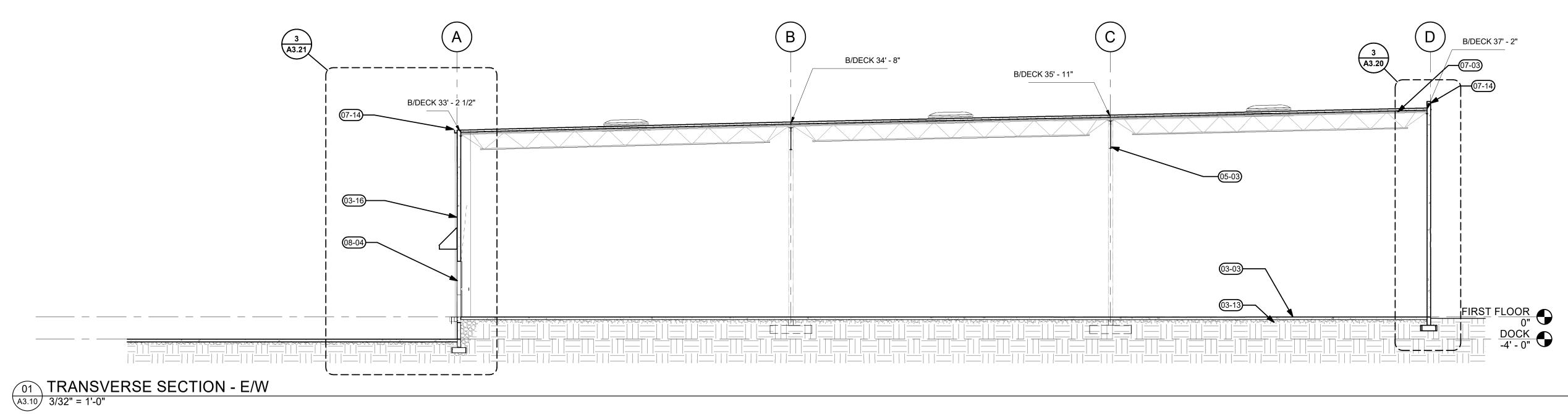
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SHEET TITLE:
ENLARGED **BUILDING ELEVATIONS** 

A2.20



## **KEYNOTES**

- 6" CONCRETE SLAB ON GRADE, SEE STRUCTURAL COMPACT GRANULAR FILL, PER GEOTECH RECOMMENDATIONS
- TILT-UP CONCRETE PANEL, SEE STRUCTURAL
- STEEL GIRDER, SEE STRUCTURAL STEEL DECKING, SEE STRUCTURAL
- RIGID INSULATION, SEE TYPICAL ROOF ASSEMBLY 3/A3.10. PROVIDE FIRESTOPPPING WHERE RATED WALL MEETS UNDERSIDE OF ROOF DECK. SEE DETAIL XX.XX.
- SHEET METAL PARAPET FLASHING, SEE DETAIL 1/A5.13
- INSULATED HM PERSONNEL DOOR AT ELECTRICAL ROOM, PAINT PER ELEVATIONS, SEE DOOR SCHEDULE 9'-0" X 10'-0" OHD INSULATED HIGH-LIFT DOCK DOOR, PAINT P-1.
- SEE DOOR SCHEDULE
- STOREFRONT WINDOW, SEE DETAILS 1-3/A5.20 ROOF ACCESS, SEE DETAILS 14-15/A5.13
- EXTERIOR LIGHT. DESIGN-BUILD ELECTRICAL TO VERIFY ALL
- REQUIREMENTS. COORDINATE WITH A/E IF LOCATIONS ARE TO CHANGE. SEE CIVIL FOR ADDITIONAL INFORMATION. SHOE BOX STYLE, DARK ANODIZED FINISH AND FULL CUT OFF.

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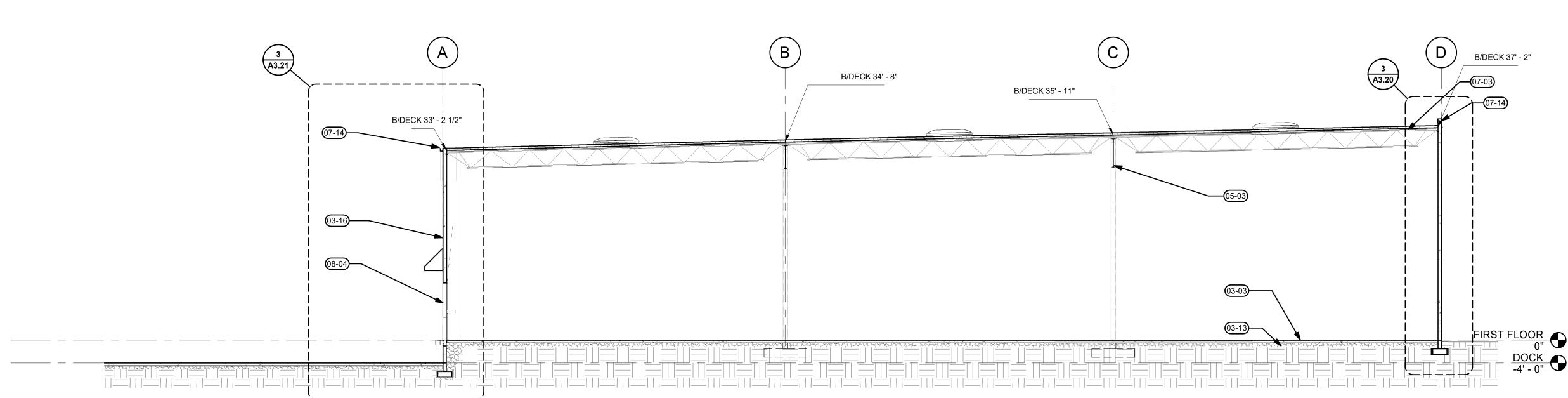
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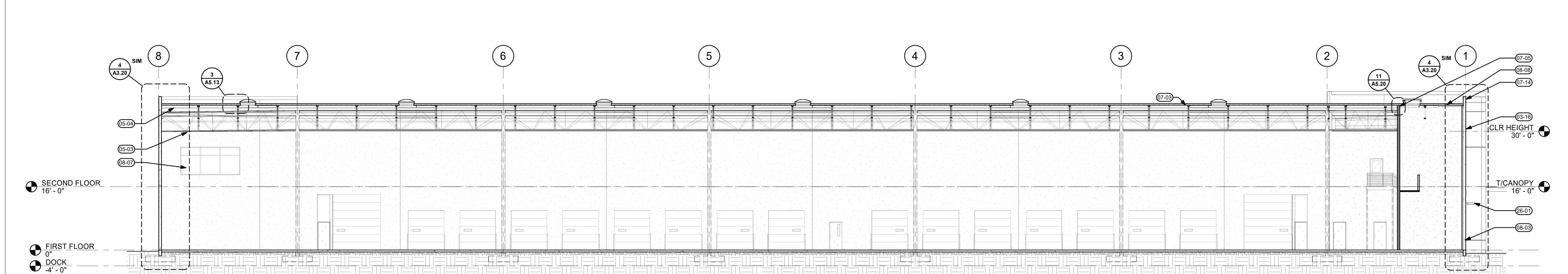
SHEET TITLE:
BUILDING **SECTIONS** 

A3.10

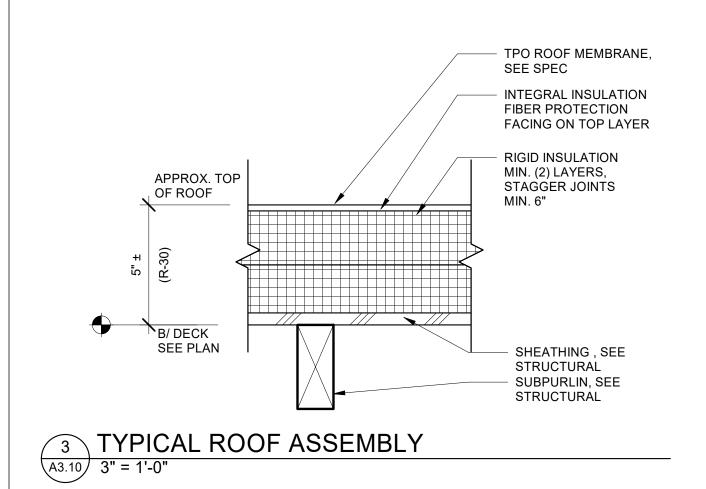








# 2 LONGITUDINAL SECTION - N/S A3.10 3/32" = 1'-0"



## **GENERAL NOTES**

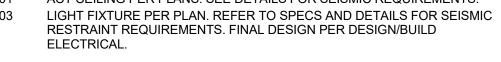
A. SEE ARCHITECTURAL GENERAL NOTES ON A0.01 FOR ADDITIONAL INFORMATION B. SEE A1.10 FOR WALL TYPES

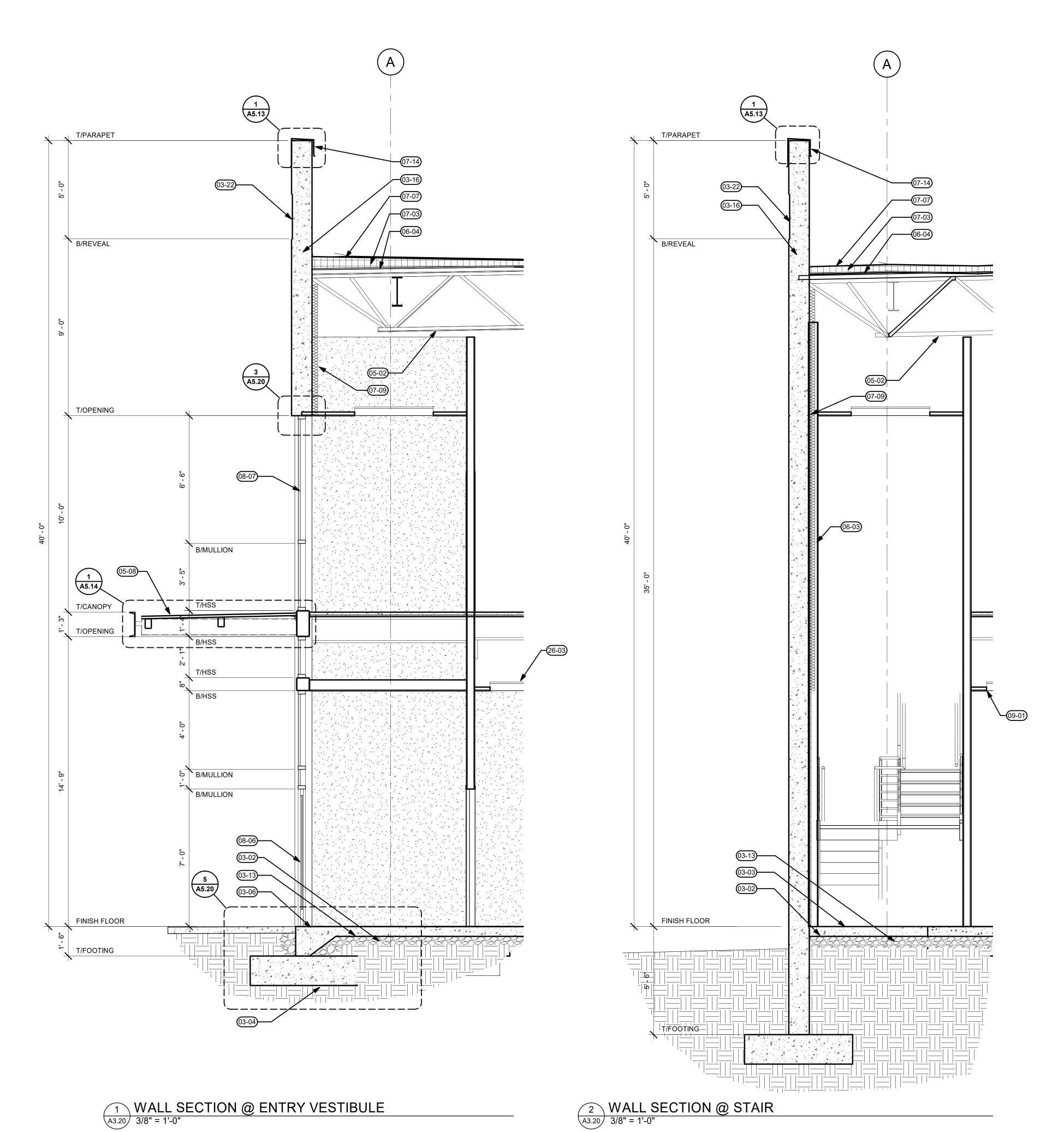
## **KEYNOTES**

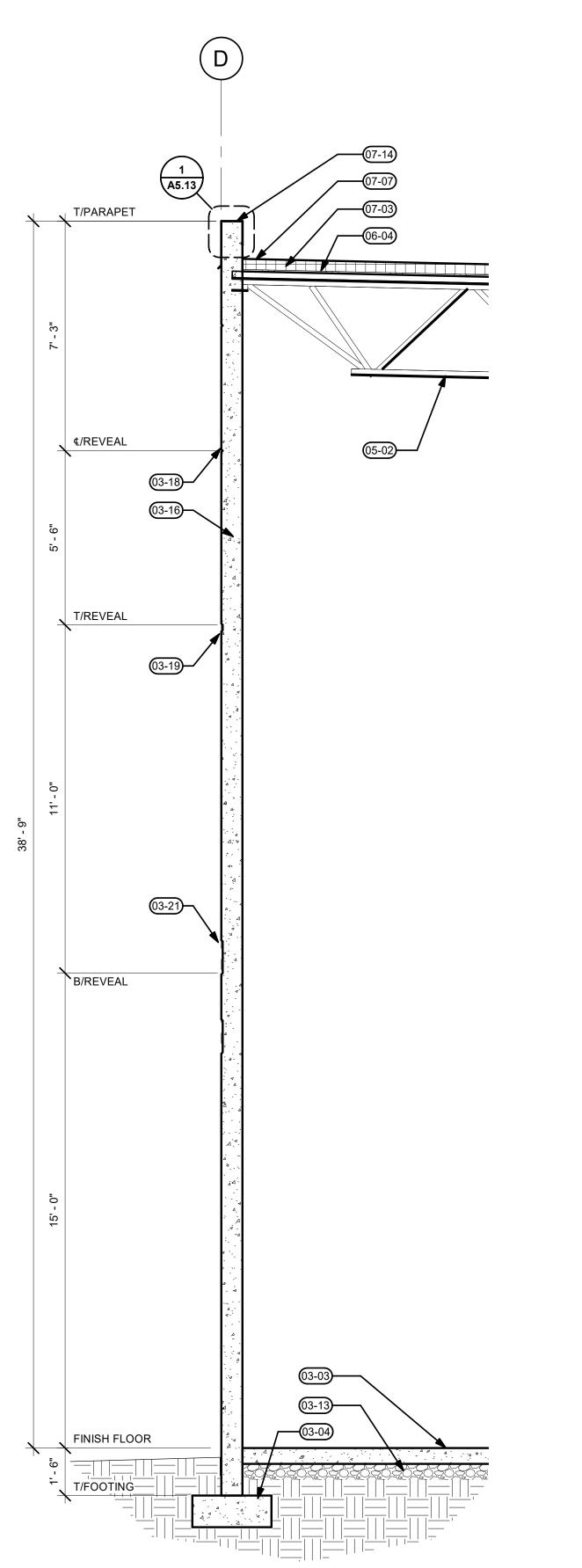
- 03-02 UNDERSLAB VAPOR BARRIER, EXTENTS PER HATCHED AREA, SEE
- 03-03 6" CONCRETE SLAB ON GRADE, SEE STRUCTURAL

