

CIS COLLABORATION CENTER REVISED LAND USE SUBMITTAL - MARCH 12TH, 2024

SITE INFORMATION

ADDRESS: SITE SIZE: JURISDICTION: ZONING:

LEGAL DESCRIPTION: TAXLOT ID: 31W23B 00100 30125 SW KINSMAN ROAD, WILSONVILLE OR 97070 2.02 ACRE SITE CITY OF WILSONVILLE PLANNED DEVELOPMENT INDUSTRIAL (PDI)

DEFERRED SUBMITTALS

PER SECTION 107.3.4.2 DEFERRED SUBMITTALS: DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED BY THE GENERAL CONTRACTOR TO THE REGISTERED DESIGN PROFESSIONAL IN CHARGE WHO SHALL REVIEW THEM AND RETURN THEM TO THE GENERAL CONTRACTOR WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

- FIRE SPRINKLER NFPA 13 SYSTEM - FIRE ALARM SYSTEM

- CARBON MONOXIDE DETECTION SYSTEM - PROVIDE CALCULATIONS AND DETAILS FOR SEISMIC ANCHORAGE AND BRACING OF ALL MECHNICAL AND ELECTRICAL AND OTHER EQUPMENT WEIGHING MORE THAN 75 LBS AND ATTACHED MORE THAN 4'-0" ABOVE THE FLOOR OR ROOF LEVEL

- STOREFRONT AND CURTAINWALL SYSTEM DESIGN AND ATTACHMENT - FIXED LADDER DESIGN

- TRASH ENCLOSURE GATE AND CANOPY - REFER TO S0.00 FOR ADDITIONAL INFORMATION

<u>CLIENT</u> CIS COLLABORATION CENTER

25117 SW PARKWAY AVENUE WILSONVILLE, OR 97070		
CONTACT: STEVE NORMAN PATRICK PRIEST		
PHONE:	503.763.3890	
EMAIL:	SNORMAN@CISOREGON.ORG	

PPRIEST@CISOREGON.ORG

OWNER'S REPRESENTATIVE <u>CUMMING GROUP</u> 6000 MEADOWS RD #410, LAKE OSWEGO, OR 97035

CONTACT:	SAMRA EGGER
PHONE:	503.241.8099
<u>EMAIL:</u>	SEGGER@CUMMING-GROUP.COM

ARCHITECTURE MACKENZIE

RIVEREAST CENTER 1515 SE WATER AVENUE SUITE 100 PORTLAND, OR 97214		
CONTACT:	JEFF HUMPHREYS, ARCHITECT OF RECORD	
	ADAM GOLDBERG, PROJECT ARCHITECT	
PHONE:	503.224.9560	
<u>EMAIL:</u>	JHUMPHREYS@MCKNZE.COM AGOLDBERG@MCKNZE.COM	

STRUCTURAL

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CONTACT:	GREG MINO ENGINEER OF RECORD	
PHONE:	503.224.9560	
<u>EMAIL:</u>	GIM@MCKNZE.COM	



LAND USE PLANNING

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LANDSCAPE

MACKENZIE RIVEREAST CENTER 1515 SE WATER AVENUE SUITE 100 PORTLAND, OR 97214 **<u>CONTACT:</u>** NICOLE FERREIRA, LANDSCAPE ARCHITECT

503.224.9560 PHONE: NFERREIRA@MCKNZE.COM EMAIL:

MECHANCIAL **INTERFACE ENGINEERING**

100 SW MAIN STREET SUITE 1600 PORTLAND, OR 97204 CONTACT: STEVE DACUS,

MECHANICAL ENGINEER AND MEP PROJECT MANAGER PHONE: 503.382.2266 EMAIL: STEVED@INTERFACEENG.COM

ELECTRICAL

INTERFACE ENGINEERING 100 SW MAIN STREET SUITE 1600 PORTLAND, OR 97204

<u>CONTACT:</u>	CODY BARGHOLZ, ELECTRICAL AND LIGHTING ENGINEER
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<u>EMAIL:</u>	CODYB@INTERFACEENG.COM

<u>PLUMB</u>ING

INTERFACE ENGINEERING 100 SW MAIN STREET SUITE 1600 PORTLAND, OR 97204		
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EMAIL:	TODDS@INTERFACEENG.COM	

TECHNOLOGY

INTERFACE ENGINEERING 100 SW MAIN STREET SUITE 1600 PORTLAND, OR 97204

CONTACT:	CHARLIE STUDEBAKER TECHNOLGY DESIGNER
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EMAIL:	CHARLIES@INTERFACEENG.COM

ACOUSTICAL CONSULTANT

SSA ACOUSTICS, LLP 7409 GREENWOOD AVENUE NORTH, SUITE A SEATTLE, WA 98103

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NORTHWEST GEOTECH INC. 9120 SW PIONEER COURT SUITE B WILSONVILLE, OR 97070		
CONTACT:	WAYNE OLSEN P.E.	
PHONE:	503.682.1880	
<u>EMAIL:</u>	INFO@NWGEOTECH.COM	



VICINITY MAP NOT TO SCALE





<u>DR</u> A	WING INDEX
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A1.10 A2.10 A5.17	FLOOR PLAN BUILDING ELEVATIONS SITE DETAILS
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E1.10	SITE PLAN - ELECTRICAL



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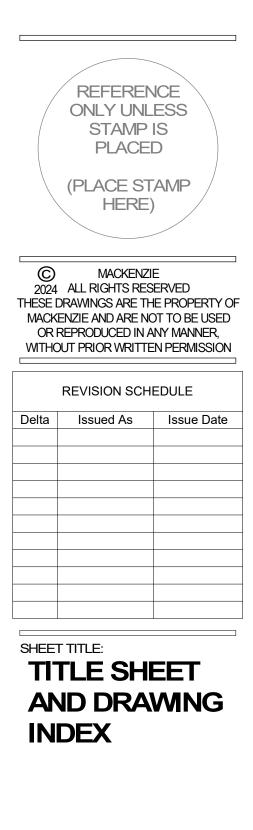
Portland, OR 503.224.9560 Vancouver, WA 360.695.7879 **Seattle, WA** 206.749.9993 www.mcknze.com MACKENZIE. DESIGN DRIVEN | CLIENT FOCUSED Clien

CIS - OREGON 25117 SW Parkway Avenue, Wilsonville, OR 97070

Project

CIS COLLABORATION CENTER 30125 SW KINSMAN ROAD, WILSONVILLE, OR 97070

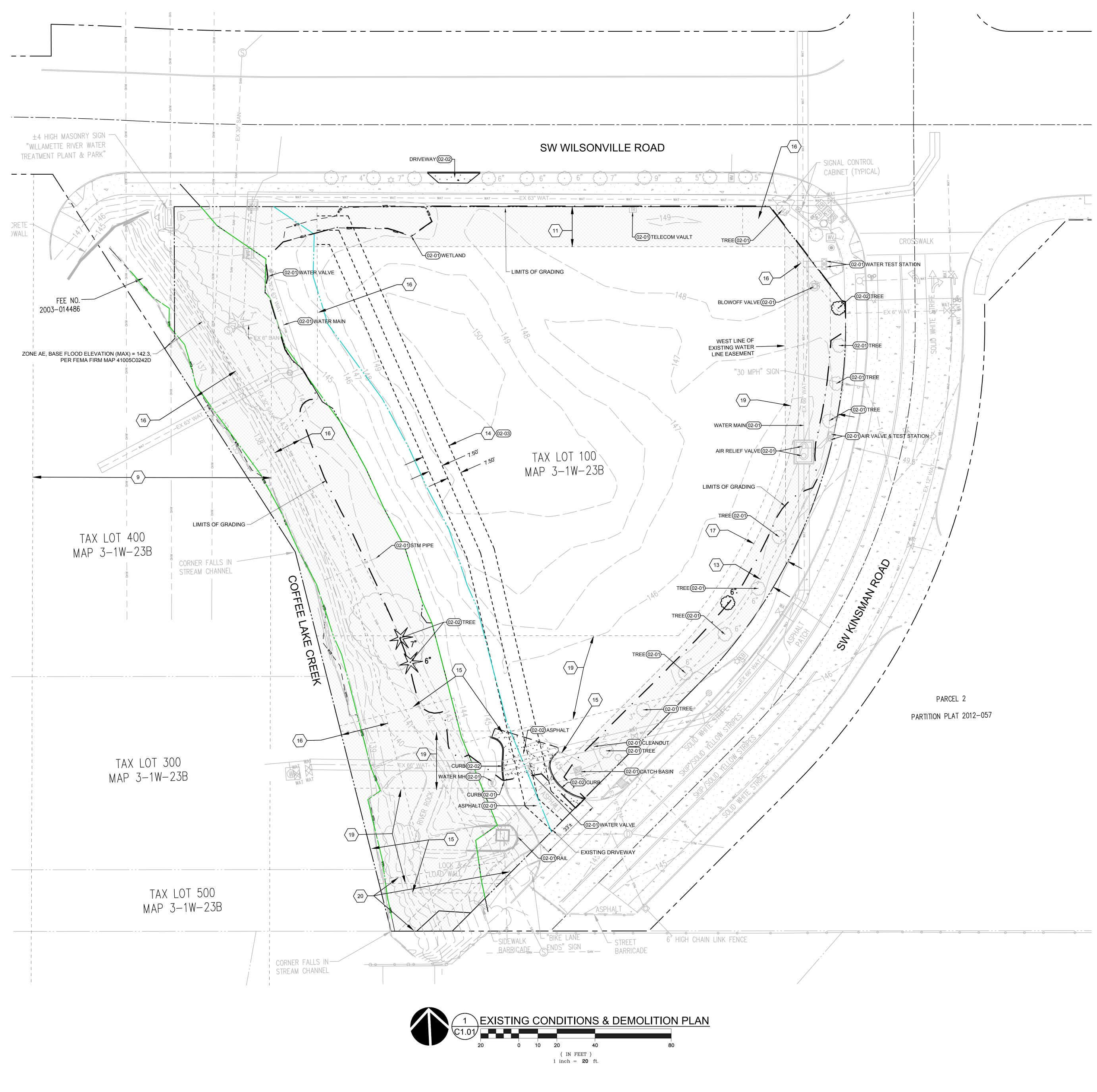
Mechanical/Electrical INTERFACE ENGINEERING, INC.



SHEET **G0.01**

City of Wilsonville Exhibit B2 DB23-0015 JOB NO. 2220098.00

2/5/2024 9:05:26 AM



KEYNOTES 02-01 PROTECT

02-02 REMOVE 02-03 VACATE EASEMENT

LEGEND

NON

GEND		
GHT-OF-WAY LINE		
OPERTY LINE		Portland, OR 503.224.9560
NTERLINE		Vancouver, WA 360,695,7879
SEMENT		Seattle, WA
OZ		206.749.9993 www.mcknze.com
OZ IMPACT ZONE		
WER LINE		DESIGN DRIVEN I CLIENT FOCUSED
ERHEAD WIRE	OHW OHW OHW OHW OHW	Client
LEPHONE LINE		CIS - OREGON
SLINE	GAS GAS GAS GAS GAS	25117 SW Parkway Avenue, Wilsonville,
ORM SEWER LINE		OR, 97070
NITARY SEWER LINE	SAN SAN SAN SAN SAN SAN	
ATER LINE		
ATER TRANSMISSION LINE 3" OR 66")	WAT WAT WAT WAT WAT	
ETLAND BOUNDARY	— — — wtb — — wtb — wtb — wtb — итb —	
ETLAND BUFFER		
IITS OF GRADING	· · ·	
N-BUILDABLE AREA		Project

EASEMENT DESCRIPTIONS THE PROPERTY DESCRIPTION AND EXCEPTIONS ARE PER A PRELIMINARY REPORT

- PREPARED BY FIDELITY NATIONAL TITLE COMPANY OF OREGON WITH ORDER NO. 45142127220 WITH AN EFFECTIVE DATE OF SEPTEMBER 24, 2021 AT 08:00 AM.
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: UNITED STATES OF AMERICA PURPOSE: TRANSMISSION LINE RECORDING DATE: FEBRUARY 8, 1957 RECORDING NO: BOOK 521, PAGE 669 AFFECTS: WESTERLY PORTION OF SUBJECT PROPERTY
- (10) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: THE PUBLIC
- PURPOSE: PUBLIC UTILITY, WATER, BICYCLE AND PEDESTRIAN EASEMENTS RECORDING DATE: FEBRUARY 4, 2003 RECORDING NO: 2003-014486 AFFECTS: NORTHWESTERLY PORTION OF SUBJECT PROPERTY <u>SURVEYOR'S NOTE</u>: THE EXCEPTION IS A DEED FOR ADJACENT PROPERTY AND DOES NOT CONTAIN EASEMENTS. IT IS NOT PLOTTED.
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
- GRANTED TO: CITY OF WILSONVILLE PURPOSE: PUBLIC UTILITY EASEMENT RECORDING DATE: SEPTEMBER 19, 2012 RECORDING NO: 2012-060556 AFFECTS: NORTH 21 FEET
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT/PLAT;
 PURPOSE: PUBLIC UTILITY AND SIDEWALK EASEMENT
- (02-03)(14) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT/PLAT;
- PURPOSE: ACCESS EASEMENT FOR THE BENEFIT OF CITY OF WILSONVILLE AFFECTS: A STRIP 15 FEET IN WIDTH, AS SHOWN ON PLAT
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT/PLAT;
- PURPOSE: STORM DRAINAGE AFFECTS: SOUTHERLY PORTION OF SUBJECT PROPERTY
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT/PLAT;
- AFFECTS: VARIOUS OTHER EASEMENTS AS SHOWN ON PLAT <u>SURVEYOR'S NOTE</u>: THE NORTHWEST CORNER OF THE PROPERTY IS SUBJECT TO
- A WATER, BICYCLE AND PEDESTRIAN EASEMENT PER CLACKAMAS COUNTY VERDICT NO. 0103186 DATED APRIL 7, 2003.
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
- GRANTED TO: CITY OF WILSONVILLE PURPOSE: STREET TREE EASEMENT RECORDING DATE: DECEMBER 5, 2012 RECORDING NO: 2012-080105

RECORDING NO: 2019-068704

- AFFECTS: A STRIP 20 FEET IN WIDTH SEE PLAT FOR EXACT LOCATION (19) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
- GRANTED TO: WILLAMETTE WATER SUPPLY SYSTEM COMMISSION, AN OREGON INTERGOVERNMENTAL ENTITY ORGANIZED UNDER ORS CHAPTER 190 PURPOSE: TEMPORARY CONSTRUCTION EASEMENT RECORDING DATE: OCTOBER 30, 2019
- SURVEYOR'S NOTE: THE DOCUMENT INCLUDES A PERMANENT EASEMENT IN ADDITION TO THE TEMPORARY CONSTRUCTION EASEMENT.
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: CITY OF WILSONVILLE
 - PURPOSE: TEMPORARY CONSTRUCTION EASEMENT RECORDING DATE: FEBRUARY 9, 2021 RECORDING NO: 2021-013779

REVISED LAND USE SUBMITTAL - 03/12/2024 222009800/DRAWINGS\CIVIL\098-C1.01.DWG:EXISTING CONDITIONS & DEMOLITIC

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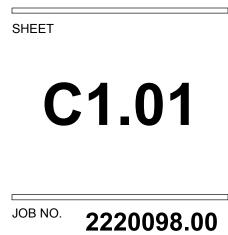


WILSONVILLE, OR 97070

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KEYNOTES

- 32-01 ASPHALT PAVEMENT PER PAVING LEGEND ON C0.01
- 32-02 CONCRETE SIDEWALK PER 2/C5.10 32-03 VERTICAL CURB PER 3/C5.10
- MOUNTABLE CURB PER 4/C5.10 32-04 32-05 VERTICAL CURB AND GUTTER PER 5/C5.10
- 32-06 BIKE RACK PER 1/C5.10 32-07 CURB BREAK PER 6/C5.10
- 32-08 RIP RAP PER CITY OF WILSONVILLE STD DWG ST-6020 & ST-6045
- 32-09 PRECAST WHEEL STOP PER 8/C5.10 CORNER CURB RAMP PER 9/C5.10 32-10
- PARALLEL CURB RAMP PER 10/C5.10 32-11 32-12 ACCESSIBLE PARKING STALL PER 11/C5.10
- 32-13 PARKING STALL STRIPING PER 12/C5.10
- 32-14 TRASH ENCLOSURE PER ARCHITECTURAL PLANS LANDSCAPE AREA PER LANDSCAPE PLANS 32-15
- 32-16 ELECTRIC VEHICLE CHARGING STATION PER ELECTRICAL PLANS MONUMENT SIGN PER ARCHITECTURAL PLANS 32-17
- PROPOSED CITY OF WILSONVILLE ACCESS EASEMENT 32-18
- RECESS SIDEWALK THICKNESS AS REQUIRED TO ACCOMMODATE WALK OFF MAT 32-19 AT BUILDING ENTRANCE PER ARCHITECTURAL PLANS
- 32-20 THICKENED SLAB EDGE ON ALL SIDES OF PATIO SLAB PER 7/C5.10 32-21 SAWCUT PER 13/C5.10

32-22 DEEPENED VERTICAL CURB PER 14/C5.10

- 33-01 UTILITY STRUCTURE PER UTILITY PLAN 33-02 STORM FACILITY PER GRADING AND UTILITY PLANS
- SITE LIGHT PER ELECTRICAL PLANS 33-03 33-04 TRANSFORMER WITH PROTECTIVE BOLLARD PER PGE PLANS AND SPECIFICATIONS

SITE DATA

SHORT TERM (1/5,000 SF, 2 MIN.)