**SPECIFICATIONS** 

- 03-04 CONCRETE FOOTING, SEE STRUCTURAL
- CONCRETE THICKENED SLAB, SEE STRUCTURAL COMPACT GRANULAR FILL, PER GEOTECH RECOMMENDATIONS
- TILT-UP CONCRETE PANEL, SEE STRUCTURAL
- 03-18 1" REVEAL "A", SEE DETAIL 5/A5.11 03-19 2" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11
  - 6" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11 12" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11
  - 2'-3" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11 STEEL JOIST FRAMING, SEE STRUCTURAL
- 05-08 STEEL FRAMED CANOPY, SEE DETAILS 9-10/A5.13 FURRED OUT EXTERIOR WALL AT OFFICE PER PLANS. SEE WALL TYPES,
  - SHEET A1.10. WOOD ROOF DECK PER STRUCT.
- 07-01 CRICKET AS REQUIRED FOR MIN 1/4 PER FOOT SLOPE, SEE DETAIL 8/A5.13 RIGID INSULATION, SEE TYPICAL ROOF ASSEMBLY 3/A3.10.
- ROOF MEMBRANE, SEE TYPICAL ROOF ASSEMBLY 3/A3.10 STICK-PIN INSULATION AT EXTERIOR WALL, SEE WALL TYPES, SHEET A1.10
- SHEET METAL PARAPET FLASHING, SEE DETAIL 1/A5.13 STOREFRONT ENTRY, SEE XX.XX ENLARGED PLANS
- STOREFRONT WINDOW, SEE DETAILS 1-3/A5.20
- ACT CEILING PER PLANS. SEE DETAILS FOR SEISMIC REQUIREMENTS.
- RESTRAINT REQUIREMENTS. FINAL DESIGN PER DESIGN/BUILD

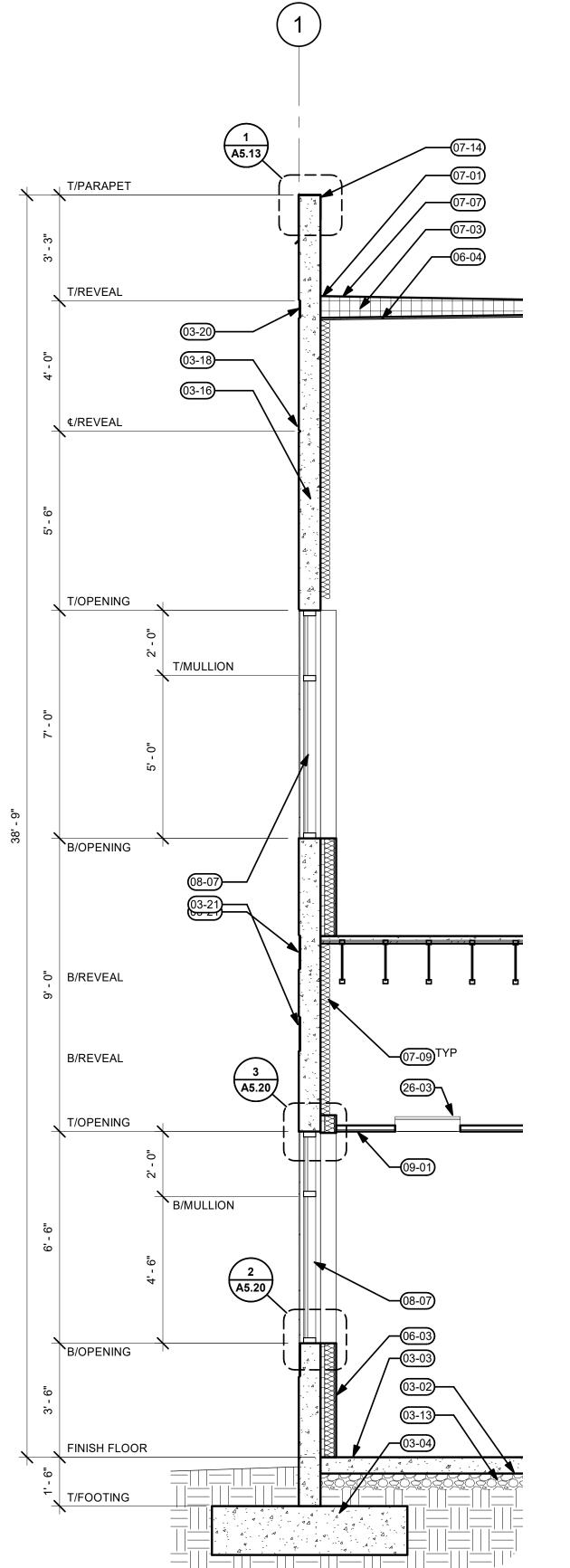






3 WALL SECTION @ PLAIN PANEL PARAPET

A3.20 3/8" = 1'-0"



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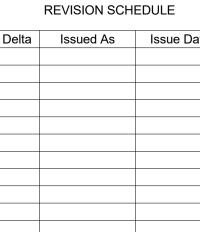
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SHEET TITLE:
WALL
SECTIONS

DRAWN BY: ADG CHECKED BY: SJM

A3.20

WALL SECTION @ STOREFRONT WINDOWS

A3.20 3/8" = 1'-0"

## **GENERAL NOTES**

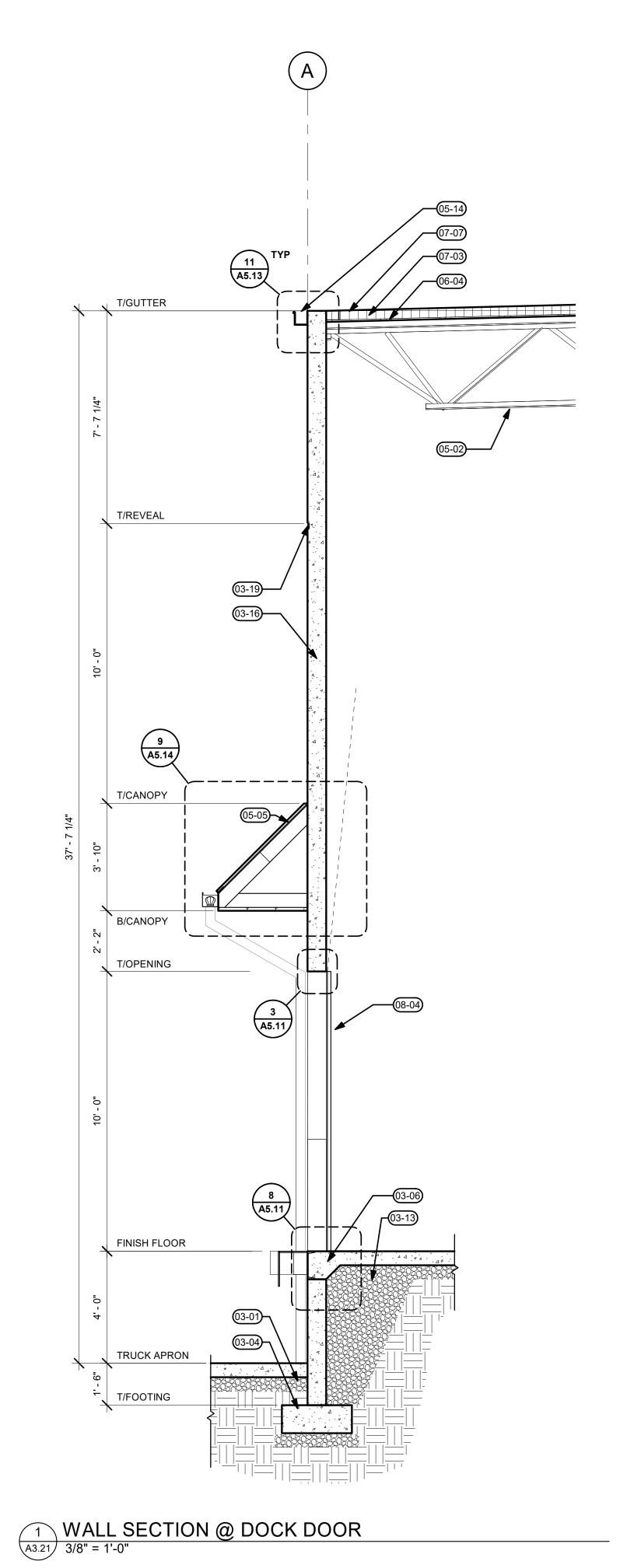
A. SEE ARCHITECTURAL GENERAL NOTES ON A0.01 FOR ADDITIONAL INFORMATIONB. SEE A1.10 FOR WALL TYPES

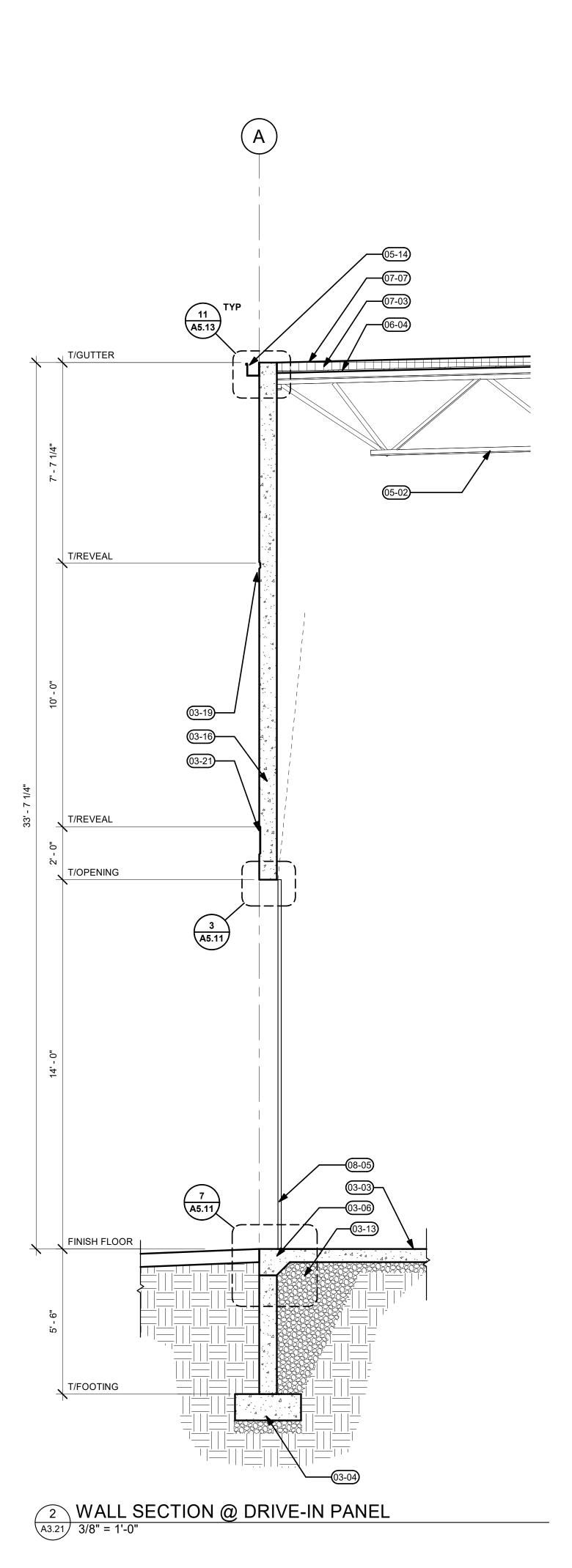
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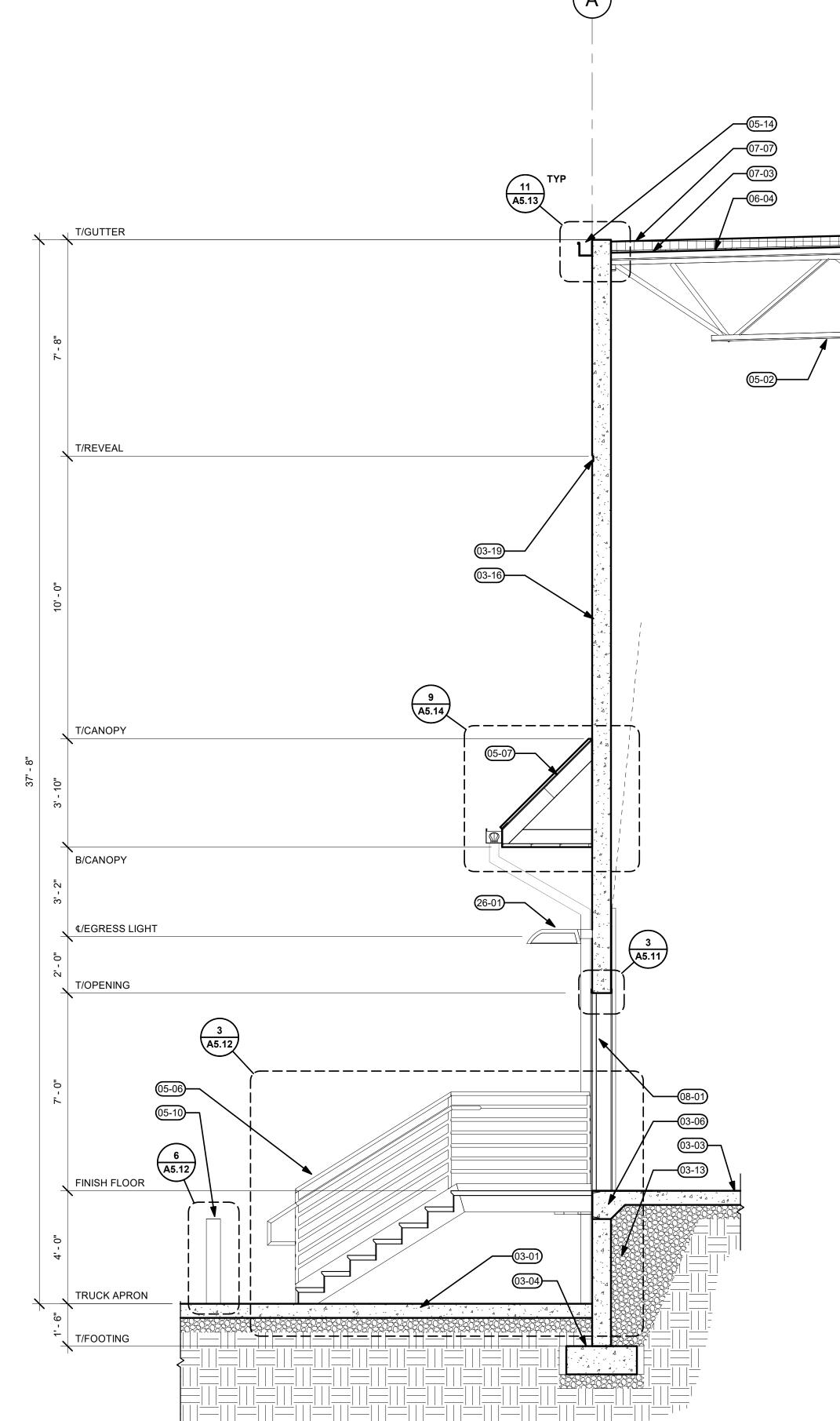
- 03-01 6" CONCRETE TRUCK APRON, SEE CIVIL 03-03 6" CONCRETE SLAB ON GRADE, SEE STRUCTURAL
- 03-04 CONCRETE FOOTING, SEE STRUCTURAL CONCRETE THICKENED SLAB, SEE STRUCTURAL

2" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11

- COMPACT GRANULAR FILL, PER GEOTECH RECOMMENDATIONS TILT-UP CONCRETE PANEL, SEE STRUCTURAL
- 12" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11 STEEL JOIST FRAMING, SEE STRUCTURAL
- CONTINUOUS CFS DOCK CANOPY WITH SHEET METAL ROOF, SEE DETAIL 7/A5.13
- 05-06 STEEL ACCESS STAIRS, SEE DETAILS 1-4/A5.12 STEEL FRAMED DOCK CANOPY, SEE DETAIL 7/A5.13
- STEEL BOLLARD, SEE DETAIL 6/A5.12 SHEET METAL GUTTER TO MATCH PARAPET COPING, SEE DETAIL
- 06-04 WOOD ROOF DECK PER STRUCT. 07-03 RIGID INSULATION, SEE TYPICAL ROOF ASSEMBLY 3/A3.10.
  - ROOF MEMBRANE, SEE TYPICAL ROOF ASSEMBLY 3/A3.10 INSULATED HM PERSONNEL DOOR, PAINT PER ELEVATIONS. SEE
  - DOOR SCHEDULE 9'-0" X 10'-0" OHD INSULATED HIGH-LIFT DOCK DOOR, PAINT P-1. SEE
- DOOR SCHEDULE 12'-0" X 14'-0" OHD INSULATED DRIVE-IN DOOR WITH 3'-0" X 7'-0"
- PERSONNEL DOOR, PAINT P-1, WITH 1" INSULATED TRANSOM WINDOW ABOVE. SEE DOOR SCHEDULE EXTERIOR LIGHT. DESIGN-BUILD ELECTRICAL TO VERIFY ALL
- REQUIREMENTS. COORDINATE WITH A/E IF LOCATIONS ARE TO CHANGE. SEE CIVIL FOR ADDITIONAL INFORMATION. SHOE BOX STYLE, DARK ANODIZED FINISH AND FULL CUT OFF.







3 WALL SECTION @ DOCK STAIR
A3.21 3/8" = 1'-0"

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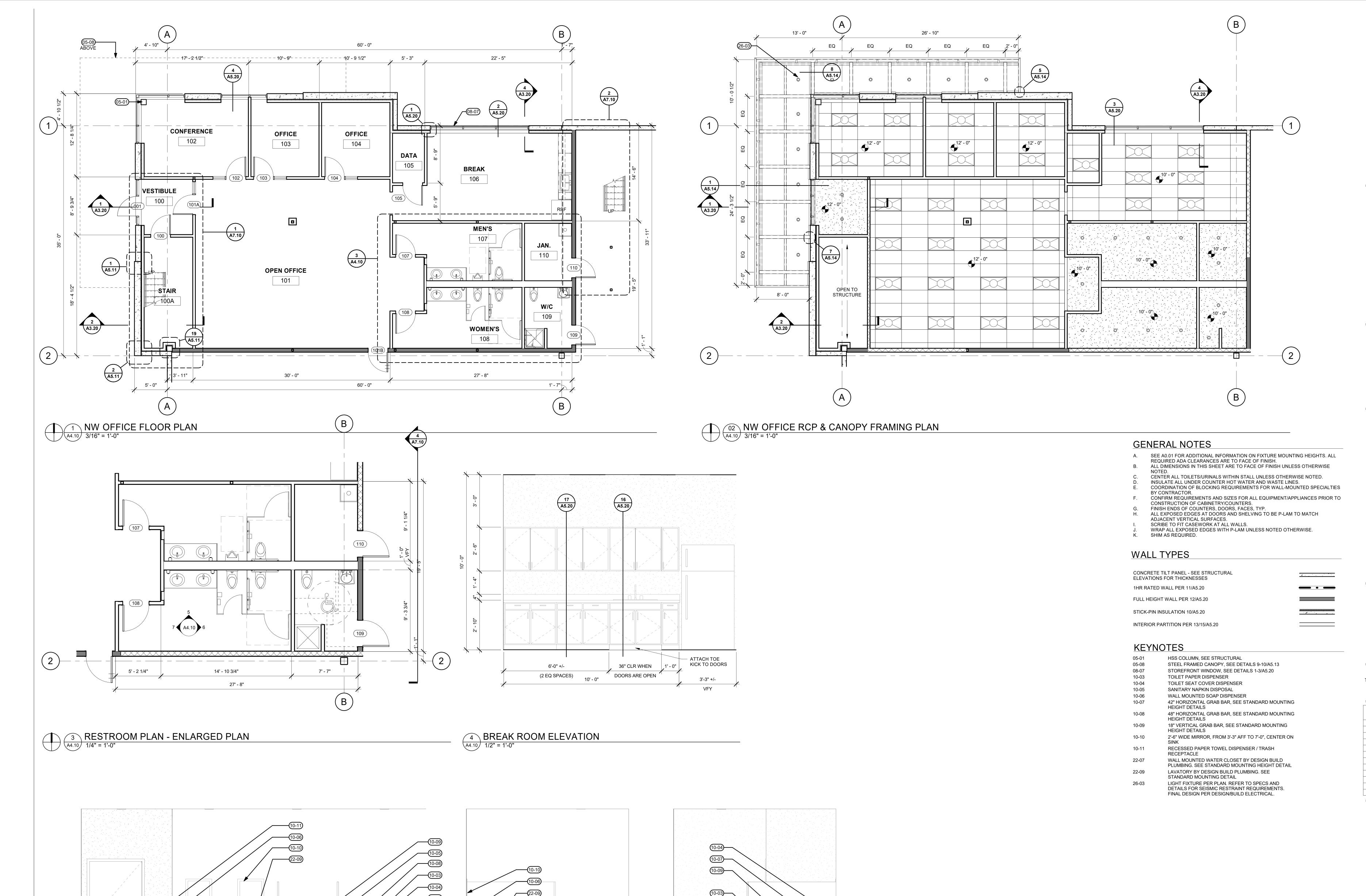
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A3.21



7 RESTROOM ELEVATION - WEST
A4.10 1/2" = 1'-0"

6 RESTROOM ELEVATION - EAST
A4.10 1/2" = 1'-0"

5 RESTROOM ELEVATION - NORTH

1/2" = 1'-0"

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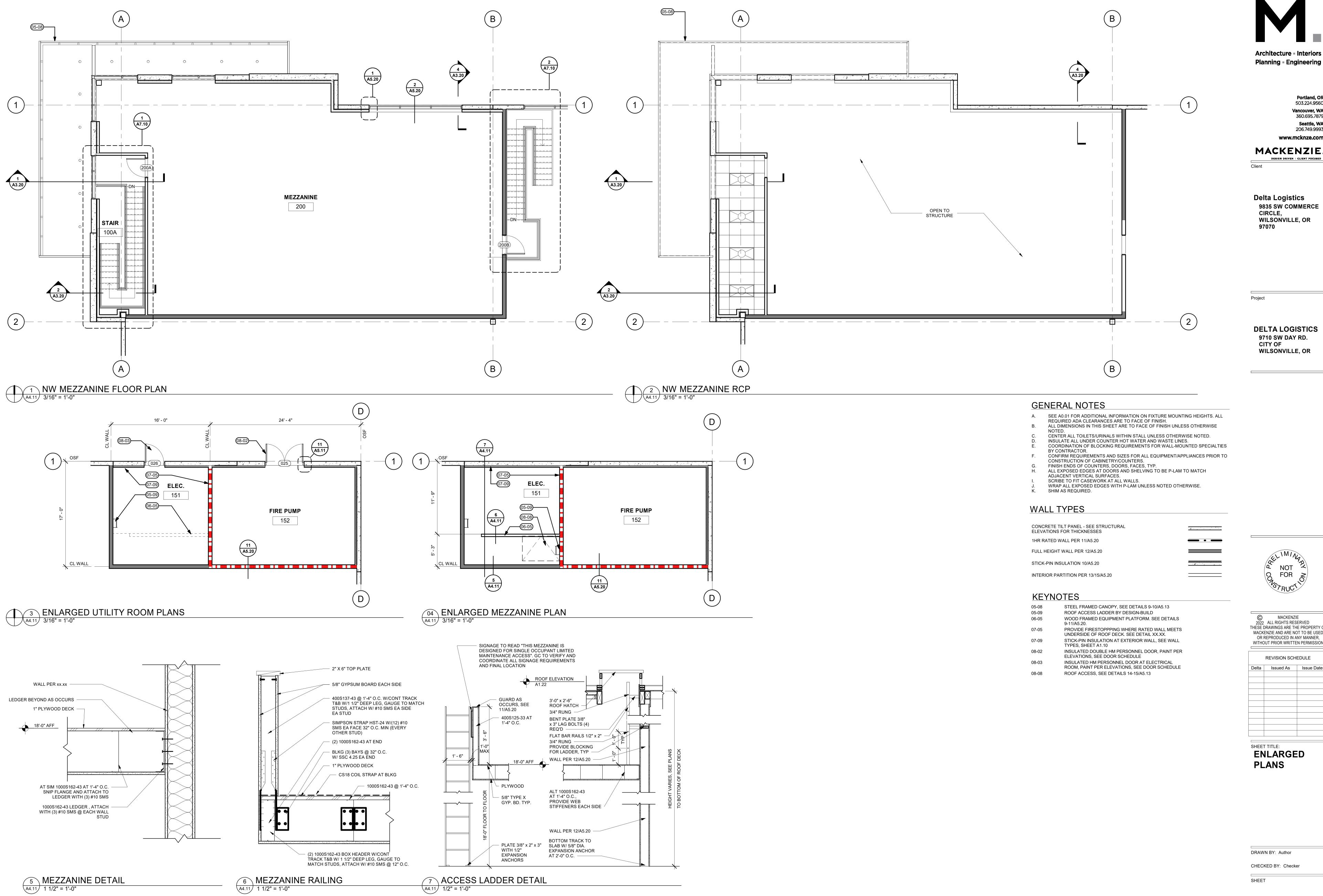
SHEET TITLE:
ENLARGED
PLANS