TOTAL BICYCLE PARKING

LONG TERM

	AREA (SF)	AREA (AC)	COVERAG
GROSS PROPERTY AREA	89,235	2.05	
UNDEVELOPABLE AREA	37,091	0.85	42%
NET BUILDABLE AREA	52,144	1.20	58%
AREA OF DISTURBANCE	62,604	1.44	70.2%
IMPERVIOUS AREA			
BUILDING AREA	15,744	0.36	17.6%
PAVED AREA	26,898	0.62	30.1%
TOTAL IMPERVIOUS AREA	42,642	0.98	47.8%
LANDSCAPE AREA*	19,962	0.46	31.9%
PARKING AREA	23,073	0.53	
PARKING AREA LANDSCAPE	5,213	0.12	22.6%
*INCLUDES NON-BUILDABLE AREA PARKING DATA			
	REQUIRE	D STALLS	PROVIDED ST
PARKING TYPE	MINIMUM	MAXIMUM	
STANDARD	0	NONE	38
COMPACT	0	26	24
ACCESSIBLE	0	3	3
TOTAL PARKING	0	NONE	65
PARKING RATIO (SPACES/1,000 SF)	0	4.1	4.1
BICYCLE PARKING	REQUIRE	D SPACES	PROVIDED SP.



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DESIGN DRIVEN I CLIENT FOCUSED

COVERAGE

STALLS

PROVIDED SPACES

4

Project CIS COLLABORATION CENTER

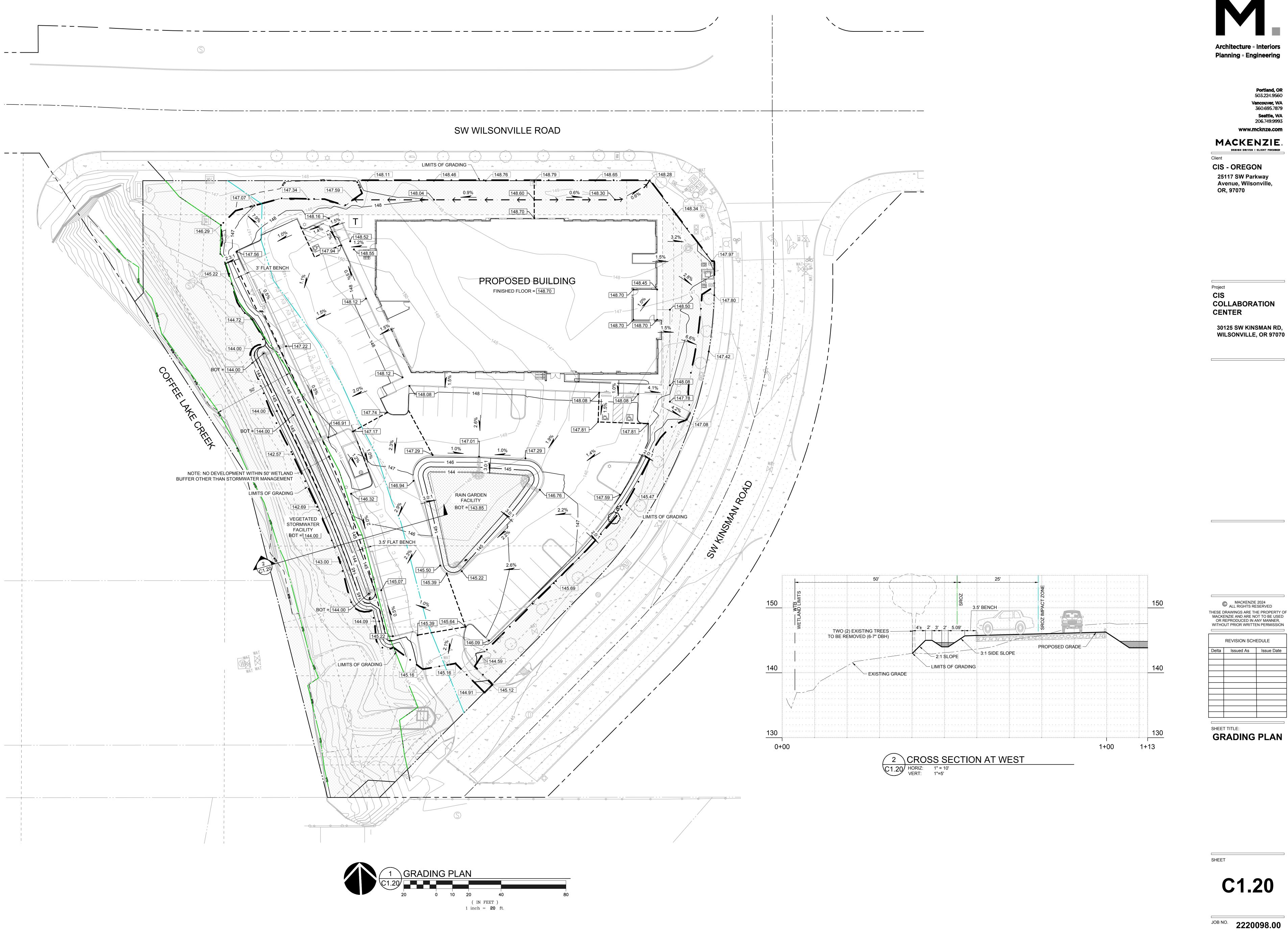
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SHEET TITLE: SITE PLAN

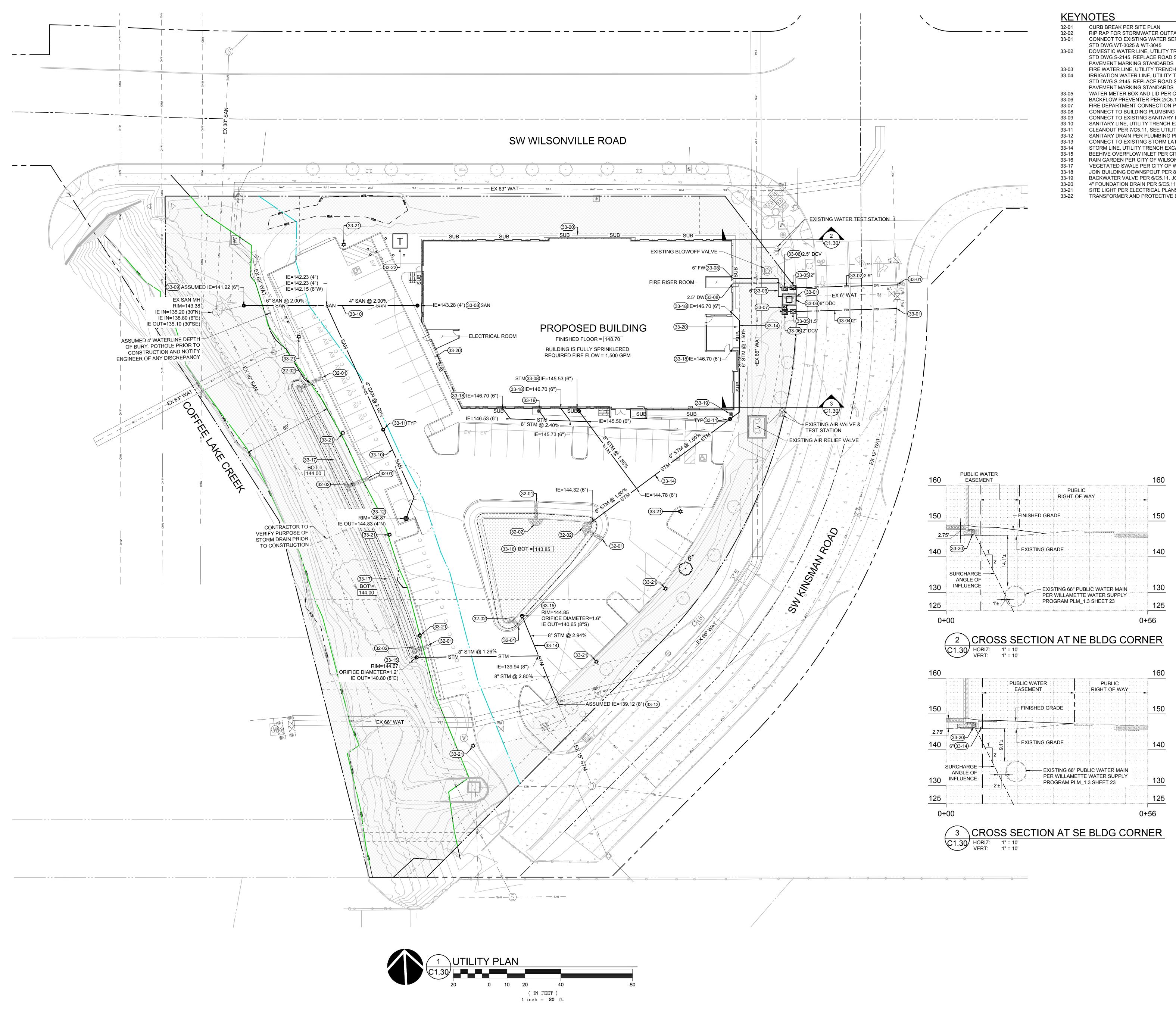
SHEET C1.10 JOB NO. 2220098.00

DWG:SITE PLAN VSN 03/12/24 17:15 1:20





IVIL\098-C1.20.DWG:GRADING PLAN VSN 03/12/24 17:17 1:20



- RIP RAP FOR STORMWATER OUTFALL PER SITE PLAN CONNECT TO EXISTING WATER SERVICE LATERAL PER CITY OF WILSONVILLE STD DWG WT-3025 & WT-3045 DOMESTIC WATER LINE, UTILITY TRENCH EXCAVATION PER CITY OF WILSONVILLE STD DWG S-2145. REPLACE ROAD STRIPING IN KIND PER CITY OF WILSONVILLE
- FIRE WATER LINE, UTILITY TRENCH EXCAVATION PER 1/C5.11 IRRIGATION WATER LINE, UTILITY TRENCH EXCAVATION PER CITY OF WILSONVILLE STD DWG S-2145. REPLACE ROAD STRIPING IN KIND PER CITY OF WILSONVILLE
- WATER METER BOX AND LID PER CITY OF WILSONVILLE STD DWG WT-3050 & WT-3051 BACKFLOW PREVENTER PER 2/C5.11 (DCV) OR 3/C5.11 (DDC) FIRE DEPARTMENT CONNECTION PER 4/C5.11
- CONNECT TO BUILDING PLUMBING CONNECT TO EXISTING SANITARY LATERAL
- SANITARY LINE, UTILITY TRENCH EXCAVATION PER 1/C5.11 CLEANOUT PER 7/C5.11, SEE UTILITY NOTE 3 ON C0.01
- SANITARY DRAIN PER PLUMBING PLANS
- CONNECT TO EXISTING STORM LATERAL STORM LINE, UTILITY TRENCH EXCAVATION PER 1/C5.11
- BEEHIVE OVERFLOW INLET PER CITY OF WILSONVILLE STD DWG ST-6120 RAIN GARDEN PER CITY OF WILSONVILLE STD DWG ST-6020
- VEGETATED SWALE PER CITY OF WILSONVILLE STD DWG ST-6045 JOIN BUILDING DOWNSPOUT PER 8/C5.11 BACKWATER VALVE PER 6/C5.11. JOIN PROPOSED STORM DRAIN SYSTEM
- 4" FOUNDATION DRAIN PER 5/C5.11 SITE LIGHT PER ELECTRICAL PLANS
- TRANSFORMER AND PROTECTIVE BOLLARDS PER PGE PLANS AND SPECIFICATIONS

(X-X)

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Portland, OR 503.224.9560 Vancouver, WA 360.695.7879 Seattle, WA 206.749.9993 www.mcknze.com MACKENZIE. DESIGN DRIVEN I CLIENT FOCUSED Client **CIS - OREGON** 25117 SW Parkway Avenue, Wilsonville, OR, 97070



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SHEET TITLE: UTILITY PLAN



TILITY PLAN VSN 03/12/24 17:17 1:20

STORMWATER PLANT SCHEDULE

PER CITY OF WILSONVILLE STORMWATER AND SURFACE WATER DESIGN & CONSTRUCTION STANDARDS - SECTION 3 - PUBLIC WORKS STANDARDS (2015) LANDSCAPE PLAN FACILITY AREA CALCULATIONS INCLUDE TOP OF FREEBOARD. CIVIL PLAN FACILITY AREA CALCULATIONS REPORT TO TOP OF OVERFLOW INLET, EXCLUDING THE FREEBOARD.

PROVIDE AT LEAST 50% EVERGREEN PLANTS AND AT LEAST 2 SPECIES OF HERBACEOUS AND SMALL SHRUBS/GROUNDCOVER PLANT COMMUNITIES.

MOIST (ZONE A) VEGETATION TYPE	QUANTITY	SIZE
GROUNDCOVER PLANTS	115/100 SF	#1 CONTAINER
SMALL SHRUBS	4/100 SF	#1 CONTAINER
LARGE SHRUBS / SMALL TREES	3/100 SF	30" HEIGHT
DRY (ZONE B) VEGETATION TYPE	QUANTITY	SIZE
GROUNDCOVER PLANTS	115/100 SF	#1 CONTAINER
SMALL SHRUBS	4/100 SF	#1 CONTAINER
LARGE SHRUBS / SMALL TREES	3/100 SF	30" HEIGHT
TREE (DECIDUOUS) <u>OR</u>	1/100 SF	1" CALIPER
TREE (EVERGREEN)	1/100 SF	6' HEIGHT

PLANT LIST					
FACILITY A / RAIN (GARDE	N			
PLANT NAME	SIZE	SPACING	EVER- GREEN	ZONE A	ZONE B
			GREEN	1,928 SF	571 SF
REQUIRED HERBACEOUS / GROUND COVER PLANTS (115				2217	657
ARCTOSTAPHYLOS UVA-URSI / KINNIKINNICK	#1	12" OC	YES		357
CAREX OBNUPTA / SLOUGH SEDGE	#1	12" OC	YES	740	
FRAGARIA CHILOENSIS / BEACH STRAWBERRY	#1	12" OC	YES		150
JUNCUS PATENS / SPREADING RUSH	#1	12" OC	YES	740	
POLYSTICHUM MUNITUM / WESTERN SWORD FERN	#1	12" OC	YES	737	150
REQUIRED SMALL SHRUBS (4 PER 100 SF)				77	23
CORNUS SERCIA 'KELSEYI' / KELSEY DOGWOOD	#2	36"	NO	37	10
MAHONIA AQUIFOLIUM / OREGON GRAPE	#2	36"	YES	40	
SYMPHORICARPOS ALBUS / SNOWBERRY	#1	36"	NO		13
REQUIRED LARGE SHRUBS / SMALL TREES (3 PER 100 SF)			58	17
HOLODISCUS DISCOLOR / OCEANSPRAY	30" HT	48"	NO	18	
RIBES SANGUINEUM / RED FLOWERING CURRANT	30" HT	48"	NO	20	9
SPIREA DOUGLASII / WESTERN SPIREA	30" HT	48"	NO	20	8
REQUIRED TREES (1 PER 100 SF)		•		0	6
CORNUS NUTTALII / PACIFIC DOGWOOD	1" CAL	AS SHOWN	NO		3
ACER CIRCINATUM / VINE MAPLE	1" CAL	AS SHOWN	NO		3
TOTAL PLANTS IN FACILITY					055
					914
% EVERGREEN IN FACILITY					.4%

PLANT LIS	т				
FACILITY B / SV	VALE				
PLANT NAME	SIZE	SPACING	EVER-	ZONE A	ZONE B
REQUIRED HERBACEOUS / GROUND COVER PLANTS (115	5 PER 100 SE)		GREEN	294 SF 338	989 SF 1,137
· · · · · · · · · · · · · · · · · · ·		[
ARCTOSTAPHYLOS UVA-URSI / KINNIKINNICK	#1	12" OC	YES		617
CAREX OBNUPTA / SLOUGH SEDGE	#1	12" OC	YES	114	
FRAGARIA CHILOENSIS / BEACH STRAWBERRY	#1	12" OC	YES		260
JUNCUS PATENS / SPREADING RUSH	#1	12" OC	YES	114	
POLYSTICHUM MUNITUM / WESTERN SWORD FERN	#1	12" OC	YES	110	260
REQUIRED SMALL SHRUBS (4 PER 100 SF)				12	40
CORNUS SERCIA 'KELSEYI' / KELSEY DOGWOOD	#2	36"	NO	6	20
MAHONIA AQUIFOLIUM / OREGON GRAPE	#2	36"	YES	6	
SYMPHORICARPOS ALBUS / SNOWBERRY	#1	36"	NO		20
REQUIRED LARGE SHRUBS / SMALL TREES (3 PER 100 SI	F)	•		9	30
HOLODISCUS DISCOLOR / OCEANSPRAY	30" HT	48"	NO	3	
RIBES SANGUINEUM / RED FLOWERING CURRANT	30" HT	48"	NO	3	15
SPIREA DOUGLASII / WESTERN SPIREA	30" HT	48"	NO	3	15
REQUIRED TREES (1 PER 100 SF)	·			0	10
CORNUS NUTTALII / PACIFIC DOGWOOD	1" CAL	AS SHOWN	NO		5
ACER CIRCINATUM / VINE MAPLE	1" CAL	AS SHOWN	NO		5
	тот	AL PLANTS IN	FACILITY	1,	576
	тоти	AL EVERGREEN	PLANTS	1,	481
	% E	VERGREEN IN	FACILITY	93	.9%

STORMWATER NOTES

1.	PLANTING SCHEDUI
	THROUGH MAY 1 AN
	INSTALLED ONLY FF
	MARCH 1 THROUGH
2.	EROSION CONTROL

OPTIMAL WEATHER
BIODEGRADABLE FA
AND TO DISCOURAG
WILDLIFE IS PERMIT

•	
3.1.	PROTECT GROW SEEDS, WHILE A
3.2.	PLACE MEDIUM COMPACTED WI OTHERWISE BE
3.3.	WEATHER PERM AND GRADING T

COMPACTION.