DRAWN BY: Author
CHECKED BY: Checker

CHECKED BY: Checker

SHEFT

A4.10



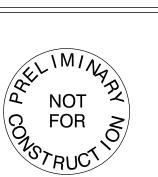
7 ACCESS LADDER DETAIL

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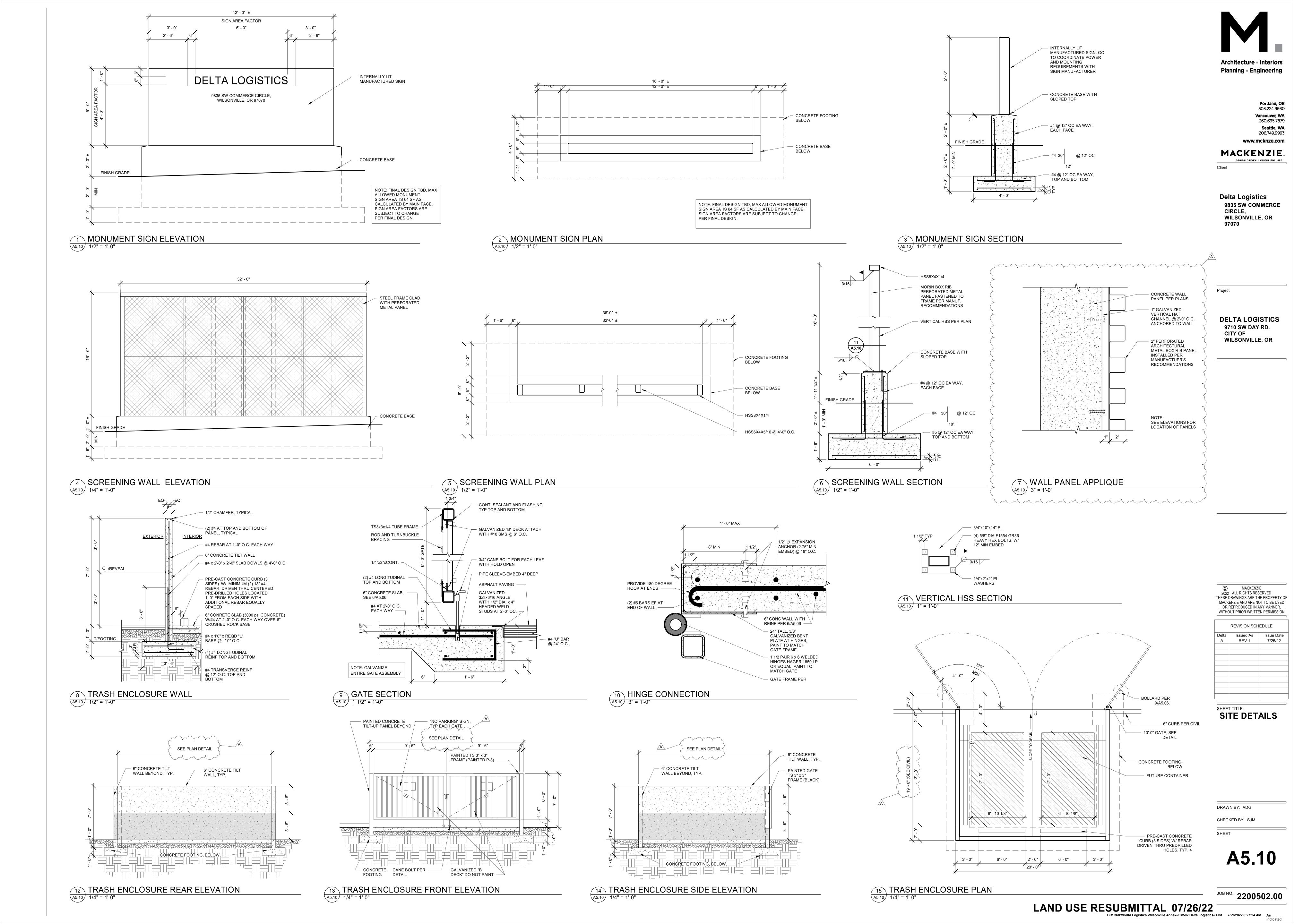
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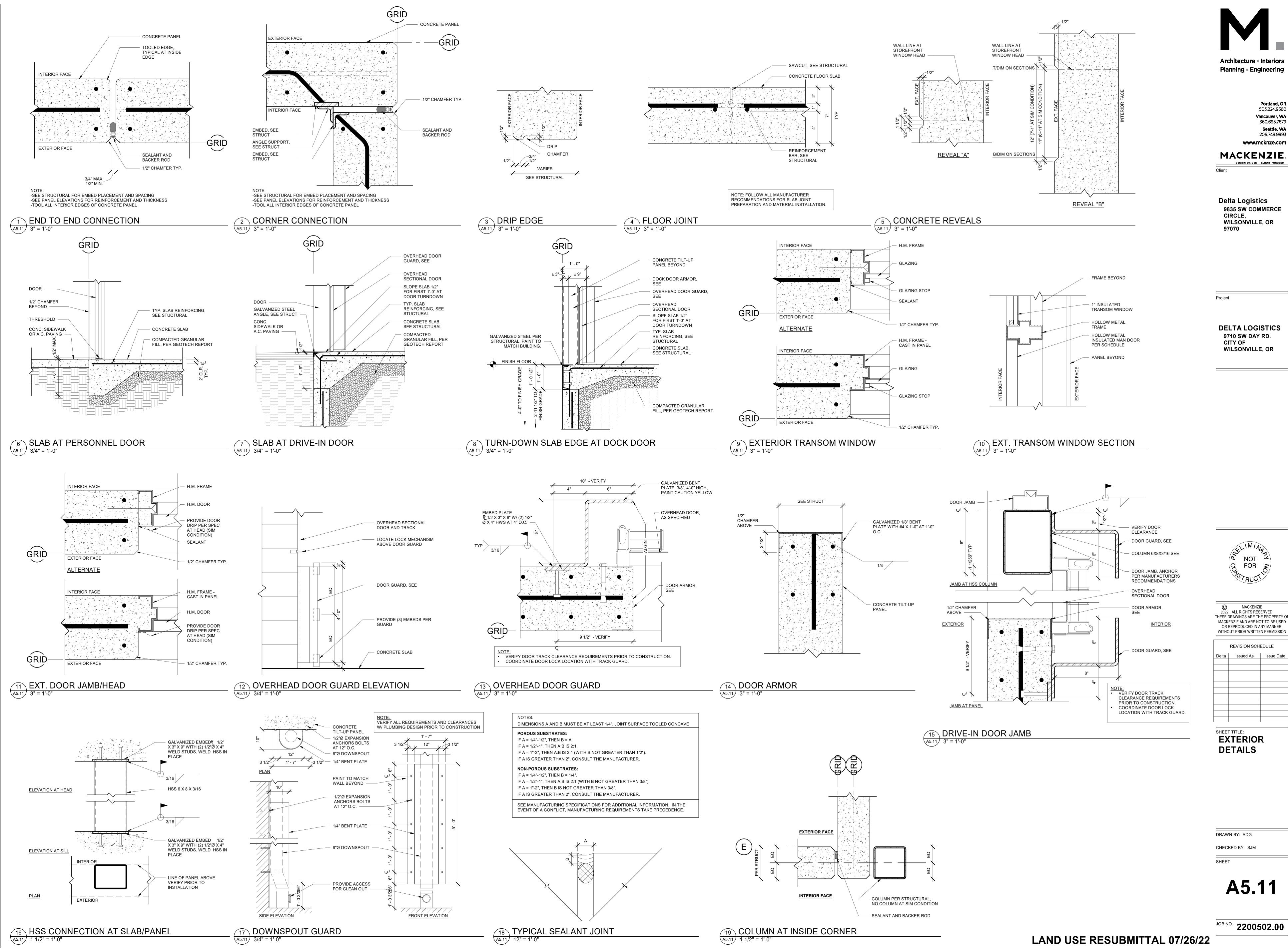
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**PLANS** 

DRAWN BY: Author CHECKED BY: Checker

A4.11





JOB NO. **2200502.00** 

NOT

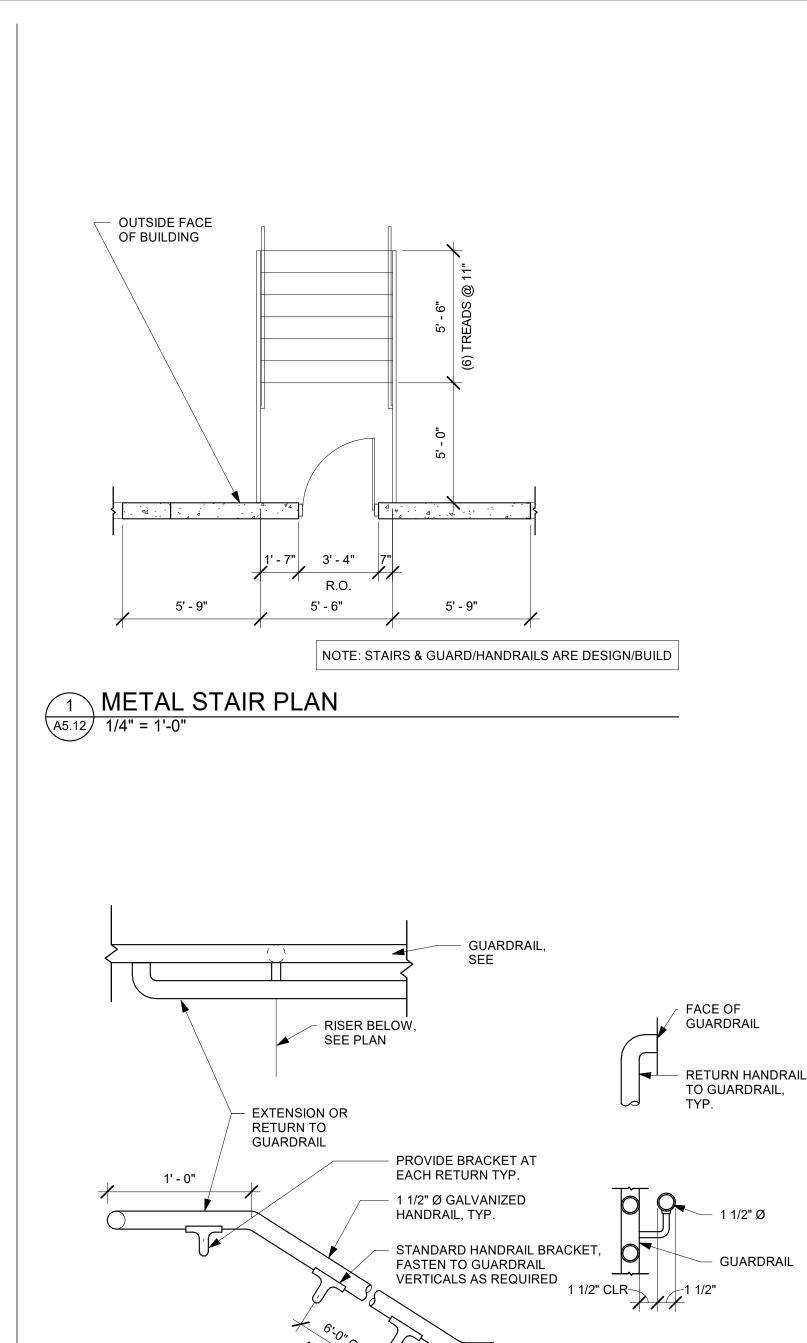
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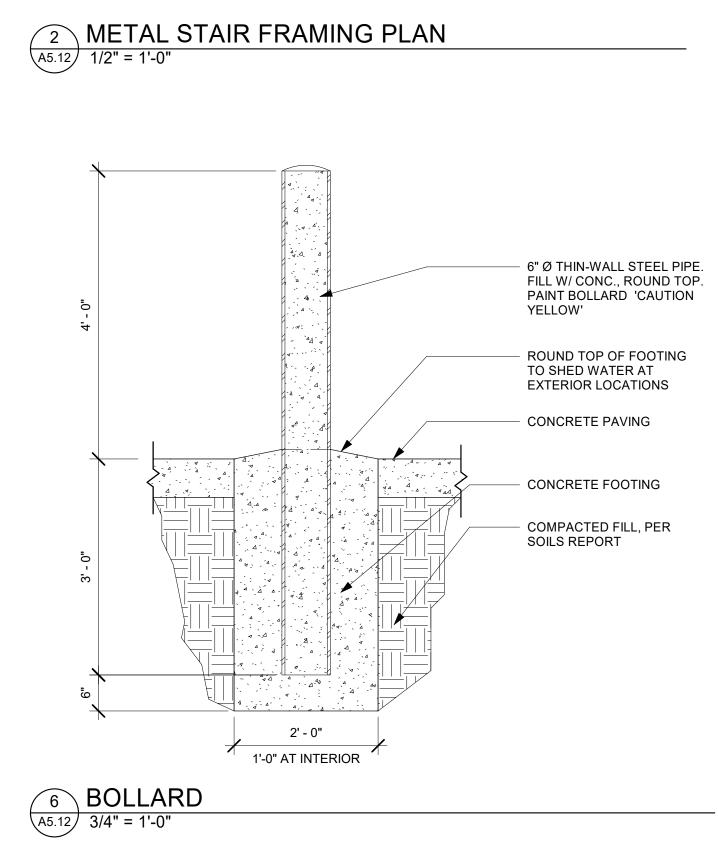
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5' - 6"

C12 x 20.7 ——

L 3 x 3 x 1/4

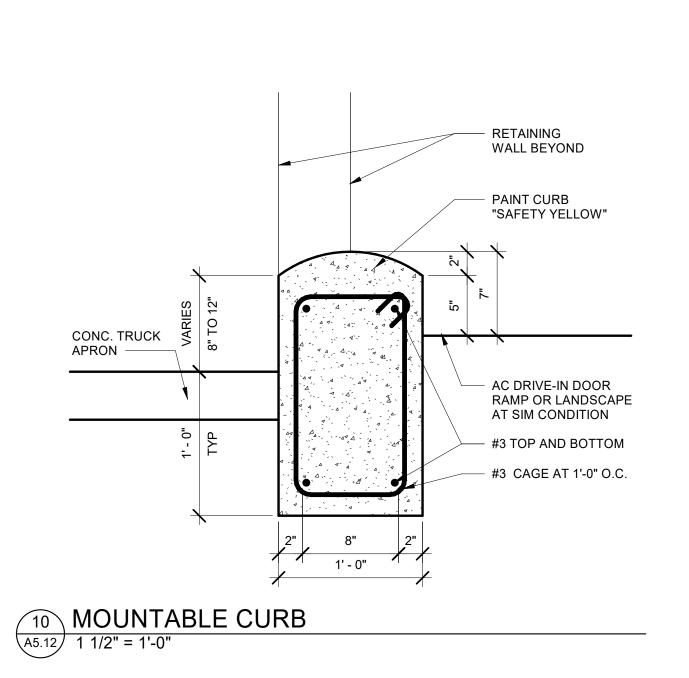
1/4 0

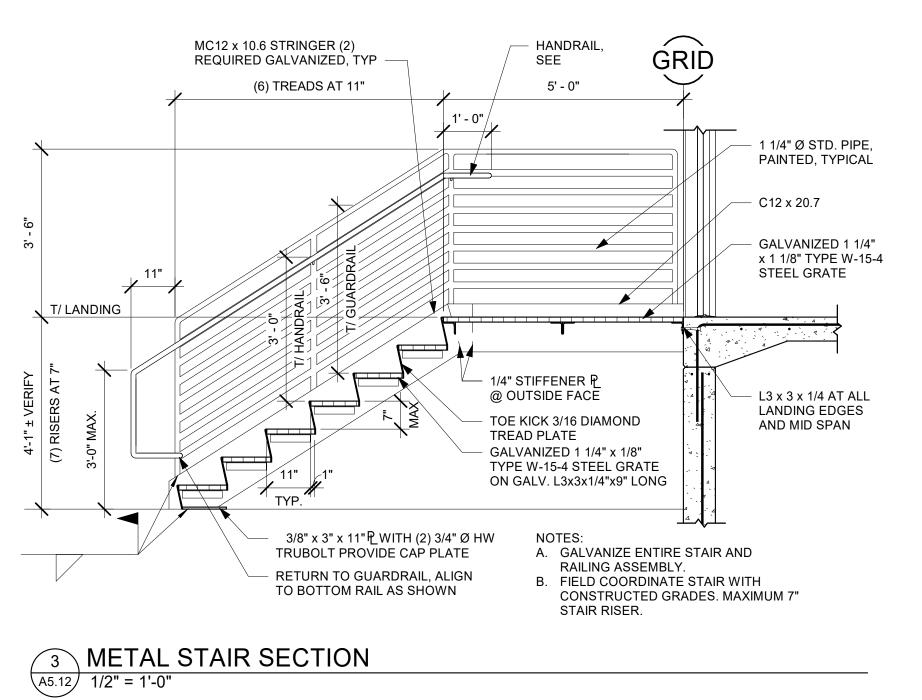
EMBED PLATE PL 1/2 x 6 x 12 W/ (2)

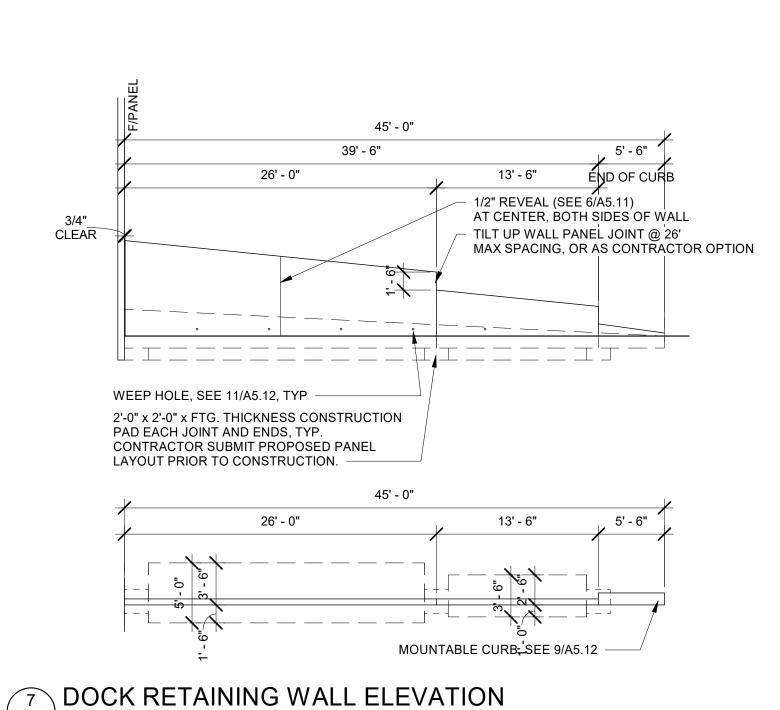
3/4" Ø X 5" HWS

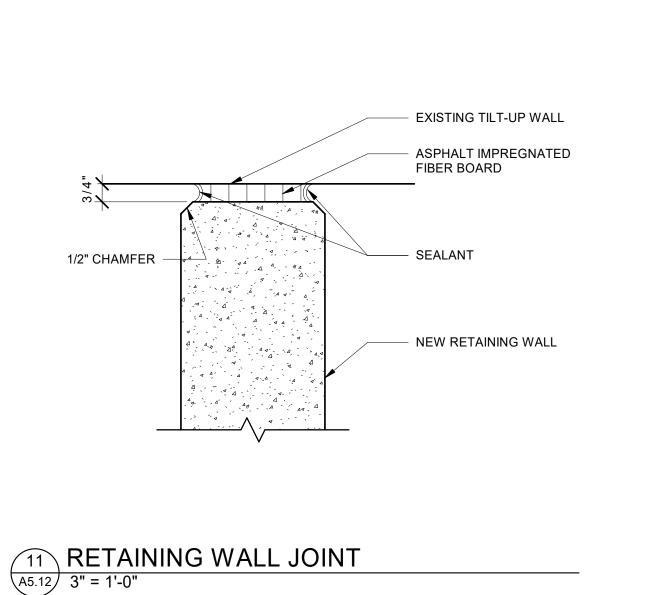
OUTSIDE FACE OF BUILDING

SPACED EQUALLY

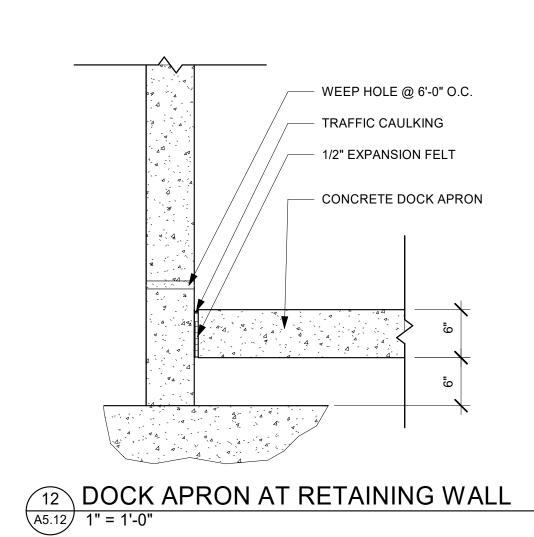


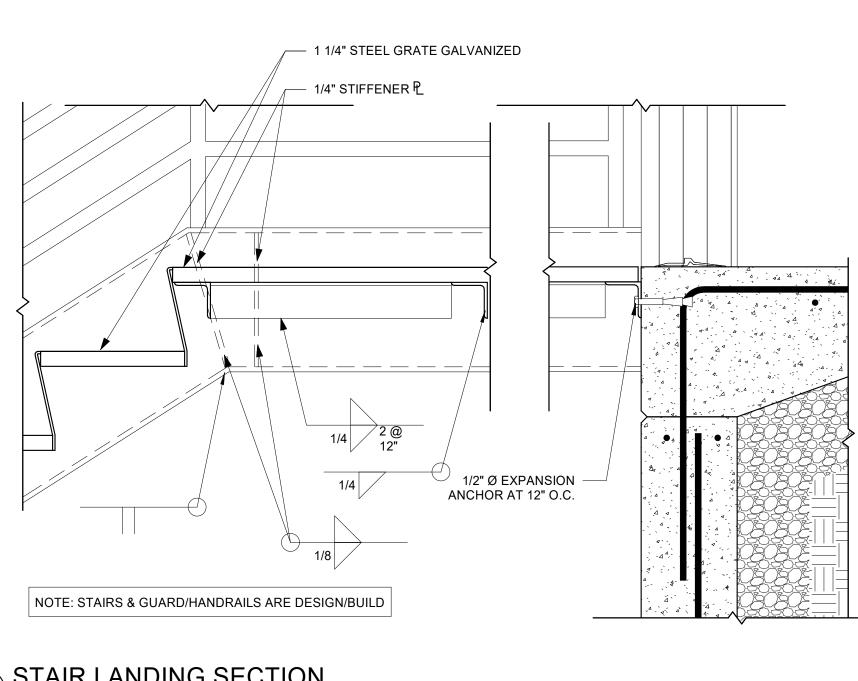


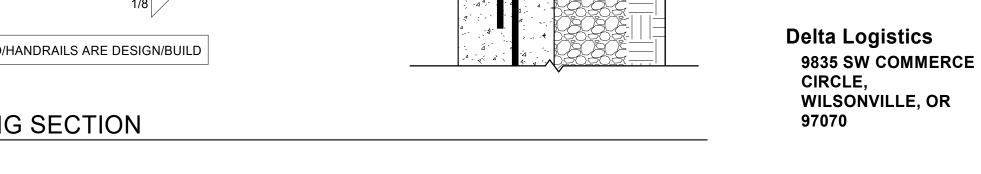


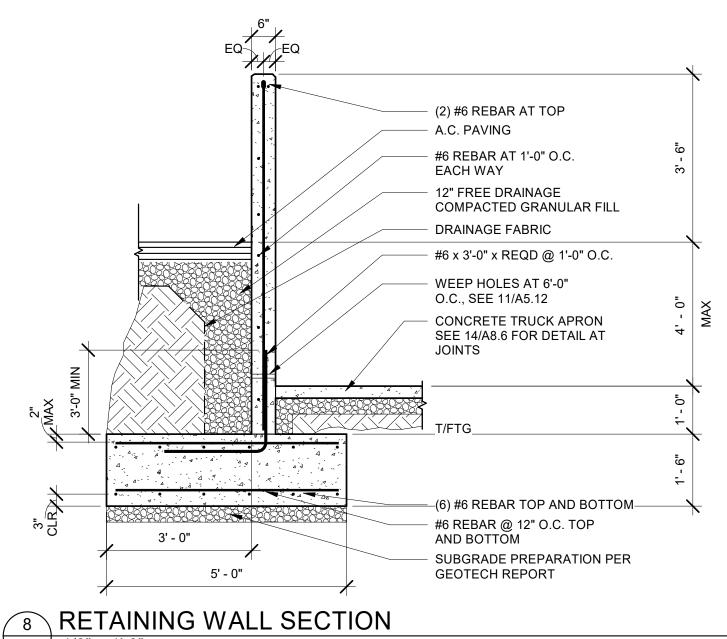


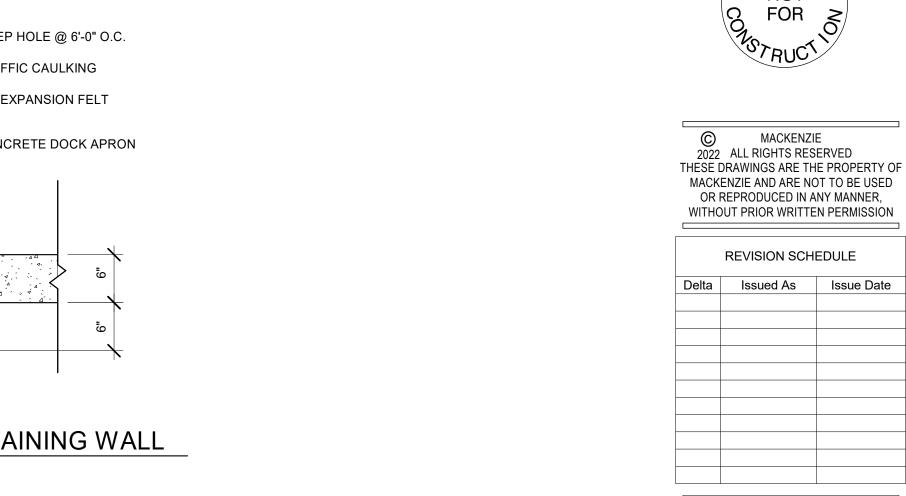
A5.12 1/8" = 1'-0"