TEMPORARY EROSION CONTROL MEASURES ARE REQUIRED UNTIL PERMANENT STABILIZATION 3.4. MEASURES ARE FUNCTIONAL, INCLUDING PROTECTION OF OVERFLOW STRUCTURES. 3.5. IN ALL CASES, THE FACILITY MUST BE PROTECTED FROM FOOT AND EQUIPMENT TRAFFIC THAT IS UNRELATED TO THE CONSTRUCTION OF THE FACILITY. TEMPORARY FENCING OR WALKWAYS SHOULD BE INSTALLED AS NEEDED TO KEEP WORKERS, PEDESTRIANS, AND EQUIPMENT OUT OF THE FACILITY. UNDER NO CIRCUMSTANCES SHOULD MATERIALS AND

EQUIPMENT BE STORED IN THE FACILITY. 3.6. STORMWATER MANAGEMENT FACILITIES SHALL BE KEPT CLEAN AND SHALL NOT BE USED AS EROSION AND SEDIMENT CONTROL STRUCTURES DURING CONSTRUCTION.

PLACEMENT OF THE GROWING MEDIUM WILL NOT BE ALLOWED WHEN THE GROUND IS FROZEN 3.7. OR SATURATED OR WHEN THE WEATHER IS DETERMINED TO BE TOO WET.

4. MULCHING FOR STORMWATER FACILITIES SHALL BE PER SECTION A.3.7. USE OF MULCH IN FREQUENTLY INUNDATED AREAS SHALL BE LIMITIED TO AVOID ANY POSSIBLE WATER QUALITY IMPACTS INCLUDING THE LEACHING OF TANNINS AND NUTRIENTS, ANFD THE MIGRATION OF MULCH INTO WATER WAYS. MULCHES SHALL BE STABLE AND INERT MATTER OF SUFFICIENT MASS AND DENSITY THAT IT WLL NOT FLOAT IN STANDARD FLOWS, MULCH COVER SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE FACILITY WITH MINIMUM THICKNESS OF 2-INCHES IN DEPTH.

PLANT PROTECTION FROM WILDLIFE: DEPENDING ON SITE CONDITIONS, APPROPRIATE MEASURES SHALL BE TAKEN TO LIMIT WILDLIFE-RELATED DAMAGE. IF BEAVERS OR NUTRIA ARE PRESENT, PROTECT THE MAIN STEM OF ALL TREES WITHIN 100' OF THE EDGE OF WATER WITH 36" OF WIRE MESH.

FERTILIZER SHOULD GENERALLY BE AVOIDED IN STORMWATER FACILITIES. FERTILIZE ALL PLANTS DURING ESTABLISHMENT AS NEEDED WITH SLOW RELEASE, ORGANIC (LOW YIELD) MATERIAL. 7 IRRIGATION: A CITY APPROVED IRRIGATION SYSTEM MAY BE USED DURING THE 2-YEAR ESTABLISHMENT PERIOD. WATERING SHALL BE AT A RATE TO MAINTAIN ALL PLANTINGS IN A HEALTHY THRIVING CONDITION DURING ESTABLISHMENT. OTHER IRRIGATION TECHNIQUES, SUCH

AS DEEP WATERING, MAY BE ALLOWED WITH PRIOR APPROVAL BY THE CITY'S AUTHORIZED REPRESENTATIVE.

MAINTENANCE: CHECK FOR WEEDS REGULARLY. CHECK MULCH REGULARLY AND MAINTAIN EVEN 8 COVERAGE. REPLANT BARE PATCHES AS NECESSARY TO COMPLY WITH THE FACILITY'S COVERAGE REQUIREMENTS AND MAINTENANCE PLAN. IMPLEMENT ALL OF THE REQUIRED MAINTENANCE ACTIVITIES LISTED IN THE CITY OF WILSONVILLE VEGETATED STORMWATER MANAGEMENT FACILITY DETAILS.

STREAM BUFFER PLANT SCHEDULE

+ + + + + + + + + + + + + + + + + + +	+ +	+ + + + + + + + + + + + + + + +	+ + + + +	+ + + + + + + + +	+ + + + + + + + + + + + + + + + + + +	-
+ + + + + + + +	+++++++++++++++++++++++++++++++++++++++	+ + + + + + + + + +	+ +	+ + + + +	+ + + + + + + + + + + +	

PLANT SPECIES

TREES: ACER CIRCINATUM / VINE RHAMNUS PURSHIANA / (

LARGE SHRUBS: HOLODISCUS DISCOLOR **OEMLERIA CERASIFORM** PHYSOCARPUS CAPITAT **RIBES SANGUINEUM / RE** SPIRAEA DOUGLASII / WE

SMALL SHRUBS: GAULTHERIA SHALLON / MAHONIA AQUIFOLIUM / 0 MAHONIA REPENS / CREE POLYSTICHUM MUNITUM SYMPHORICARPOS ALBL

IMPACT AREA PLANT SCHEDULE

	I
PLANT SPECIES	

LARGE SHRUBS: **RIBES SANGUINEUM / RE**

SMALL SHRUBS: GAULTHERIA SHALLON / MAHONIA REPENS / LOW POLYSTICHUM MUNITUM SYMPHORICARPOS ALBL

ILE: CONTAINERIZED STOCK SHALL BE INSTALLED ONLY FROM FEBRUARY 1 AND OCTOBER 1 THROUGH NOVEMBER 15. BARE ROOT STOCK SHALL BE FROM DECEMBER 15 THROUGH APRIL 15. SEEDING SHALL OCCUR ONLY BETWEEN H MAY 15 AND SEPTEMBER 1 THROUGH OCTOBER 15.

.: GRADING, SOIL PREPARATION, AND SEEDING SHALL BE PERFORMED DURING OPTIMAL WEATHER CONDITIONS AND AT LOW FLOW LEVELS TO MINIMIZE SEDIMENT IMPACTS. ABRICS SUCH AS BURLAP MAY BE USED TO SECURE PLANT PLUGS IN PLACE AGE FLOATING UPON INUNDATION. NO PLASTIC MESH THAT CAN ENTANGLE TTED.

3. GROWING MEDIUM INSTALLATION:

VING MEDIUM FROM ALL SOURCES OF CONTAMINATION, INCLUDING WEED AT THE SUPPLIER, IN CONVEYANCE, AND AT THE PROJECT SITE. IN LOOSE LIFTS, NOT TO EXCEED 8-INCHES AND EACH LIFT SHALL BE /ITH A WATER-FILLED LANDSCAPE ROLLER. THE MATERIAL SHALL NOT MECHANICALLY COMPACTED.

MITTING, PLANTS SHALL BE INSTALLED AS SOON AS POSSIBLE AFTER PLACING THE GROWING MEDIUM IN ORDER TO MINIMIZE EROSION AND FURTHER

STREAM BUFFER (4,704 SF)

	PERCENTAGE	QTY.	SIZE	SPACING
IE MAPLE		5	1" CAL.	AS SHOWN
CASCARA		4	1" CAL.	AS SHOWN
R / OCEANSPRAY	5% (236 SF)	13	#2	48" OC
/IS / INDIAN PLUM	5% (236 SF)	13	#2	48" OC
TUS / PACIFIC NINBARK	5% (236 SF)	13	#2	48" OC
ED FLOWERING CURRANT	5% (236 SF)	13	#2	48" OC
ESTERN SPIREA	5% (235 SF)	13	#2	48" OC
/ SALAL		72	#1	36" OC
	15% (705 SF)			
OREGON GRAPE	15% (705 SF)		#1	36" OC
	15% (705 SF)		#1	36" OC
//WESTERN SWORD FERN	15% (705 SF)		#1	36" OC
US / SNOWBERRY	15% (705 SF)	72	#1	36" OC

IMPACT AREA MITIGATION PLANTING (280 SF)

	PERCENTAGE	QTY.	SIZE	SPACING
		1	#2	49" 00
ED FLOWERING CURRANT	5% (14 SF)	I	#2	48" OC
SALAL	30% (84 SF)	9	#1	36" OC
/ OREGON GRAPE	20% (56 SF)	6	#1	36" OC
/ / WESTERN SWORD FERN	25% (70 SF)	8	#1	36" OC
US / SNOWBERRY	20% (56 SF)	6	#1	36" OC

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE		MATURE H x W
TREES				
$\overline{(\cdot)}$	ACER CIRCINATUM VINE MAPLE	5' HT. MIN.		15' x 15'
Solution of the second	ACER RUBRUM 'OCTOBER GLORY' BOWHALL RED MAPLE	12' HT. MIN.		50' x 50'
	CONIFEROUS TREE TO REMAIN			
E.	CORNUS NUTTALLII X FLORIDA 'EDDIE'S WHITE WONDER' EDDIE'S WHITE WONDER DOGWOOD	1" CAL. B&B		25' x 20'
•	DECIDUOUS TREE TO REMAIN			
Solution of the second	RHAMNUS PURSHIANA CASCARA	1" CAL. B&B		30' x 25'
\bigcirc	STREET TREE TO REMAIN			
\bigcirc	TILIA TOMENTOSA 'STERLING' STERLING SILVER LINDEN	12' HT. MIN.		45' x 30'
80000000000000000000000000000000000000	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE JAPANESE ZELKOVA	2" CAL. B&B		60' x 40'
SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	MATURE H x W
<u>SHRUBS</u>	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA GRASS	2 GAL.	36" o.c.	3' x 3'
$\langle \cdot \rangle$	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS	2 GAL.	24" o.c.	5' x 2'
	CLEMATIS X 'ARABELLA' ARABELLA CLEMATIS	1 GAL.	12" o.c.	1' x 4'
$\overline{\bigcirc}$	CORNUS SERICEA 'FARROW'	2 GAL.	48" o.c.	4' x 4'
	ARCTIC FIRE RED TWIG DOGWOOD CORNUS SERICEA 'KELSEYI'	2 GAL.	36" o.c.	2' x 3'
<u> </u>	KELSEY DOGWOOD FRAGRANT SWEET BOX	2 GAL.	48" o.c.	4' x 4'
	SARCOCOCCA RUSCIFOLIA MAHONIA AQUIFOLIUM	2 GAL.	48" o.c.	6' x 4'
	OREGON GRAPE MAHONIA AQUIFOLIUM 'COMPACTA'		_	
	COMPACT OREGON GRAPE	2 GAL.	36" o.c.	3' x 4'
ξ. • 3 	LEMON LIME NANDINA PINUS MUGO 'SLOWMOUND'	2 GAL.	36" o.c.	3' x 3'
	SLOWMOUND MUGO PINE	2 GAL.	48" o.c.	3' x 4'
	RIBES SANGUINEUM RED FLOWERING CURRANT	2 GAL.	60" o.c.	5' x 5'
22000000000000000000000000000000000000	ROSA X 'NOA97400A' FLOWER CARPET AMBER ROSE	2 GAL.	36" o.c.	2' x 3'
(+)	ROSA X 'RADSUNNY' SUNNY KNOCK OUT SHRUB ROSE	2 GAL.	36" o.c.	3' x 3'
- <u>14</u> 	SALVIA NEMOROSA 'CARADONNA' MEADOW SAGE	1 GAL.	18" o.c.	2' x 1.5'
See. R	SPIRAEA BETULIFOLIA 'TOR GOLD' GLOW GIRL BIRCHLEAF SPIREA	2 GAL.	48" o.c.	4' x 4'
	SYMPHORICARPOS ALBUS COMMON SNOWBERRY	2 GAL.	48" o.c.	3' x 4'
		I	<u> </u>	
GROUND	ARCTOSTAPHYLOS UVA-URSI	1 GAL.	24" o.c.	
	KINNIKINNICK CRUSHED ROCK SURFACING			
	1/4", CLEAN, NO FINES, COMPACTED	1.04	0 4 ^m	
$\left(\begin{array}{c} \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\$	BEACH STRAWBERRY	1 GAL.	24" o.c.	
	SEE PLANT SCHEDULE LO.01			
	PRESERVE AND PROTECT			
₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩₩ ₩₩₩₩₩₩₩₩	1-2" WASHED DRAIN ROCK RUBUS CALYCINOIDES 'EMERALD CARPET'			
	EMERALD CARPET CREEPING BRAMBLE	1 GAL.	24" o.c.	
· · · · · · · · · · · · · · · · · · ·	STORMWATER ZONE A SEE STORMWATER PLANT SCHEDULE LO.01			
	STORMWATER ZONE B SEE STORMWATER PLANT SCHEDULE LO.01			
· · · · · · · · · · · · · · ·	+ STREAM BUFFER * SEE STREAM BUFFER PLANT SCHEDULE LO.01			

SHEET INDEX

- L0.01 LANDSCAPE GENERAL INFORMATION L0.02 LANDSCAPE CODE PLAN L0.03 TREE AND VEGETATION PROTECTION PLAN
- L1.10 PLANTING PLAN NORTH L1.11 PLANTING PLAN - SOUTH
- L5.10 DETAILS

LANDSCAPE NOTES

<u>GENERAL</u>

- 1. CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- 2. CALL BEFORE YOU DIG. CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT IF THERE ARE ANY DISCREPANCIES WITH PLANTING ROOT ZONES. TO REQUEST LOCATES FOR PROPOSED EXCAVATION CALL 1-800-332-2344 (OR 811) IN OREGON.
- 3. NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. 4. LOCATION OF EXISTING TREES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO
- COMMENCEMENT OF WORK. 5. DAMAGE TO EXISTING CONCRETE CURB, ASPHALT PAVING, OR OTHER STRUCTURE SHALL BE REPAIRED OR
- REPLACED TO PRE CONSTRUCTION CONDITIONS. CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY DISRUPTION TO VEHICULAR CIRCULATION PRIOR TO 6. COMMENCEMENT OF ANY WORK.

PLANTING

- 1. ALL EXISTING TREES, PLANTS, AND ROOTS SHALL BE PROTECTED FROM DAMAGE FROM ANY CONSTRUCTION PREPARATION, REMOVAL OR INSTALLATION ACTIVITIES WITHIN AND ADJACENT TO PROJECT LIMITS.
- SHRUBS ADJACENT TO PARKING AREAS SHALL BE PLANTED 2 FT MINIMUM AWAY FROM THE BACK OF CURB. 2. SHRUBS AND GROUNDCOVER ALONG OTHER PAVEMENT EDGES SHALL BE PLANTED A MINIMUM OF ONE HALF THEIR ON CENTER SPACING AWAY FROM PAVEMENT EDGE.
- 3. ALL PLANT MATERIAL SHALL BE HEALTHY NURSERY STOCK, WELL BRANCHED AND ROOTED, FULL FOLIAGE, FREE FROM INSECTS, DISEASES, WEEDS, WEED ROT, INJURIES AND DEFECTS WITH NO LESS THAN MINIMUMS SPECIFIED IN AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1-2004.
- 4. TREES IN THE RIGHT OF WAY SHALL BE TALL ENOUGH TO BE LIMBED UP TO AT LEAST 8 FT ABOVE DRIVE SURFACE GRADE WHILE MAINTAINING ENOUGH BRANCHES TO SUPPORT HEALTHY GROWTH.
- 5. DO NOT PLANT TREES ABOVE WATERLINES, UTILITIES, OR OTHER UNDERGROUND PIPING.
- IF DISTURBANCE IS NECESSARY AROUND EXISTING TREES, CONTRACTOR SHALL PROTECT THE CROWN AND ALL WORK WITHIN THE TREE DRIPZONE SHALL BE LIMITED TO THE USE OF HAND TOOLS AND MANUAL EQUIPMENT ONLY.
- REPLACE, REPAIR AND RESTORE DISTURBED LANDSCAPE AREAS DUE TO GRADING, TRENCHING OR OTHER 7 REASONS TO PRE-CONSTRUCTION CONDITION AND PROVIDE MATERIAL APPROVED BY THE OWNER AND OWNER'S REPRESENTATIVE.
- EXISTING AREAS PROPOSED FOR NEW PLANT MATERIAL SHALL BE CLEARED AND LEGALLY DISPOSED UNLESS 8. SO NOTED.
- 9. A SOILS ANALYSIS, BY AN INDEPENDENT SOILS TESTING LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE, SHALL BE USED TO RECOMMEND AN APPROPRIATE PLANTING SOIL AND/OR SPECIFIED SOIL AMENDMENTS.
- 10. TOPSOIL SHALL BE AMENDED AS RECOMMENDED BY AN INDEPENDENT SOILS TESTING LABORATORY AND AS OUTLINED IN THE SPECIFICATION.
- 11. ALL LANDSCAPED AREAS SHALL BE COVERED BY A LAYER OF ORGANIC MULCH TO A MINIMUM DEPTH OF 2-INCHES.

IRRIGATION

- UNLESS OTHERWISE INDICATED, ALL NEW LANDSCAPE AREAS TO BE IRRIGATED WITH A FULLY AUTOMATIC 1. UNDERGROUND IRRIGATION SYSTEM. PROVIDE LOOP SYSTEM FOR OPTIMUM EFFICIENCY. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS (IRRIGATION PLANS) TO LANDSCAPE ARCHITECT PRIOR TO
- CONSTRUCTION. DRAWINGS TO INDICATE HEAD TYPE, GALLONS PER MINUTE, LATERAL LINES, AND BE AT MINIMUM SCALE OF 1"=20'
- CONTRACTOR TO DETERMINE STATIC WATER PRESSURE AT THE P.O.C. PRIOR TO PREPARING SHOP 3. DRAWINGS.
- CONTRACTOR SHALL ESTABLISH MINIMUM PRESSURE AND MAXIMUM DEMAND REQUIREMENTS FOR 4. IRRIGATION SYSTEM DESIGN, AND PROVIDE INFORMATION IN AN IRRIGATION SCHEDULE.
- IRRIGATION SYSTEM AS DESIGNED AND INSTALLED SHALL PERFORM WITHIN THE TOLERANCES AND 5 SPECIFICATIONS OF THE SPECIFIED MANUFACTURERS.
- SYSTEM SHALL BE DESIGNED TO SUPPLY MANUFACTURER'S SPECIFIED MINIMUM OPERATING PRESSURE TO 6.
- FARTHEST EMITTER FROM WATER METER. 7. SYSTEM SHALL PROVIDE HEAD TO HEAD COVERAGE WITHOUT OVERSPRAY ONTO BUILDING, FENCES,
- SIDEWALKS, PARKING AREAS, OR OTHER NON-VEGETATED SURFACES.
- 8. ALL IRRIGATION PIPE MATERIAL AND INSTALLATION SHALL CONFORM TO APPLICABLE CODE FOR PIPING AND COMPONENT REQUIREMENTS.
- 9. PROVIDE SLEEVING AT ALL AREAS WHERE PIPE TRAVELS UNDER CONCRETE OR HARD SURFACING. 10. VALVES SHALL BE WIRED AND INSTALLED PER MANUFACTURER'S RECOMMENDED INSTALLATION
- PROCEDURES AND CONNECTED TO THE IRRIGATION CONTROLLER. 11. ZONE THE FOLLOWING AREAS SEPARATELY: STORMWATER AREAS, STREAM BUFFER AREAS, PERMANENT LANDSCAPE AREAS, AND TREES.
- 12. QUICK COUPLERS TO BE PLACED EVERY 150 LINEAR FEET MAX.INCLUDE QUICK COUPLER ADJACENT TO TRASH ENCLOSURE.
- 13. IRRIGATION SHALL BE WINTERIZED THROUGH LOW PRESSURE, HIGH VOLUME AIR BLOWOUT CONNECTION THROUGH QUICK COUPLER.
- 14. PROVIDE SPRAY IRRIGATION WITHIN STREAM BUFFER, STORMWATER FACILITIES, AND AT NORTH END OF PARKING LOT WITHIN GROUNDCOVER AT WATER UTILITY ACCESS. PROVIDE DRIP IRRIGATION AROUND BUILDING, IN PLANTERS, AND WITHIN PARKING AREA.



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Project CIS COLLABORATION CENTER

30125 SW KINSMAN RD,

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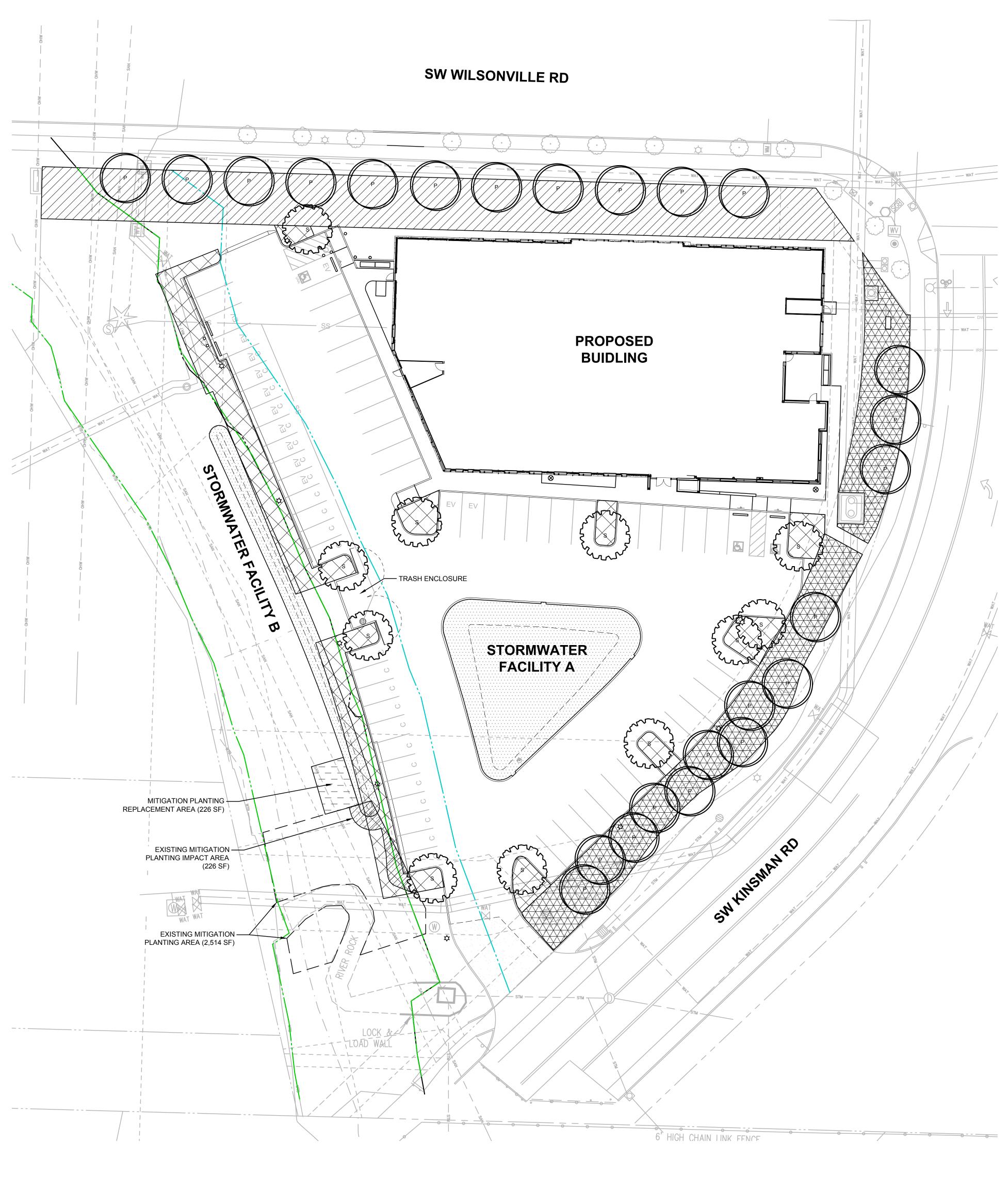
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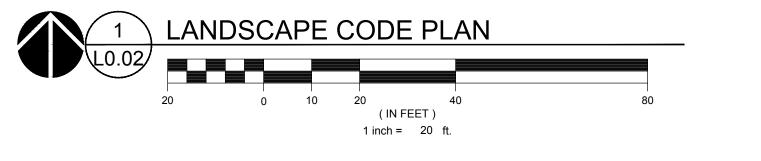
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CODE L	EGENI
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	PARKING

CREEN LANDSCAPING SW WILSONVILLE RD REEN LANDSCAPING SW KINSMAN RD

G LOT LANDSCAPE

MITIGATION PLANTING REPLACEMENT AREA _____ EXISTING MITIGATION PLANTING IMPACT AREA STORMWATER FACILITY

· __ __

_ _ _

ZONING COMPLIANCE

SECTION 4.176(.02)

<u>D. LOW SCREEN LANDSCAPING STANDARD</u> ONE TREE PER 30 LF, 3-FT HT EVERGREEN HEDGE, AND GROUNDCOVER TO FULL COVERAGE.

APPLIES ALONG SW WILSONVILLE ROAD FRONTAGE FRONTAGE

- TREES REQUIRED (1 PER 30 LF) EXISTING
- ADDTL. PROVIDED TOTAL

ADDTL. PROVIDED

- APPLIES ALONG SW KINSMAN ROAD FRONTAGE
- FRONTAGE TREES REQUIRED (1 PER 30 LF) EXISTING
- 380 LF 13 TREES
 - 9 TREES 4 TREES 13 TREES

312 LF

11 TREES

0 TREES

11 TREES

11 TREES

SECTION 4.176(.03) LANDSCAPING AREA

TOTAL

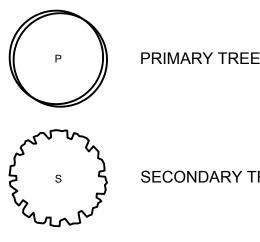
NOT LESS THAN 15% OF TOTAL LOT AREA INCLUDING 10% OF PARKING AREA, IS LOCATED IN THREE SEPARATE AND DISTINCT AREAS OF THE LOT. LANDSCAPING IS PROVIDED ALONG THE FRONTAGE, THE FULL PERIMETER, WITHIN THE PARKING LOT, AND ADJACENT THE BUILDING.

SECTION 4.176(.06) A. SHRUBS AND GROUNDCOVER

SHRUBS ARE 2-GAL OR BETTER. WHERE FEASIBLE NATIVE TOPSOIL WILL BE STOCKPILED OFFSITE, REUSED, AND AMENDED WITH COMPOST. GROUNDCOVER IS SIZED TO PROVIDE AT LEAST 80% COVERAGE WITHIN 3 YEARS. TURF OR LAWN COVERS LESS THAN 10% OF LANDSCAPE AREA AND IRRIGATION DRAINAGE SHALL BE RETAINED WITHIN LAWN AREA.

B. TREES TREES SHOULD BE WELL BRANCHED AND TYPICAL OF THEIR TYPE AS DESCRIBED IN THE CURRENT AMERICAN TREES SHOULD BE WELL BRANCHED AND STANDARD SHALL BE BALLED AND RURLAPPED. TREES SHOULD BE ASSOCIATION OF NURSERYMEN (AAN) STANDARDS AND SHALL BE BALLED AND BURLAPPED. TREES SHOULD BE GROUPED AS FOLLOWS:

- 1. PRIMARY TREES, WHICH DEFINE, OUTLINE, OR ENCLOSE MAJOR SPACES, SHALL BE A MINIMUM OF 2" CALIPER.
- 2. SECONDARY TREES, WHICH DEFINE, OUTLINE, OR ENCLOSE INTERIOR AREAS, SHALL BE A MINIMUM OF 1-3/4" CALIPER.
- ACCENT TREES, WHICH ARE USED TO ADD COLOR, VARIEGATION, AND ACCENT TO ARCHITECTURAL 3. FEATURES, SHALL BE A MINIMUM OF 1-3/4" CALIPER.
- LARGE CONIFER TREES ARE 8-FOOT TALL OR BETTER. MEDIUM CONIFER TREES ARE 5-FOOT TALL OR BETTER.



SECONDARY TREE

C. LARGER PLANT MATERIAL

PROPOSED DEVELOPMENT IS LARGER THAN 24-FEET IN HEIGHT. AT MATURITY TREES WILL BE AT LEAST 50% THE HEIGHT OF THE BUILDING. DECIDUOUS TREES SHALL BE AT LEAST 10-FEET TALL AND 2-INCH CALIPER. EVERGREEN TREES MUST BE AT LEAST 12-FEET IN HEIGHT. LARGER PLANT MATERIAL HAS BEEN PROVIDED ALONG THE FRONTAGE. D. STREET TREES NO STREET TREES PROPOSED

E. PLANT SPECIES THE LANDSCAPE CONSISTS OF EXISTING LANDSCAPING AND/OR NATIVE VEGETATION TO BE PROTECTED AND THE LANDSCAPE CONSISTS OF EXISTING LANDSCAPING AND DROUGHT TO FRANT PLANT MATERIAL. PLANT MATERIA MAINTAINED DURING CONSTRUCTION AND NATIVE AND DROUGHT TOLERANT PLANT MATERIAL. PLANT MATERIAL PROVIDED HAS BEEN CROSS-REFERENCED WITH THE CITY'S LIST OF PROHIBITED PLANT MATERIALS. F. TREE CREDITS NO TREE CREDITS ARE REQUESTED

SECTION 4.176(.07) <u>INSTALLATION AND MAINTENANCE</u> SEE PLANTING NOTES L0.01. PLANT MATERIAL REQUIRED BY CODE SHALL BE CONTINUOUSLY MAINTAINED BY OWNER AND REPLACED IN KIND WITHIN ONE GROWN SEASON IF DEAD.

IRRIGATION SEE IRRIGATION NOTES L0.01. PERMANENT SYSTEM TO BE A DEFERRED SUBMITTAL PROVIDED BY LANDSCAPE CONTRACTOR.

SECTION 4.176(.09) PLANT MATÈRIAL LIST SEE PLANT SCHEDULE L0.01.

CONDITION OF EXISTING PLANTINGS

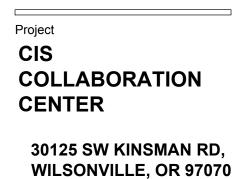
ONLY TREES ARE PROPOSED FOR RETENTION. SEE TABLE FOR RETAINED TREES ON L0.03 FOR CONDITION.

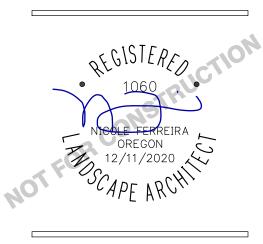
<u>WATER USAGE</u> THE LANDSCAPE CONSISTS OF NATIVE AND DROUGHT TOLERANT PLANT MATERIAL. THE FULL SITE FALLS WITHIN THE LOW WATER USAGE CATEGORY C REQUIRING LESS THAN ONE INCH PER WEEK.