SHEET TITLE: **EXTERIOR DETAILS** 

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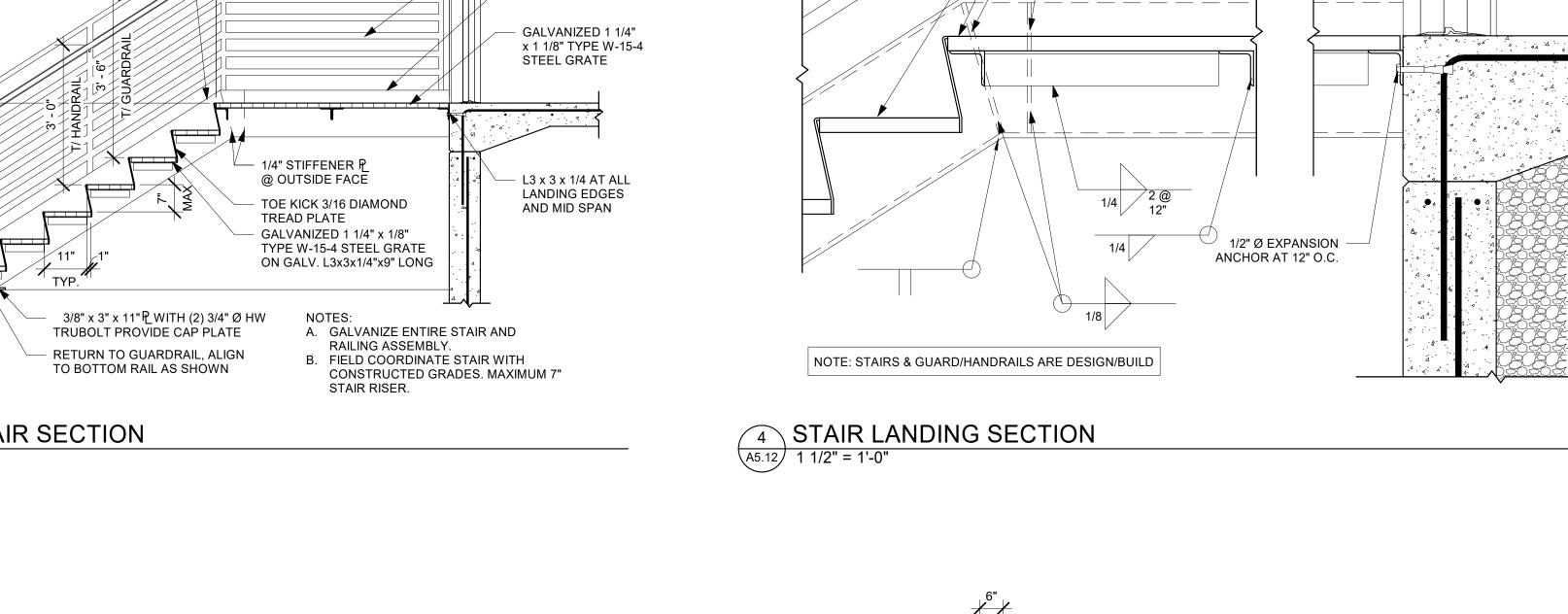
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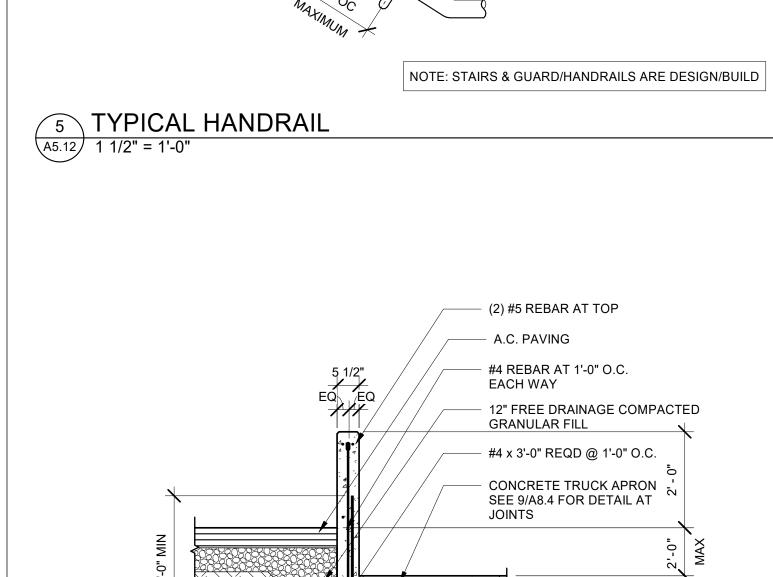
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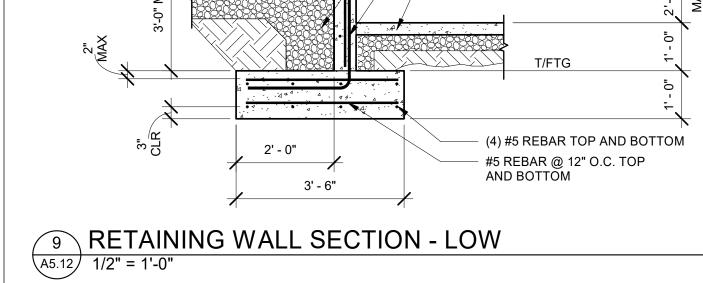
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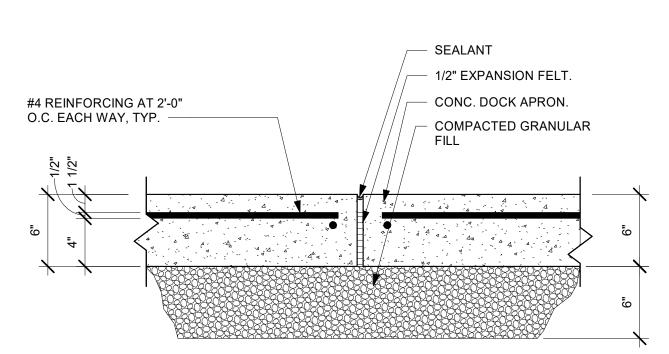
A5.12

JOB NO. **2200502.00** 

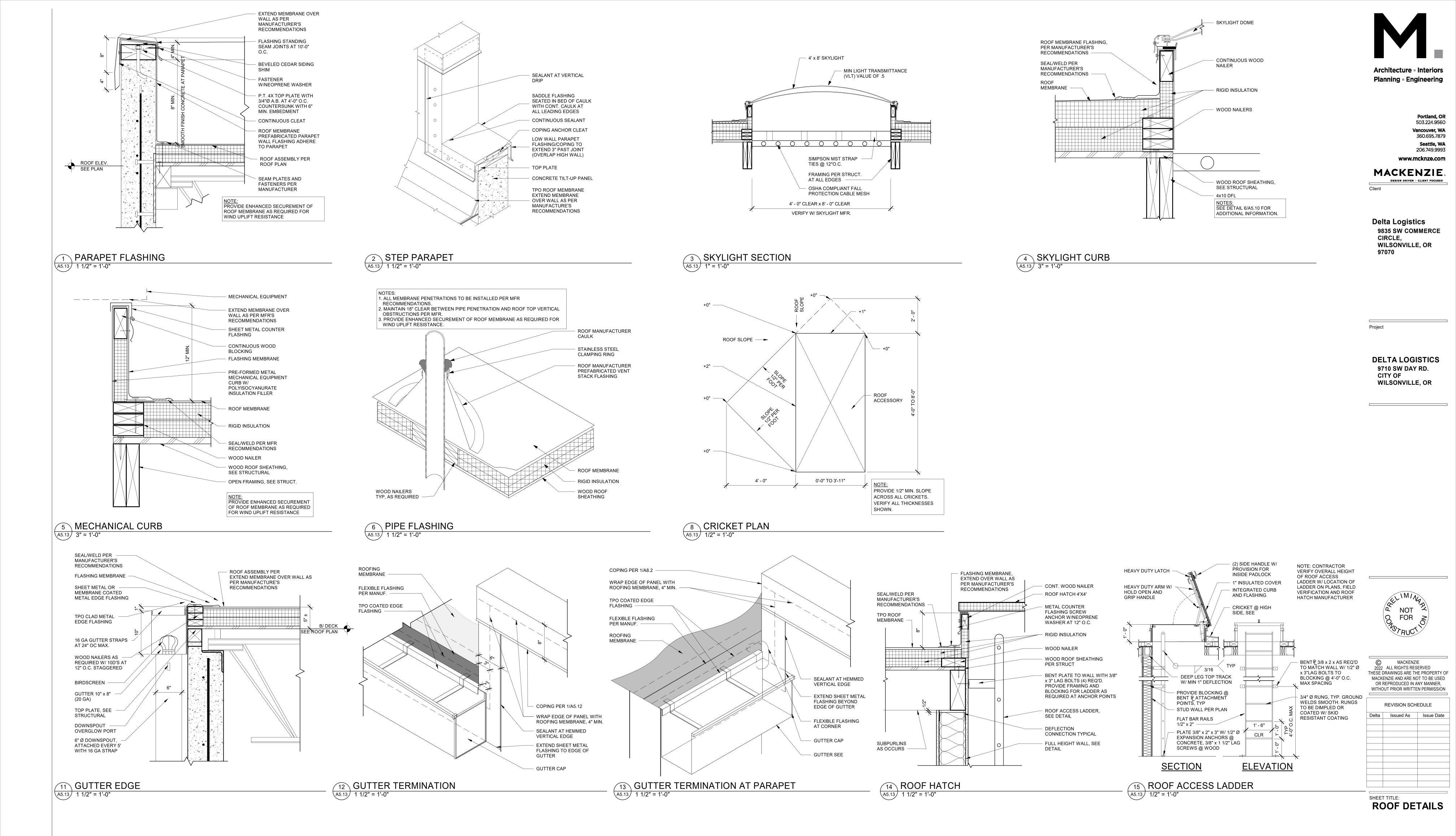






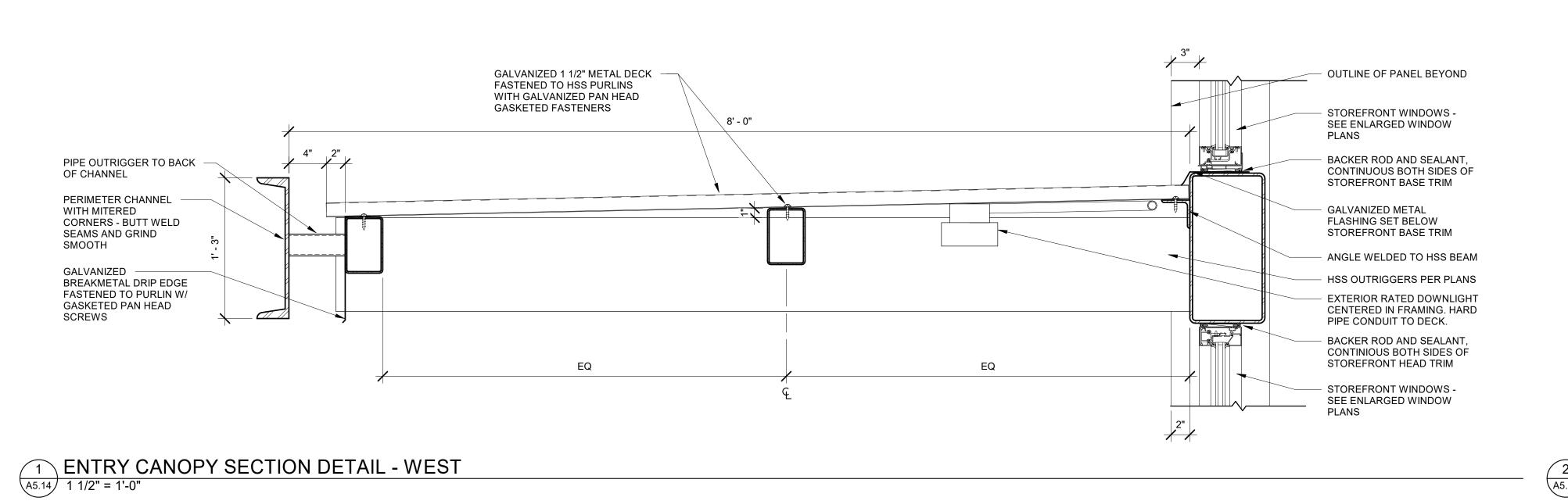


13 DOCK APRON JOINT A5.12 1 1/2" = 1'-0"



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A5.13

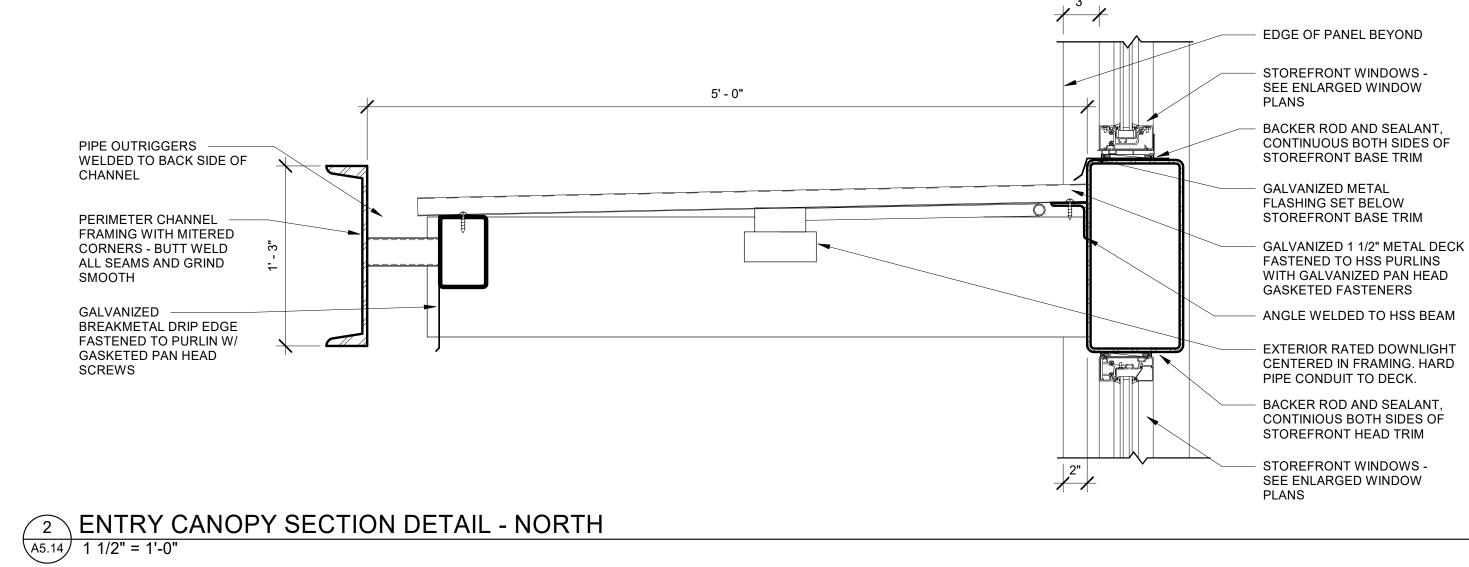


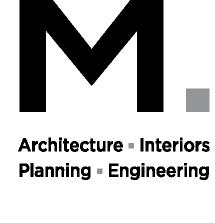
HSS 10 X 6 -

PRIMARY CANOPY FRAMING

A5.14) 1 1/2" = 1'-0"

PL 5/16" X 3" X 0'-4" EA SIDE W/ (2) 5/8" Ø ST BOLTS





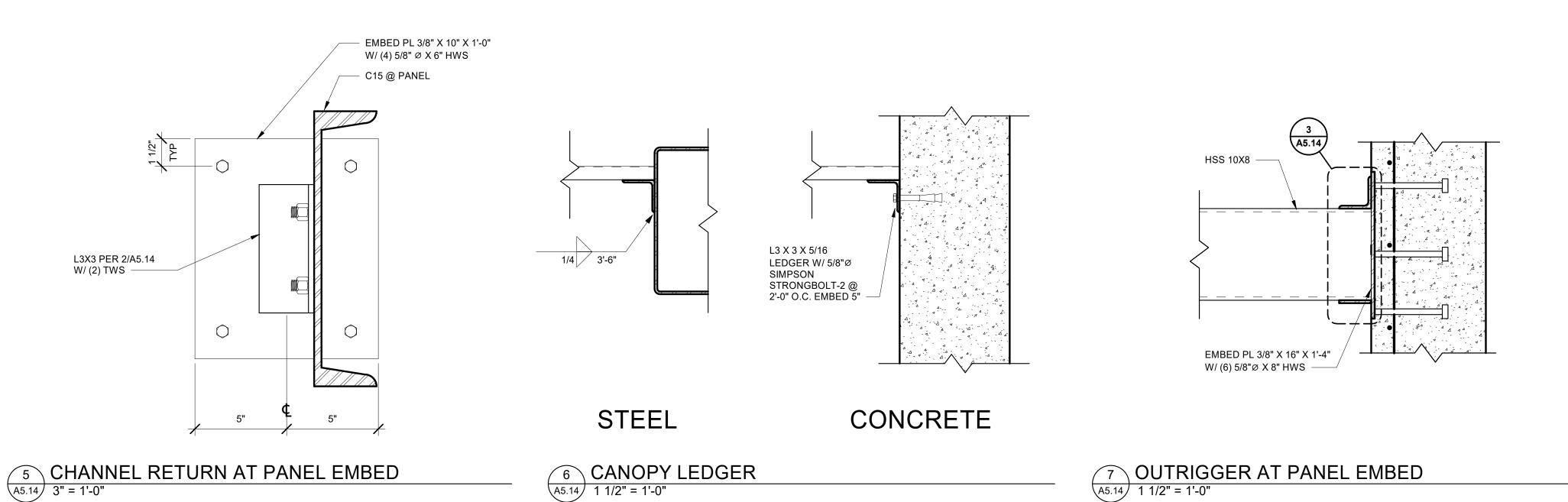
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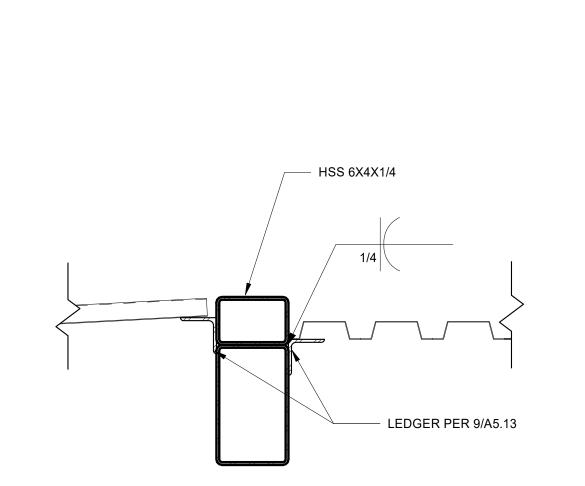
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WILSONVILLE, OR
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8 CANOPY ROOF/DECK TRANSITION
A5.14 1 1/2" = 1'-0"

(3) CANOPY CONNECTION AT FLOOR FRAMING

L3 1/2 X 3 1/2 X 5/16
 X 0'-4". CLIP LEDGER

@ CONNECTION

HSS 16X8X3/8

10 1/2"

PANEL BEYOND

FLOOR FRAMING PER STRUCT —

PL 5/16" X 3 1/2" X 0'-4"

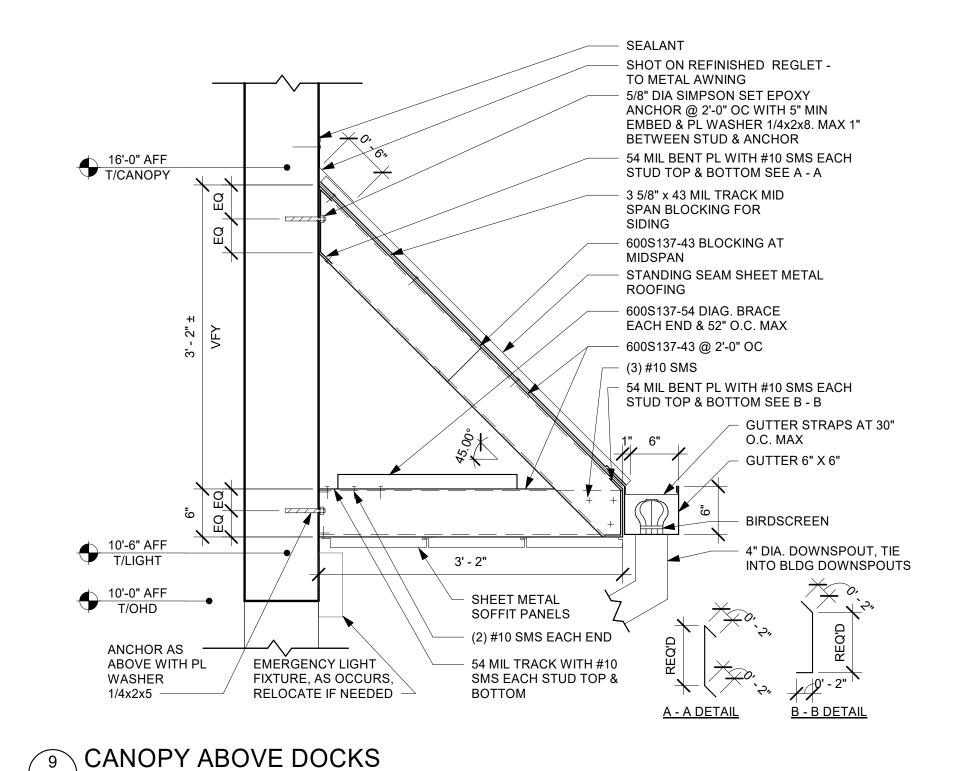
– L3 1/2 X 3 1/2 X 5/16 X 0'-7" EA

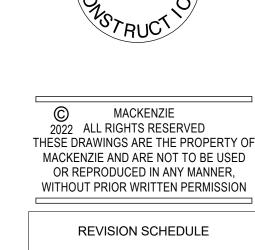
REQ'D BY CONTRACTOR

(3) SIDES \

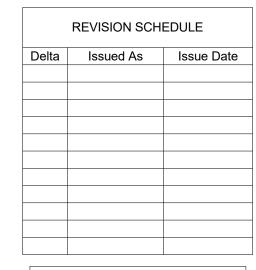
(3) SIDES TYP

A5.14 1 1/2" = 1'-0"





NOT



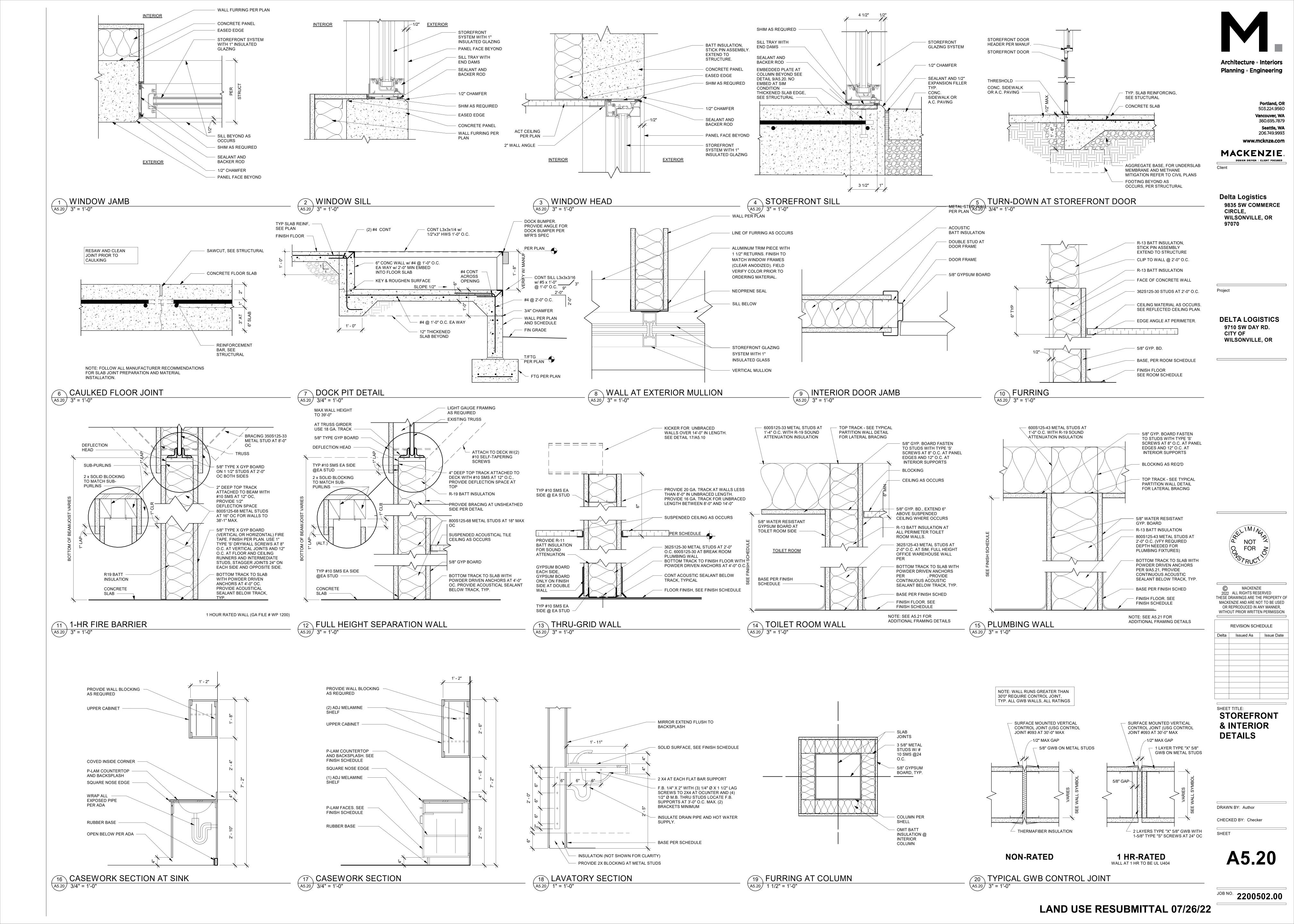
CANOPY DETAILS

DRAWN BY: Author

CHECKED BY: Checker

SHEET

A5.14



	DOOR SCHEDULE												
	To Room:	o Room: DOOR									HDWR		
DOOR	Name	WIDTH	HEIGHT	THK	TYPE	MAT'L	FINISH	TYPE	MAT'L	FINISH	GROUP	RATING	COMMENTS
001	VESTIBULE	3' - 0"	7' - 0"	1 3/4"	Α	AL/GL	GL/FF	SF	AL	FF	H1		
	STORAGE	3' - 0"	7' - 0"	1 3/4"	F	HM	P	HM	STL	P	H2		
003	STORAGE	12' - 0"	14' - 0"	1 1/2"	G	MANUF	P	-	-	_	-		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	P		_	_	_		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	P	_	_	_	_		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	P	-	_	_	_		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	P	_	_	_	-		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	P	-	_	_	-		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	P	_	_	_	_		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	P	_	_	_	_		
	STORAGE	3' - 0"	7' - 0"	1 3/4"	K	SC	S	НМ	STL	Р	H2		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	Р	-	-	_	-		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	P	_	_	_	_		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	P	-	_	_	_		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	P	_	_	_	_		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	P	_	_	_	_		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	P	_	_	_	_		
	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	Р	_	_	_	_		
019	STORAGE	9' - 0"	10' - 0"	1 1/2"	E	MANUF	P	_	_	_			
020		12' - 0"	14' - 0"	1 1/2"	G	MANUF	Р	_	_	_	_		
	STORAGE	3' - 0"	7' - 0"	1 3/4"	K	SC	S	НМ	STL	Р	H2		
	STORAGE	3' - 0"	7' - 0"	1 3/4"	K	SC	S	HM	STL	P	H2		
	STORAGE	3' - 0"	7' - 0"	1 3/4"	K	SC	S	HM	STL	P	H2		
	STORAGE	3' - 0"	7' - 0"	1 3/4"	K	SC	S	HM	STL	P	H2		
	FIRE PUMP	6' - 0"	7' - 0"	1 3/4"	D	HM	P	HM	STL	P	H4		
	ELEC.	3' - 0"	7' - 0"	1 3/4"	C	HM	P	HM	STL	P	H3		
	STORAGE	3' - 0"	7' - 0"	1 3/4"	K	SC	S	HM	STL	P	H2		
	STAIR	3' - 0"	7' - 0"	1 3/4"	K	SC	S	TIMELY	STL	FF	H6		
	OPEN OFFICE	3' - 0"	7' - 0"	1 3/4"	J	SC	S	TIMELY	STL	FF	H6		
	OPEN OFFICE	3' - 0"	7' - 0"	1 3/4"	K	SC	S	HM	STL	Р	H5		
	CONFERENCE	3' - 0"	7' - 0"	1 3/4"	J	SC	S	TIMELY	STL	FF	H6		
	OFFICE	3' - 0"	7' - 0"	1 3/4"	J	SC	S	TIMELY	STL	FF	H5		
	OFFICE	3' - 0"	7' - 0"	1 3/4"	J	SC	S	TIMELY	STL	FF	H5		
	BREAK	3' - 0"	7' - 0"	1 3/4"	Н	SC	S	TIMELY	STL	FF	H5		
	MEN'S	3' - 0"	7' - 0"	1 3/4"	Н	SC	S	TIMELY	STL	FF	H6		
	WOMEN'S	3' - 0"	7' - 0"	1 3/4"	Н	SC	S	TIMELY	STL	FF	H6		
	STORAGE	3' - 0"	7' - 0"	1 3/4"	Н	SC	S	НМ	STL	Р	H5		
	STORAGE	3' - 0"	7' - 0"	1 3/4"	Н	SC	S	HM	STL	P	H5		
	MEZZANINE	3' - 0"	7' - 0"	1 3/4"	K	SC	S	НМ	STL	Р	H6		
	MEZZANINE	3' _ N"	7' 0"	1 3//"	K	SC	Q	HM	STI	D	Н6		

## HARDWARE GROUPS

PROVIDE ALL HARDWARE SPECIFICED/REQUIRED TO MAKE DOORS FULLY FUNCTIONAL. COMPLIANT WITH APPLICABLE CODES, AND SECURE TO THE EXTENT SPECIFICED.