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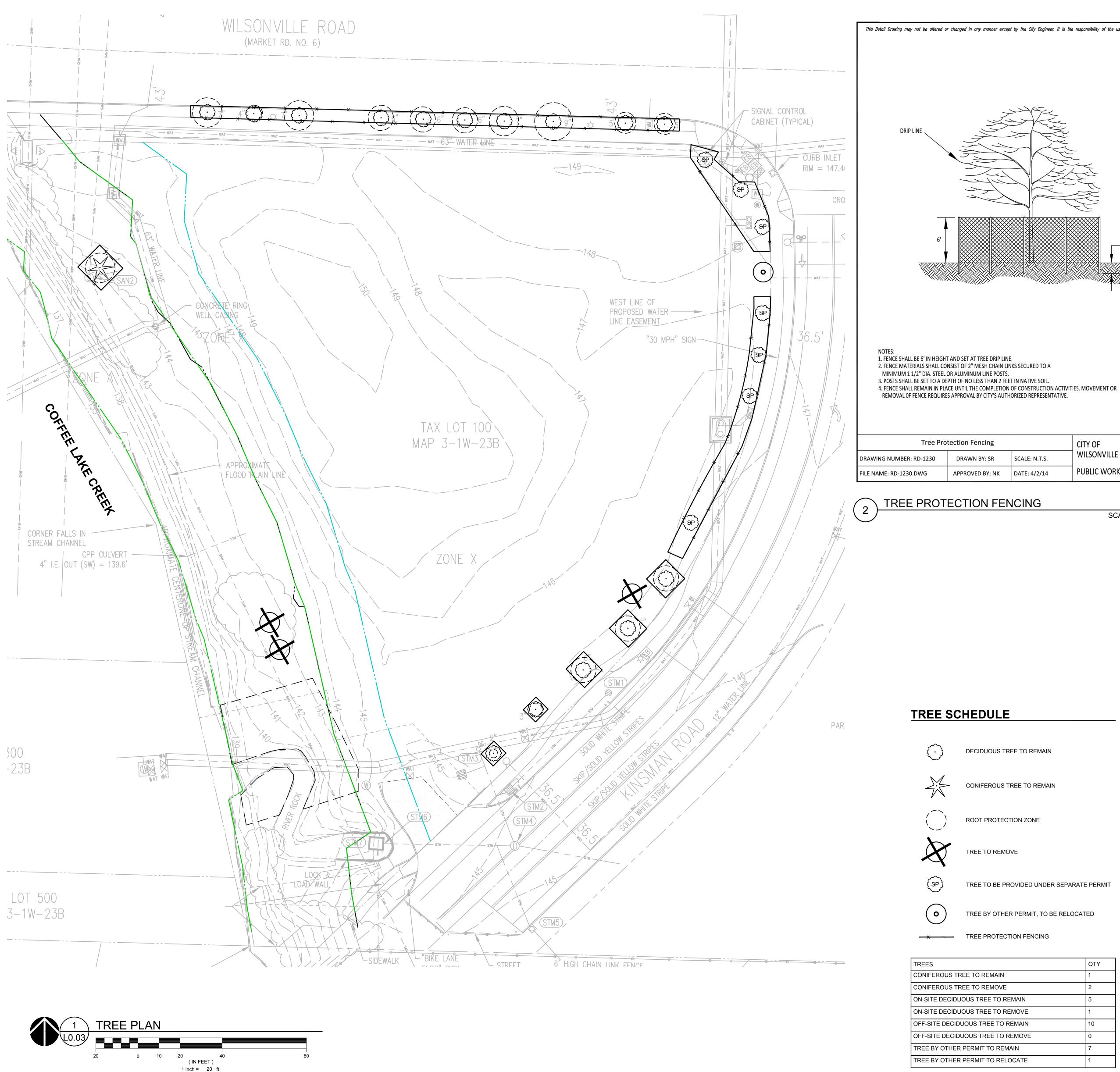


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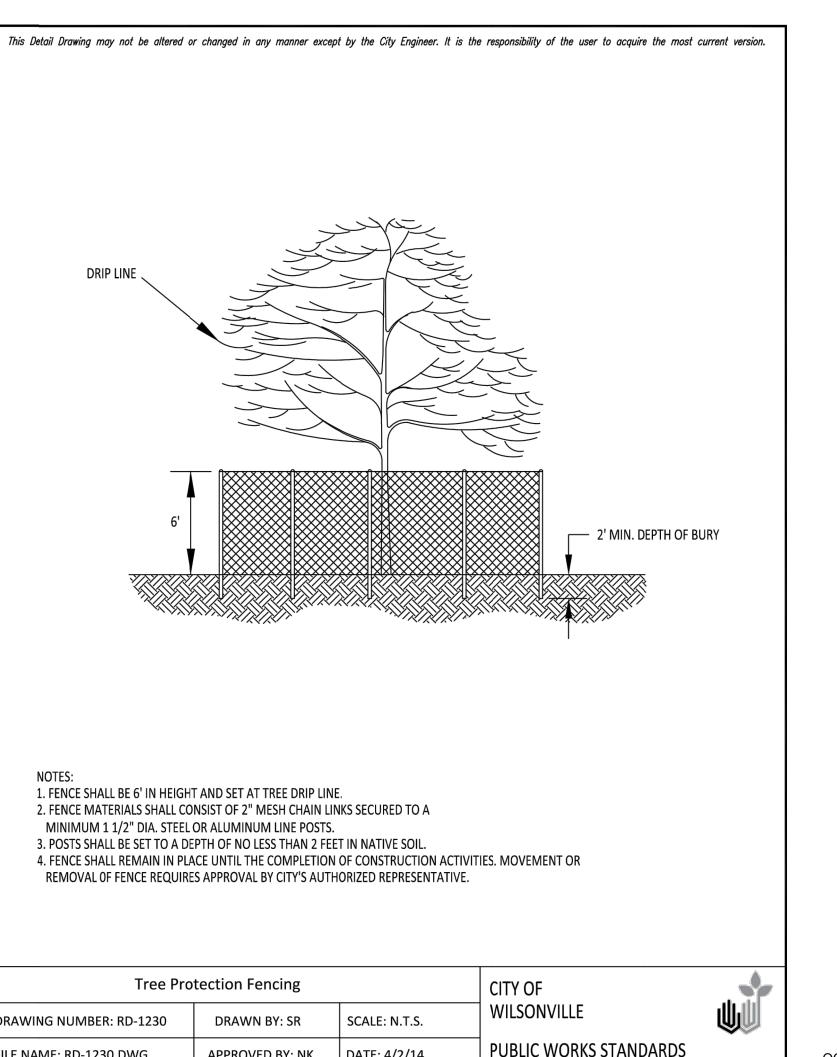
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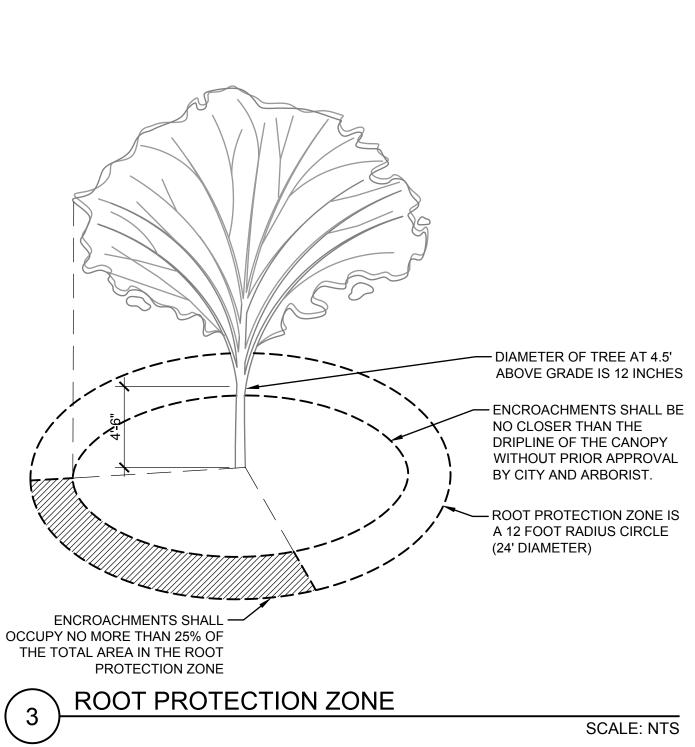
SHEET TITLE: LANDSCAPE **CODE PLAN**





CONIFEROUS TREE TO REMAIN CONIFEROUS TREE TO REMOVE ON-SITE DECIDUOUS TREE TO REMAI ON-SITE DECIDUOUS TREE TO REMO OFF-SITE DECIDUOUS TREE TO REM OFF-SITE DECIDUOUS TREE TO REM TREE BY OTHER PERMIT TO REMAIN





SCALE: NTS

NOTES

TREE TO BE PROVIDED UNDER SEPARATE PERMIT

TREE BY OTHER PERMIT, TO BE RELOCATED

	QTY
	1
	2
IN	5
DVE	1
AIN	10
OVE	0
	7
TE	1

- 1. REFERENCE PLANTING PLAN FOR NEW TREE PLANTINGS.
- 2. ALL EROSION CONTROL MEASURES AND TREE PROTECTION FENCING ARE TO BE INSTALLED PRIOR TO ANY DEMOLITION ACTIVITIES.
- 3. PROTECT EXISTING LANDSCAPING TO THE MAXIMUM EXTENT PRACTICABLE.
- 4. PROTECT ALL UNDERGROUND UTILITY SERVICES AND CONDUIT UNLESS NOTED OTHERWISE.
- 5. CRITICAL ROOT ZONES AND TREE PROTECTION FENCING ONLY SHOWN FOR TREES AFFECTED BY DEVELOPMENT.
- 6. ARBORIST MONITORING: ARBORIST SHALL BE ON SITE DURING
- EXCAVATION WITHIN CRITICAL ROOT ZONES OF EXISTING TREES.
- 7. TREES REMOVED WITHIN THE SROZ WILL BE REPLANTED AT A 1:1 RATIO. 8. NO ACTIVITY MAY BE CONDUCTED WITHIN ANY DESIGNATED TREE PROTECTION AREA INCLUDING BUT NOT LIMITED TO PARKING EQUIPMENT, PLACING SOLVENTS, STORING MATERIALS AND SOIL DEPOSITS, DUMPING CONCRETE WASHOUT, OR OTHER DEBRIS, OR ANY EXCAVATION OR COMPACTION WORK.
- 9. DURING CONSTRUCTION NO OBJECTS SHALL BE ATTACHED TO ANY TREE DESIGNATED TO BE RETAINED AND PROTECTED.
- 10. PROPOSED TRENCHING AND EXCAVATION AROUND TREES SHALL BE COORDINATED WITH CONSULTING ARBORIST.
- 11. WHERE TRENCHING IS REQUIRED WITHIN CRITICAL ROOT ZONE, TUNNEL UNDER OR AROUND ROOTS BY HAND DIGGING OR BORING. DO NOT CUT MAIN LATERAL ROOTS OR TAP ROOTS. CLEANLY CUT/SEVER SMALLER ROOTS. RELOCATE ROOTS IN BACKFILL AREAS WHEREVER POSSIBLE.
- 12. DO NOT ALLOW EXPOSED ROOTS TO DRY OUT BEFORE PERMANENT BACKFILL IS PLACED, PROVIDE TEMPORARY EARTH COVER, OR PACK WITH PEAT MOSS AND WRAP WITH BURLAP. WATER AND MAINTAIN MOIST CONDITION UNTIL RELOCATED AND COVERED WITH BACKFILL.
- 13. FOR TREES TO BE PROVIDED UNDER SEPARATE PERMIT: IF TREES ARE INSTALLED PRIOR TO SITE WORK FOR THIS PROJECT, PROVIDE TREE AND VEGETATION PROTECTION AS SHOWN.



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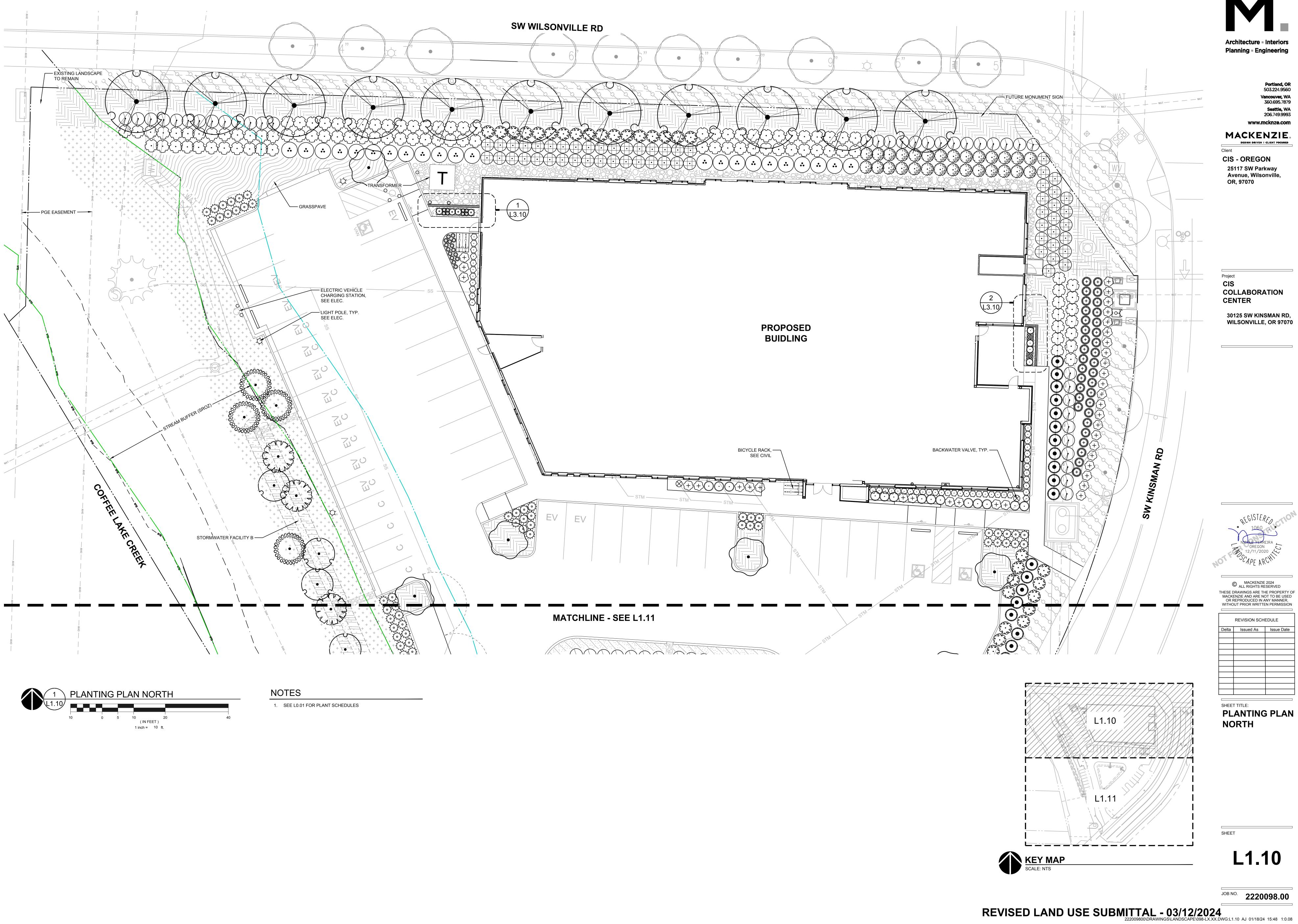
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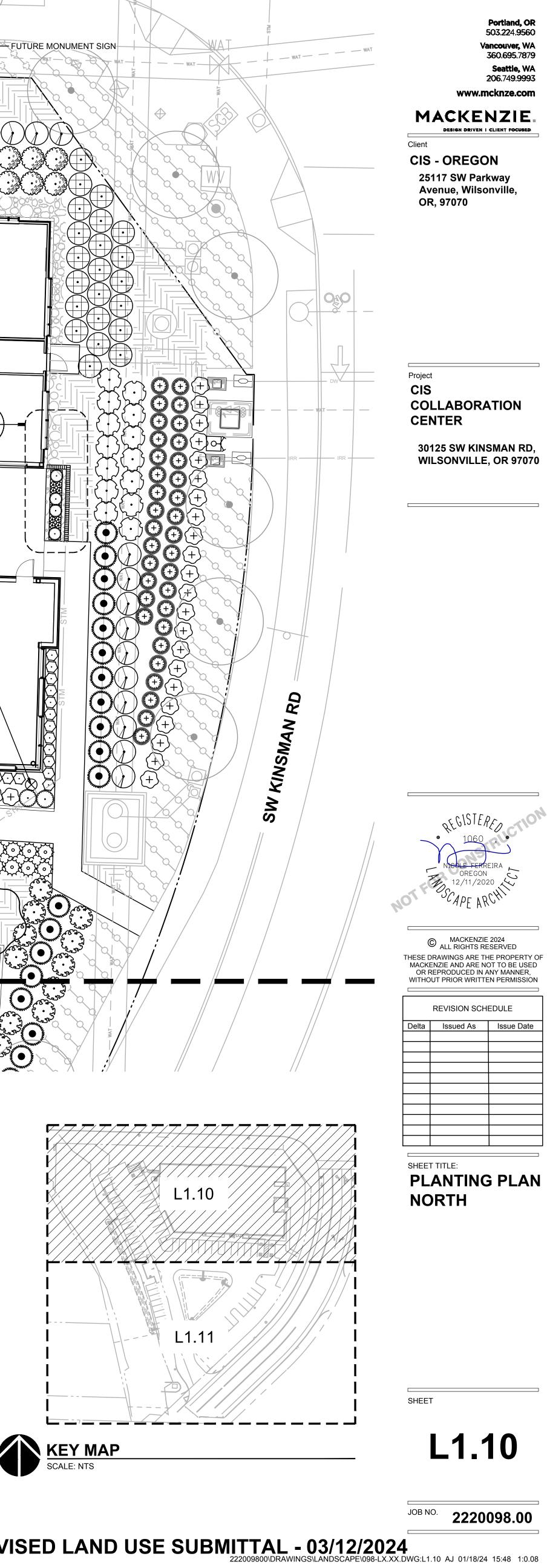
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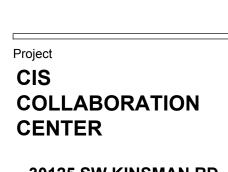