## H1 - EXTERIOR STOREFRONT DOOR

CYLINDERS BY HARDWARE SUPPLIER
BALANCE OF HARDWARE BY STOREFRONT SUPPLIER, SEE SPECIFICATIONS. EXIT DEVICE (PUSH/PULL)

## H2 - EXTERIOR ACCESS DOORS EXIT DEVICE (PUSH/PULL)

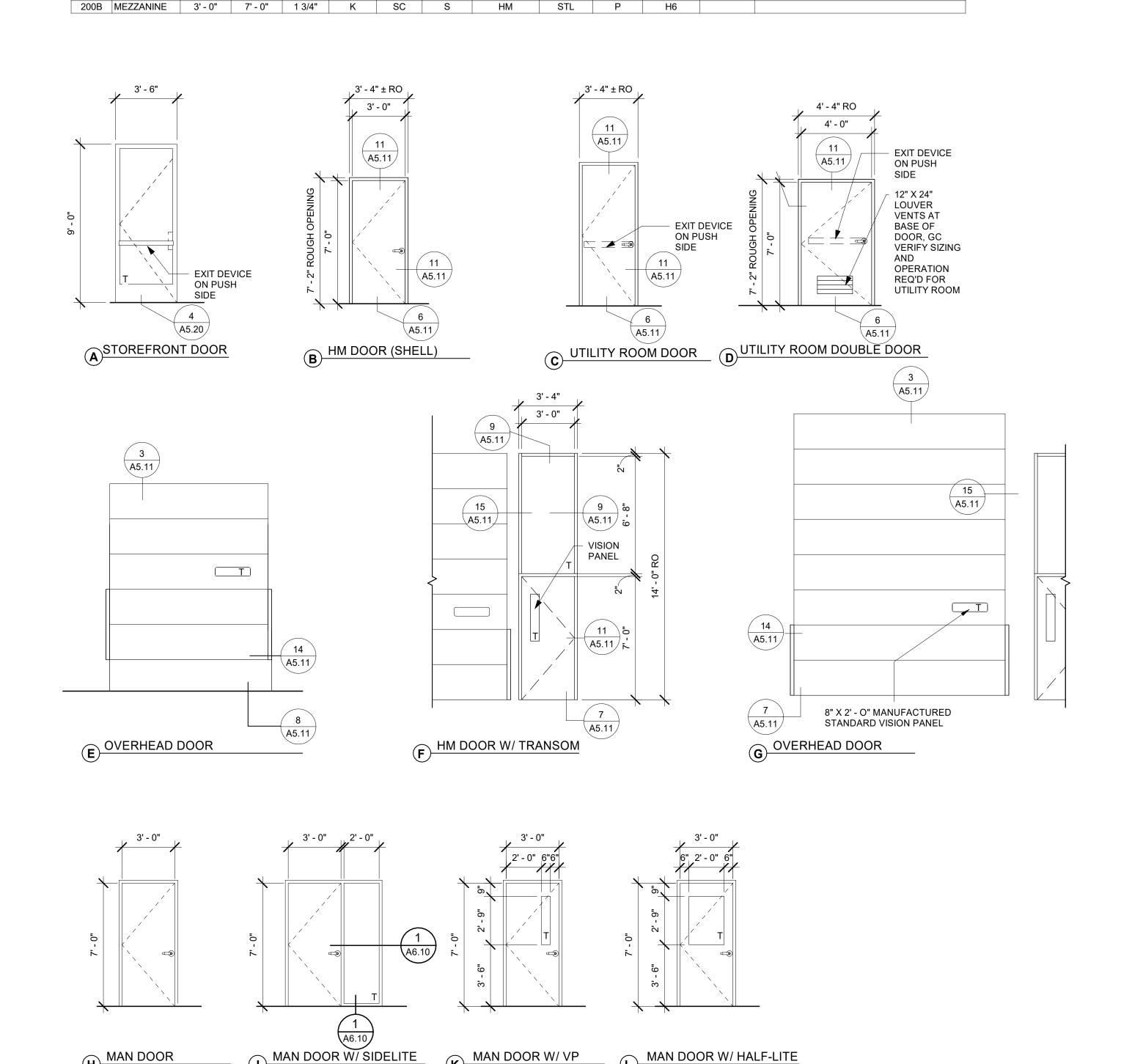
- BUTTS • CLOSER
- LOCK GUARDTHRESHOLD WEATHER STRIPPING
- DOOR DRIP DOOR SWEEP

## H3 - EXTERIOR UTILITY DOORS EXIT DEVICE

- BUTTS CLOSER LOCK GUARD
- THRESHOLDWEATHER STIPPING DOOR DRIP

## DOOR SWEEP H4 - EXTERIOR DOUBLE DOOR (FIRE PUMP ROOM)

- EXIT DEVICE
  MANUAL FLUSH BOLT (INACTIVE LEAF) STOREROOM LOCK (ACTIVE LEAF)
- ASTRAGAL BUTTS
- CLOSER LOCK GUARD
- THRESHOLD
- WEATHER STRIPPING DOOR DRIP DOOR SWEEP
- H5 PRIVACY
- **H6 PASSAGE**



1 DOOR TYPES A6.10 1/4" = 1'-0"	T=TEMPERED GLASS
A INTEGRAL DOOR/ WINDOW JAMB  METAL STUD WALL PER  5/8" GYP. BOARD	
2 RELITE DETAIL A6.10 3" = 1'-0"	

C1 - HOLLOW METAL DOOR

FINISH SCHEDULE									
ROOM NO	ROOM NAME	FLOOR MAT'L FINISH	BASE MAT'L FINISH	N. WALL MAT'L FINISH	E. WALL MAT'L FINISH	S. WALL MAT'L FINISH	W. WALL MAT'L FINISH	CEILING MAT'L FINISH	COMMENTS
100	VESTIBULE	CPT-1	RB-1	P-1	P-1	P-1	P-1	GYP BD	
100A	STAIR	CPT-2	RB-1	P-1	P-1	P-1	P-1	ACT-1	
101	OPEN OFFICE	CPT-2	RB-1	P-1	P-1	P-1	P-1	ACT-1	
102	CONFERENCE	CPT-2	RB-1	P-1	P-1	P-1	P-1	ACT-1	
103	OFFICE	CPT-2	RB-1	P-1	P-1	P-1	P-1	ACT-1	
104	OFFICE	CPT-2	RB-1	P-1	P-1	P-1	P-1	ACT-1	
105	DATA	LVT-1	RB-1	P-1	P-1	P-1	P-1	ACT-1	
106	BREAK	LVT-1	RB-1	P-1	P-1	P-1	P-1	ACT-1	
107	MEN'S	SV-1	SV-1	P-1	P-1	P-1	P-1	GYP BD	
108	WOMEN'S	SV-1	SV-1	P-1	P-1	P-1	P-1	GYP BD	
109	W/C	SV-1	SV-1	P-1	P-1	P-1	P-1	GYP BD	
110	JAN.	SC	RB-1	P-1	P-1	P-1	P-1	GYP BD	
50	STORAGE	SC	-	-	-	-	-	OTS	
51	ELEC.	SC	-					OTS	
152	FIRE PUMP	SC	-					OTS	
200	ME77ANINE	TBD	TBD	TBD	TBD	TBD	TBD	OTS	

INTERIOR FINISH SCHEDULE

SECTION 033500 - CONCRETE FINISHES

1. SEALED CONCRETE SC ASHFORD FORMULA, SEE SPECIFICATIONS

SECTION 06400 -WOOD AND PLASTICS 1. PLASTICS COUNTERTOPS:

VERTICAL FACES:

PL-1 TBD

PL-2 TBD 2. SOLID SURFACE

COUNTERTOPS: SS-1 TBD

SECTION 09650 - RESILIENT FLOORING

SHEET VINYL FLOORING

SV-1 TBD

2. LUXURY VINYL TILE LVT-1 TBD

3. RUBBER BASE

2. FIBER REINFORCED PANELS

WAINSCOT: TBD 3. WOOD DOORS
WD-1 SPECIES: TBD, FINISH: TBD SECTION 095100 - ACOUSTIC CEILING

1. SUSPENDED ACOUTICAL CEILING TILE ACT-1 TBD

NOTE: PROVIDE COVED BASE AT ALL RESILIENT FLOORING AREAS, STRAIGHT BASE AT ALL CUT-PILE CARPET AND CONCRETE AREAS. 4" BASE IN ALL AREAS EXCEPT TOILET ROOMS AND JANITOR CLOSETS, TO RECEIVE 6" COVE BASE.

1. INTERIOR PAINT
P-1 TBD
P-2 TBD
P-3 TBD
P-4 TBD
P-5 TBD (HM DOORS)

2. EXTERIOR PAINT SEE ELEVATIONS

NOTE: USE SATIN/EGGSHELL WASHABLE FINISH AT ALL WALLS, CEILINGS AND SOFFITS TYPICAL. USE SEMI GLOSS FINISH AT ALL TOILET ROOM WALLS AND CEILINGS, TYPICAL.

SECTION 122100 - BLINDS

1. PER SPECIFICATIONS

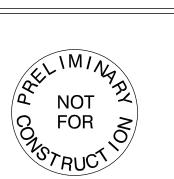
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REVISION SCHEDULE								
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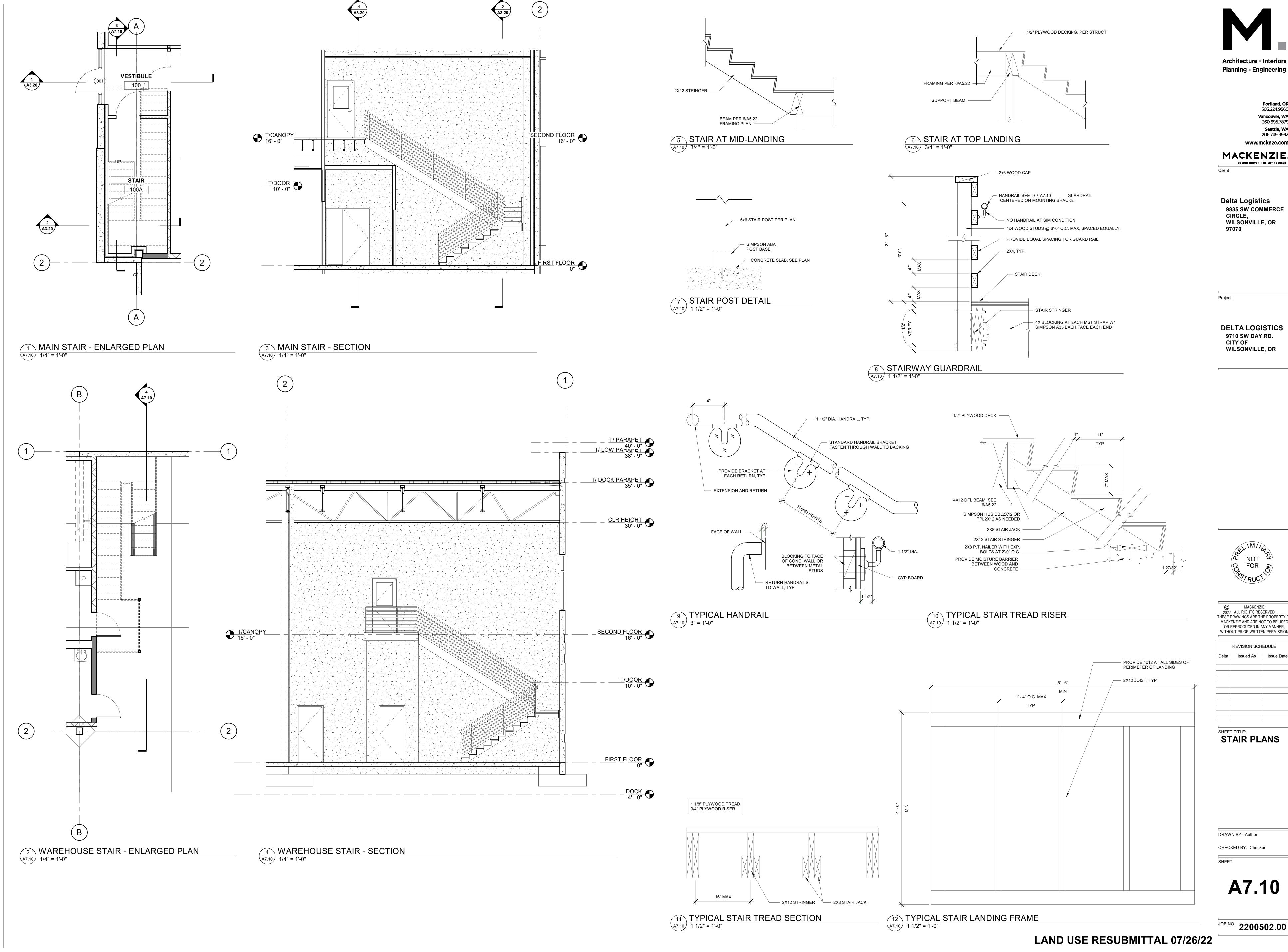
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DOOR & **FINISH SCHEDULE** 

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SHEET

A6.10



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