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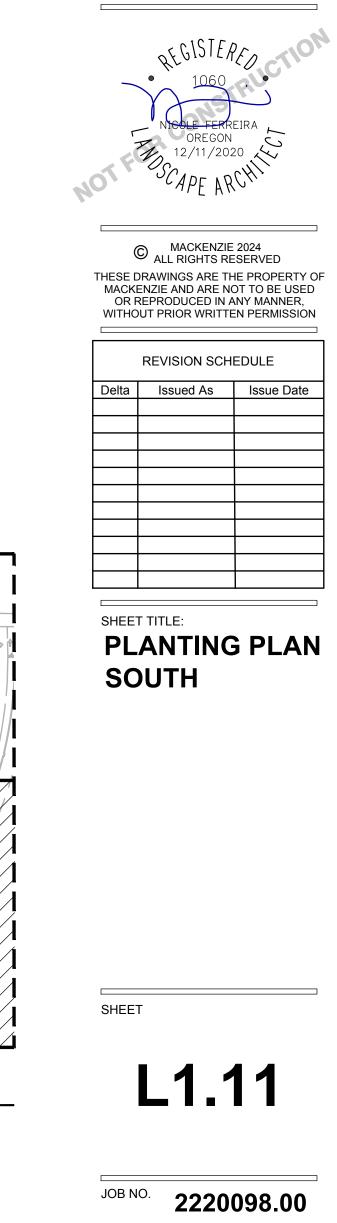


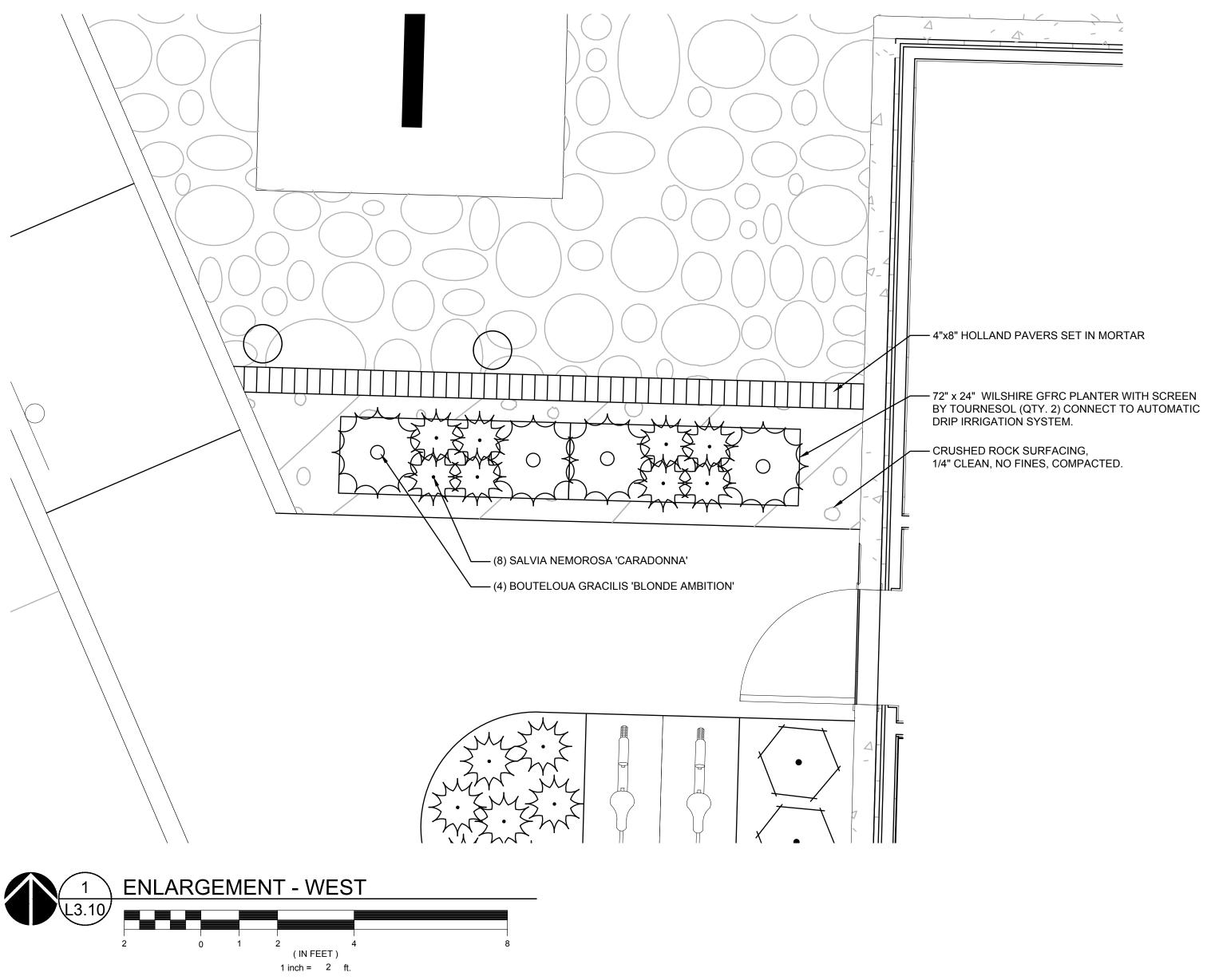
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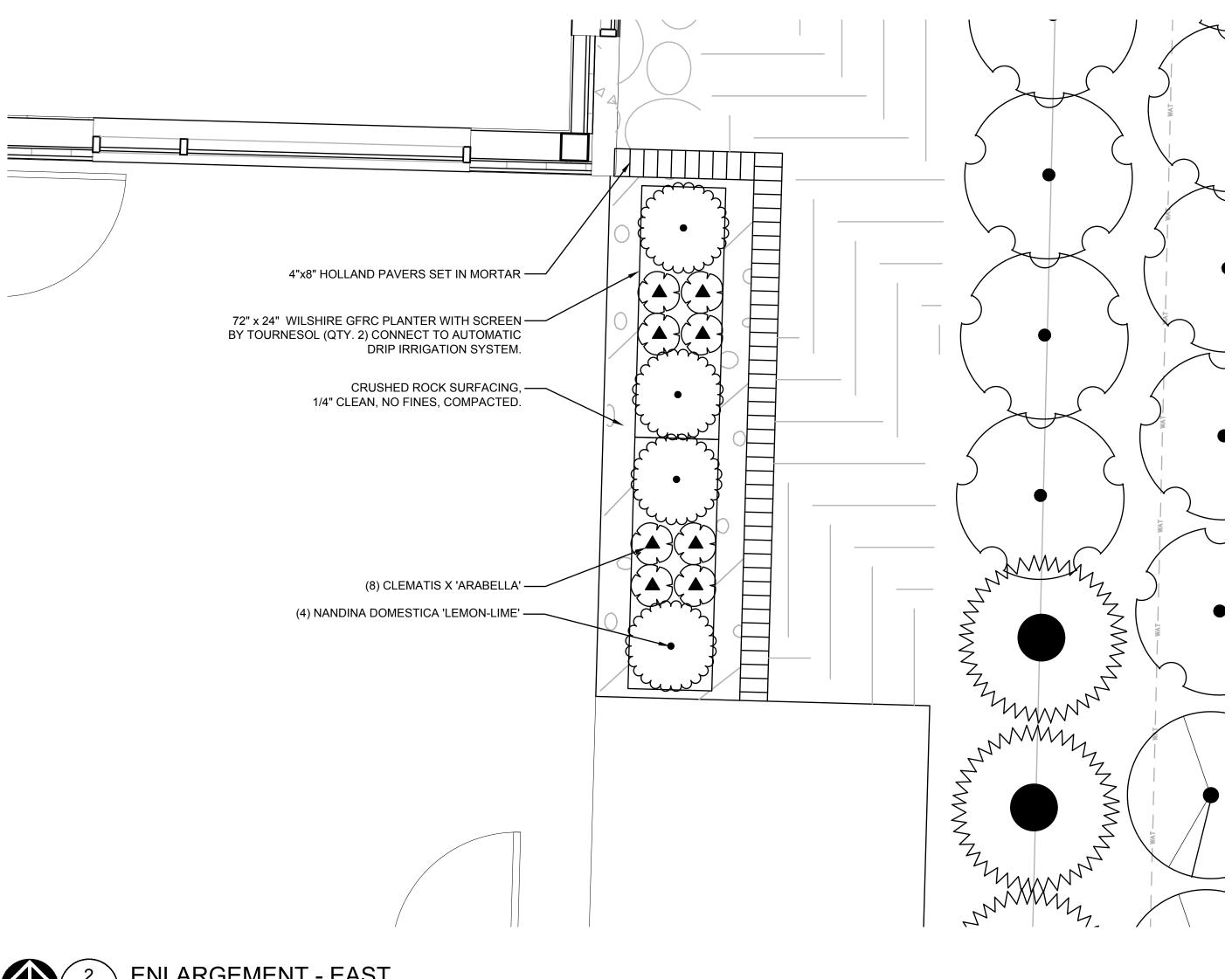
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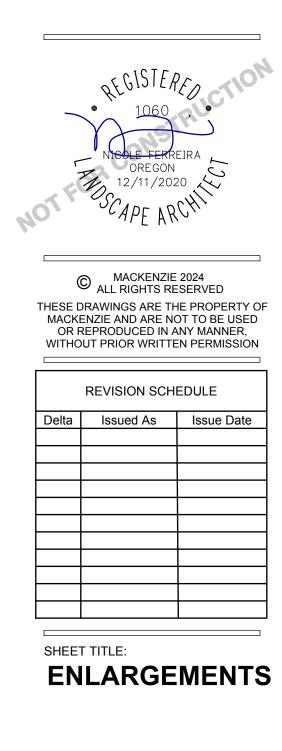


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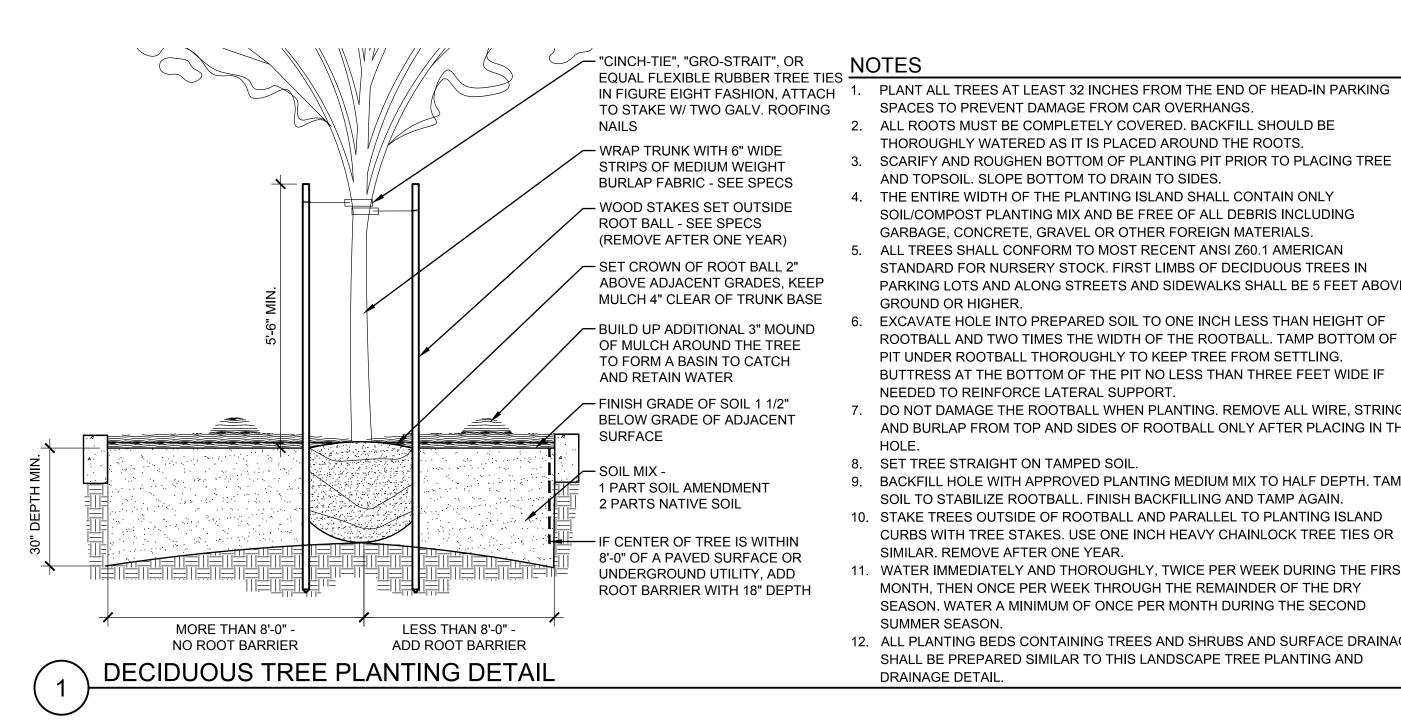
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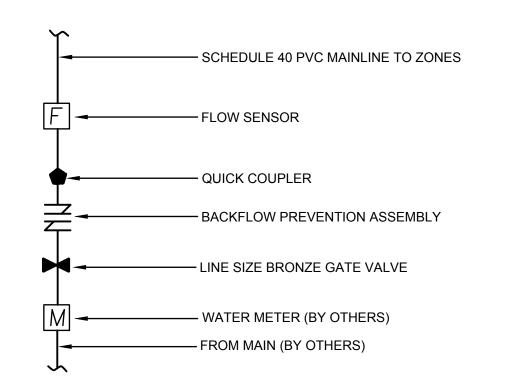
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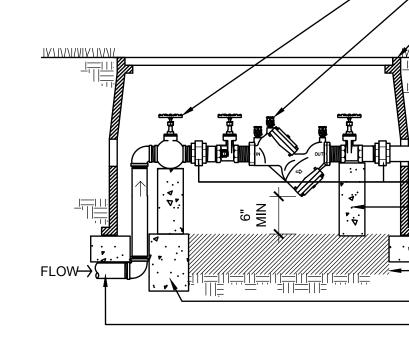
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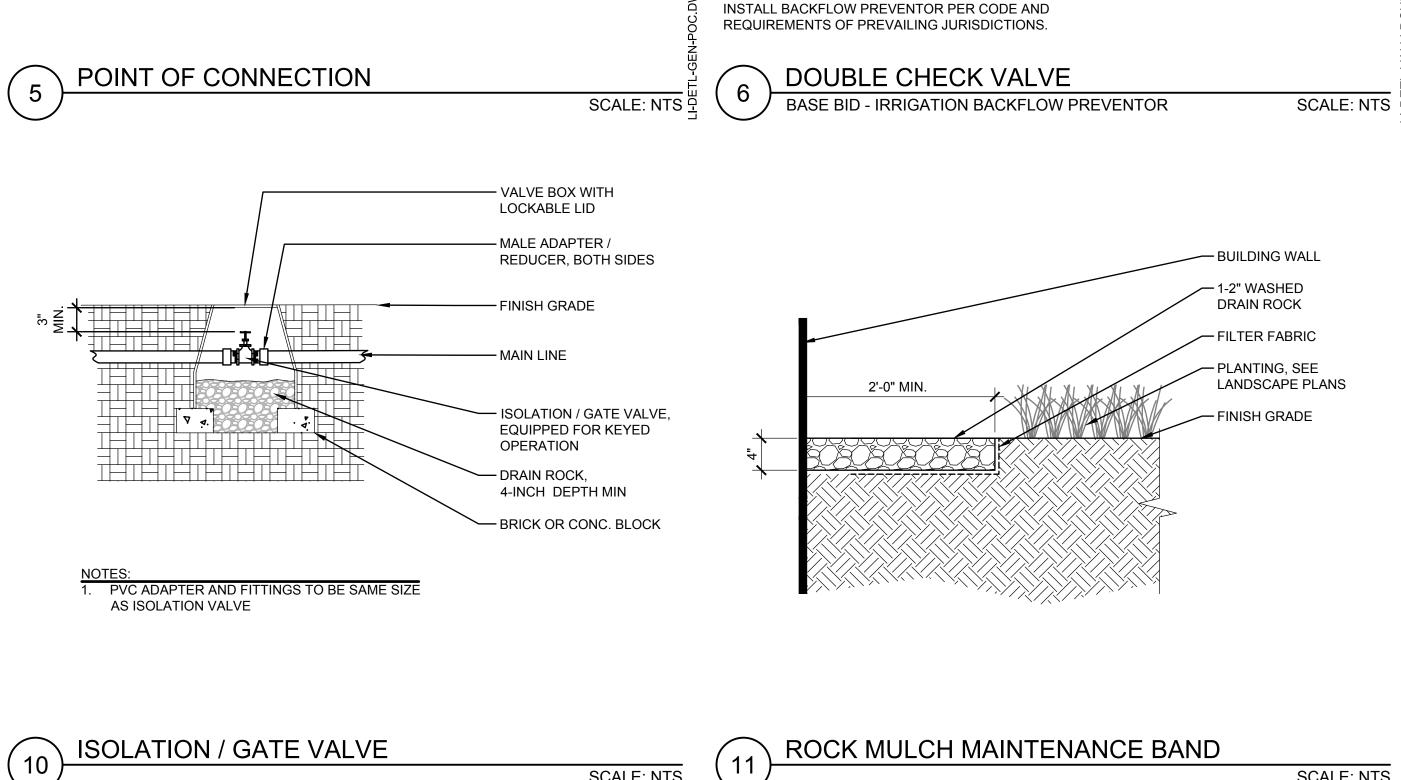












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NOTE

SPACES TO PREVENT DAMAGE FROM CAR OVERHANGS. 2. ALL ROOTS MUST BE COMPLETELY COVERED. BACKFILL SHOULD BE THOROUGHLY WATERED AS IT IS PLACED AROUND THE ROOTS.

3. SCARIFY AND ROUGHEN BOTTOM OF PLANTING PIT PRIOR TO PLACING TREE AND TOPSOIL. SLOPE BOTTOM TO DRAIN TO SIDES. 4. THE ENTIRE WIDTH OF THE PLANTING ISLAND SHALL CONTAIN ONLY

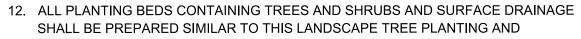
SOIL/COMPOST PLANTING MIX AND BE FREE OF ALL DEBRIS INCLUDING GARBAGE, CONCRETE, GRAVEL OR OTHER FOREIGN MATERIALS. 5. ALL TREES SHALL CONFORM TO MOST RECENT ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK. FIRST LIMBS OF DECIDUOUS TREES IN PARKING LOTS AND ALONG STREETS AND SIDEWALKS SHALL BE 5 FEET ABOVE

EXCAVATE HOLE INTO PREPARED SOIL TO ONE INCH LESS THAN HEIGHT OF ROOTBALL AND TWO TIMES THE WIDTH OF THE ROOTBALL. TAMP BOTTOM OF PIT UNDER ROOTBALL THOROUGHLY TO KEEP TREE FROM SETTLING. BUTTRESS AT THE BOTTOM OF THE PIT NO LESS THAN THREE FEET WIDE IF NEEDED TO REINFORCE LATERAL SUPPORT.

7. DO NOT DAMAGE THE ROOTBALL WHEN PLANTING. REMOVE ALL WIRE, STRING AND BURLAP FROM TOP AND SIDES OF ROOTBALL ONLY AFTER PLACING IN THE

9. BACKFILL HOLE WITH APPROVED PLANTING MEDIUM MIX TO HALF DEPTH. TAMP SOIL TO STABILIZE ROOTBALL. FINISH BACKFILLING AND TAMP AGAIN. 10. STAKE TREES OUTSIDE OF ROOTBALL AND PARALLEL TO PLANTING ISLAND CURBS WITH TREE STAKES. USE ONE INCH HEAVY CHAINLOCK TREE TIES OR

11. WATER IMMEDIATELY AND THOROUGHLY, TWICE PER WEEK DURING THE FIRST MONTH, THEN ONCE PER WEEK THROUGH THE REMAINDER OF THE DRY SEASON. WATER A MINIMUM OF ONCE PER MONTH DURING THE SECOND



— GATE VALVE (LINE SIZE)

- SPECIFIED BACKFLOW

PREVENTION DEVICE

- UNION EACH SIDE

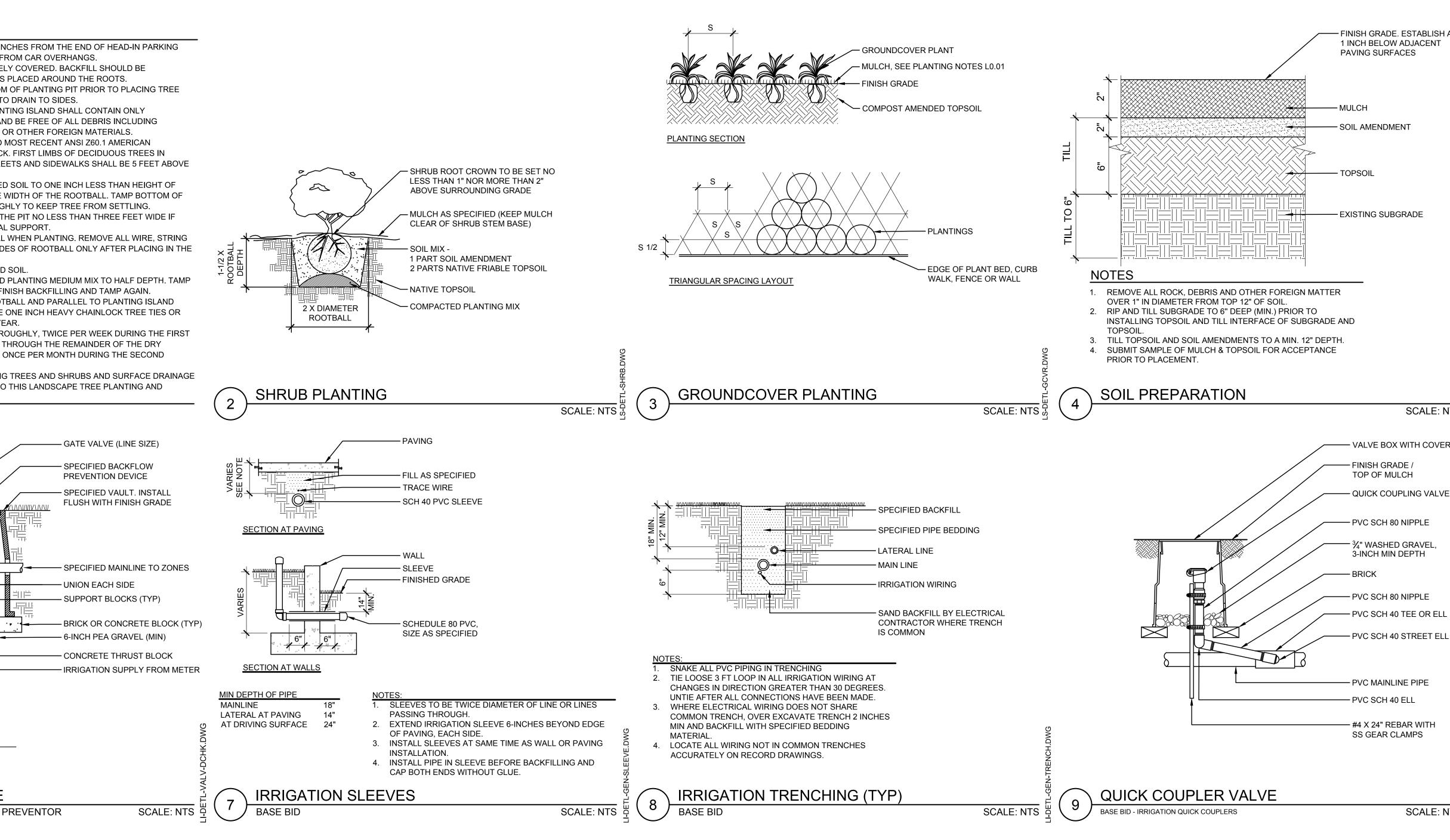
- SUPPORT BLOCKS (TYP)

– 6-INCH PEA GRAVEL (MIN)

- CONCRETE THRUST BLOCK

- SPECIFIED VAULT. INSTALL

FLUSH WITH FINISH GRADE



ROCK MULCH MAINTENANCE BAND

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— QUICK COUPLING VALVE

#4 X 24" REBAR WITH

SCALE: NTS



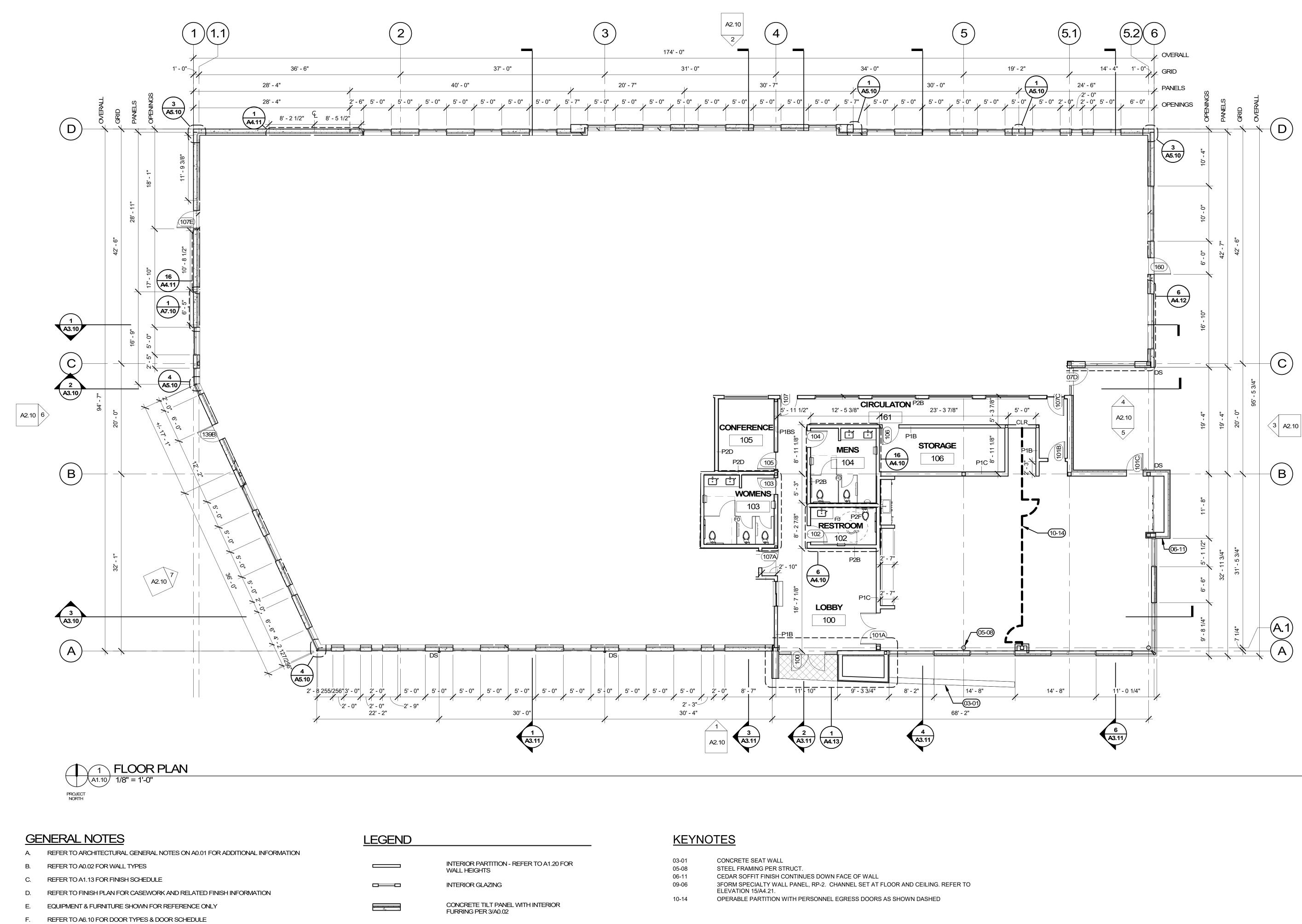
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DETAILS



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G. ALL PENETRATIONS IN THE WALL INCLUDING OUTLETS, DUCTS AND PIPING SHOULD BE CAULKED AIRTIGHT WITH ACOUSTICAL SEALANT.

H. INTERIOR PARTITION CONTROL JOINTS PER DETAIL

I. ALL INTERIOR PARTITIONS TO BE P1A UNLESS OTHERWISE NOTED.

PARTITION - REFER TO A1.20 FOR	
GHTS	

EXTERIOR FIBER CEMENT RAINSCREEN WALL PER 1/A5.11



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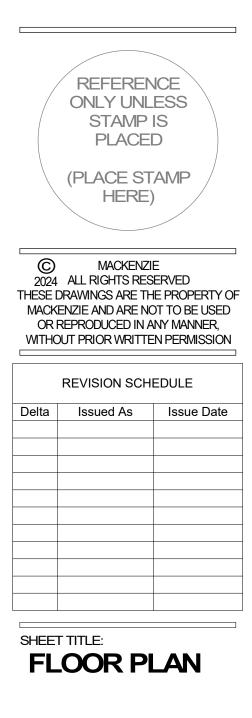
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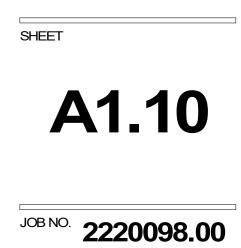
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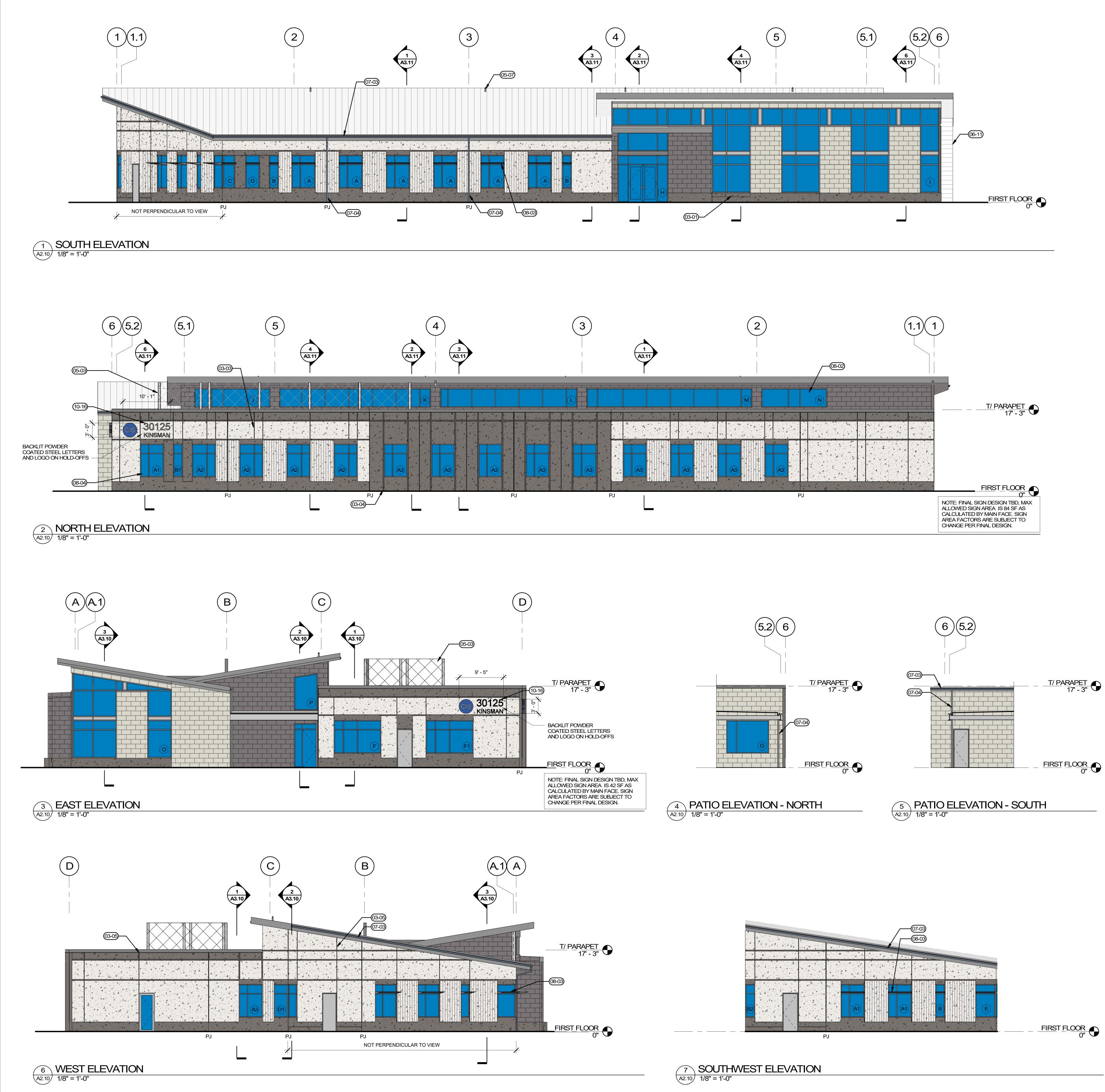
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3		
		4

GENERAL NOTES

- MAINTAIN 1/4" PER FOOT MINIMUM SLOPE THROUGHOUT ROOF. ADD CRICKETS AS REQUIRED TO
- PROVIDE POSITIVE SLOPE TO DRAIN AT MINIMUM 1/4" PER FOOT AT ENTIRE ROOF, TYPICAL. ALL ROOF ELEVATIONS TO BOTTOM OF DECK. WALKWAY PADS ARE SHOWN SCHEMATICALLY. WALKWAY PADS SHOULD BE PROVIDED AT AREAS SHOWN AND TO INCLUDE ALL EQUIPMENT INSTALLATIONS, DOORWAYS, STAIR/LADDER LANDINGS,
- AND OTHER AREAS REQUIRING REGULAR MAINTENANCE. CONTRACTOR TO PROVIDE COVERS, ENCLOSURES, AND/OR SEALANTS AT ALL ROOF
- PENETRATIONS, PIPES, CURBS, DUCTS, AND CONNECTIONS. COORDINATE AND REFER TO MECHANICAL/ELECTRICAL DISCIPLINES FOR ADDITIONAL INFORMATION. SEE DETAIL 13/A5.14 FOR ELECTRICAL CONDUIT PENETRATIONS
- SEE DETAILS 11-12/A5.14 FOR PIPE PENETRATIONS SEE DETAILS 5/10A5.14 FOR MECHANICAL UNIT CURBS G.

LEGEND	
	CONCRETE TILT PANELS - SHERWIN WILLIAMS "SNOWBOUND"
	CONCRETE TILT PANELS - FORMLINER PATTERN PER SPEC - PAINT SHERWIN WILLIAMS "SNOWBOUND"
	CONCRETE TILT PANELS - SHERWIN WILLIAMS "GAUNTLET GREY"
	FIBER CEMENT PANEL - FC-1: "ARGENT GREY"
	FIBER CEMENT PANEL - FC-2: "CHALK"
	METAL SCREEN, REFER TO DETAIL
	PAINTED CONCRETE REVEALS
	METAL INFILL PANEL PER SPECS
PJ	PANEL JOINT - REFER TO STRUCUTRAL

<u>KEYNOTES</u>

03-01	CONCRETE SEAT WALL
03-03	VERTICAL REVEALS TO ALIGN WITH WINDOW MULLIONS BELOW, TYP. U.N.O.
03-04	REVEAL "A" AT JAMBS OF OPENINGS AT BUMP-OUT, TYP.
03-05	REVEAL "B" VERTICAL ALONG ADJACENT DOOR JAMB
05-03	METAL SCREEN WALL AT ROOFTOP UNITS. SEE EXTERIOR DETAILS.
05-07	ROOF TIE-OFFS. SEE HIGH ROOF PLAN FOR LOCATIONS
06-11	CEDAR SOFFIT FINISH CONTINUES DOWN FACE OF WALL
07-03	METAL GUTTER
07-04	METAL DOWNSPOUT - RECTANGULAR PROFILE, 4"X3"
08-02	CLERESTORY GLAZING PER ELEVATIONS AND EXTERIOR GLAZING SCHEDULE.
08-03	INTEGRAL STOREFRONT SHADE DEVICES. FINISH TO MATCH MULLION SYSTEM OF ASSOCIATED OPENING.
08-04	PROVIDE ACOUSTIC GLAZING, FRAMES AND SEALS AT NORTH STOREFRONT OPENINGS
10-16	BUILDING ADDRESS SIGN



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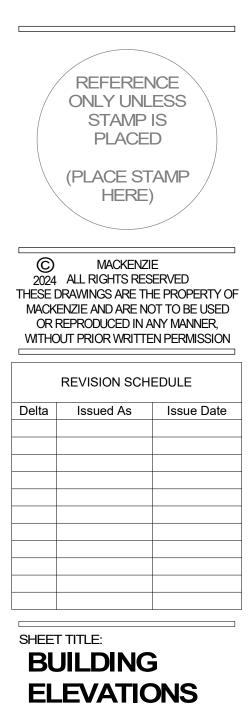
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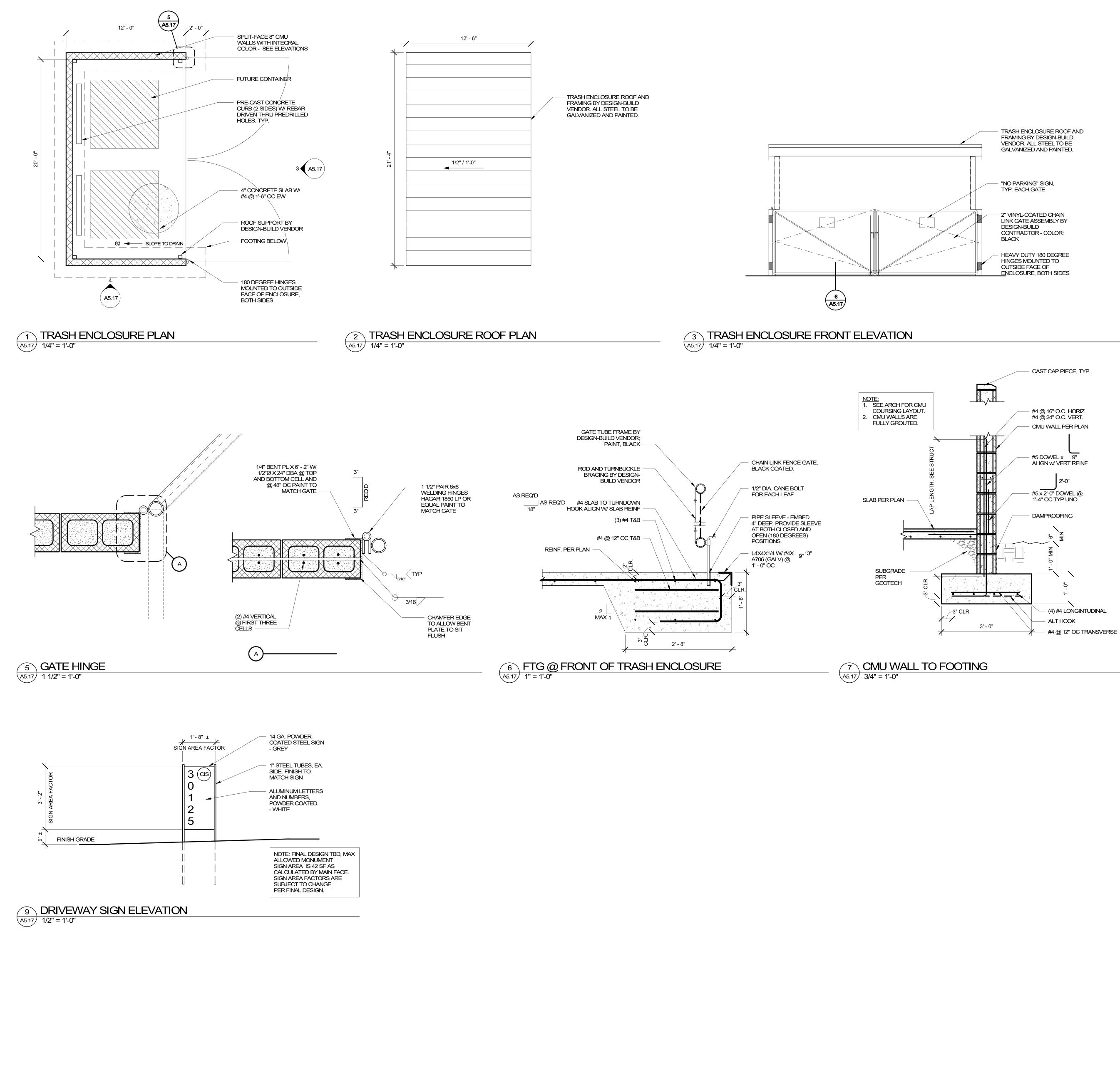
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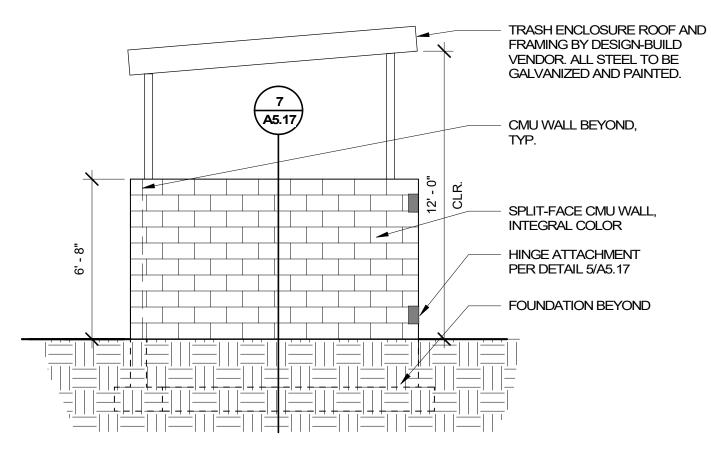
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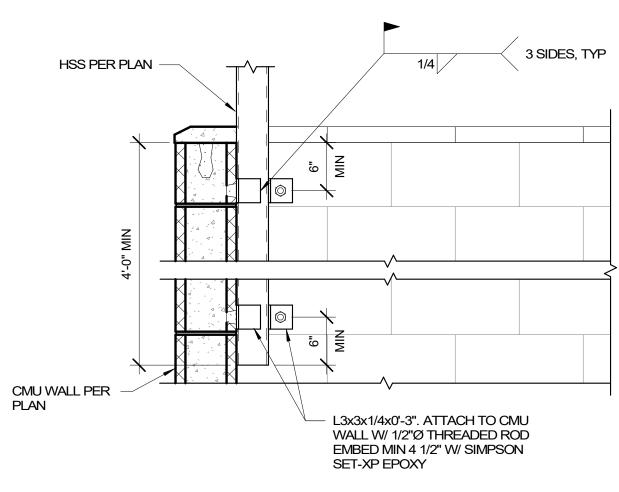












8 COLUMN TO CMU A5.17 1" = 1'-0"



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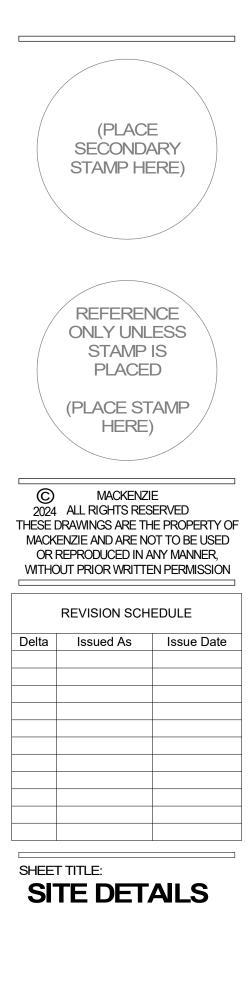
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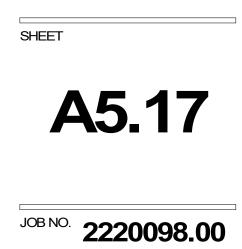
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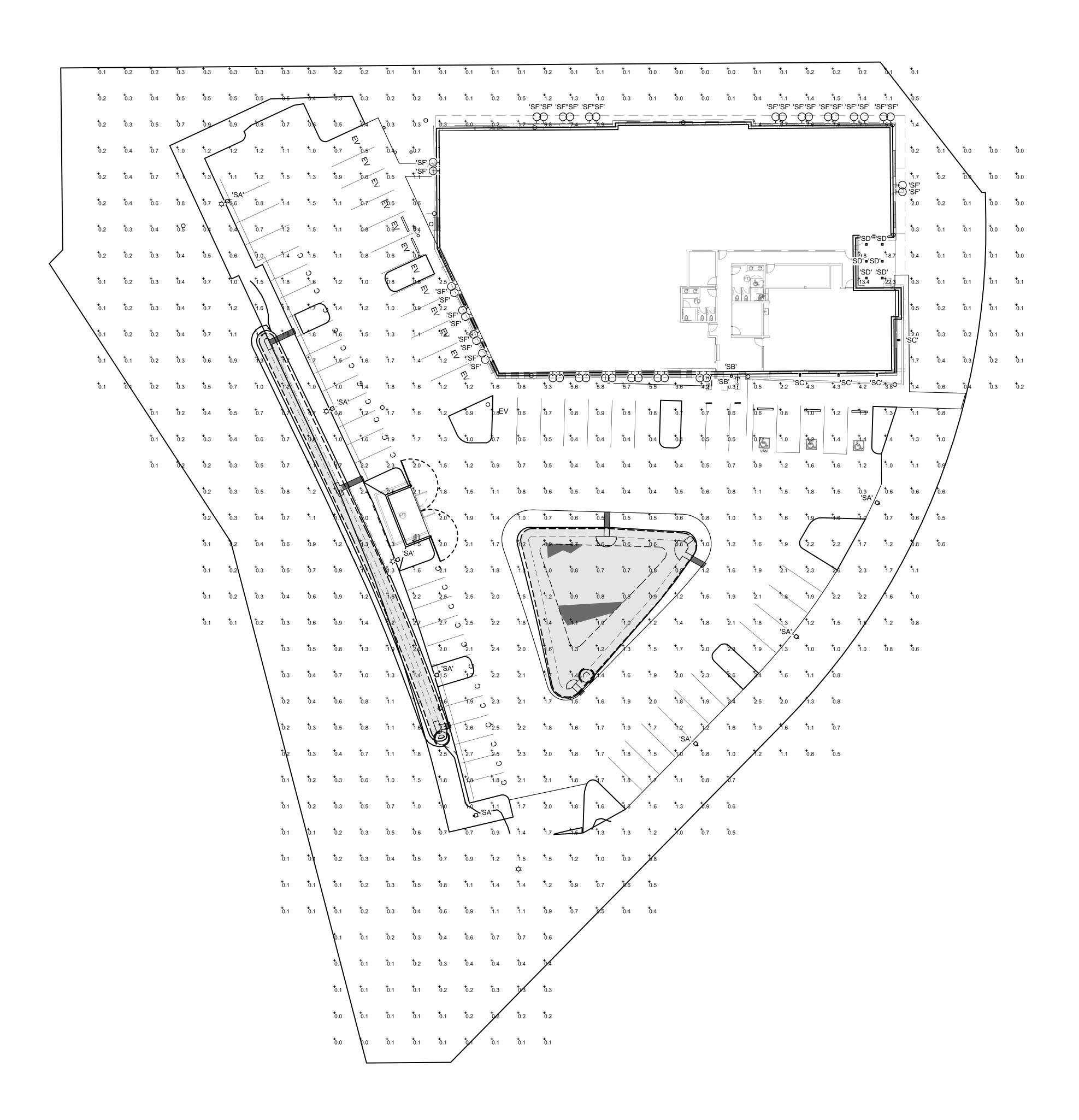
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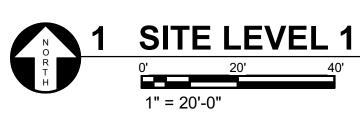
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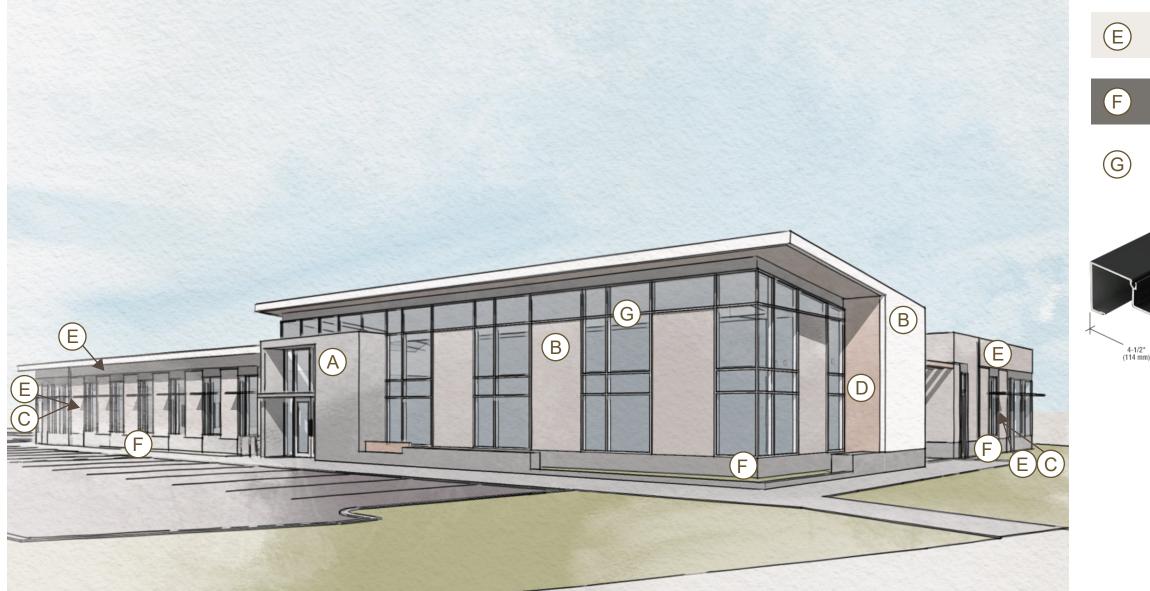
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CIS EXTERIOR MATERIAL BOARD







VERTICAL GRAIN CEDAR SOFFIT AT CANOPY & OVERHANG

SHERWIN- WILLIAMS: SNOWBOUND

SHERWIN- WILLIAMS: GAUNTLET GRAY





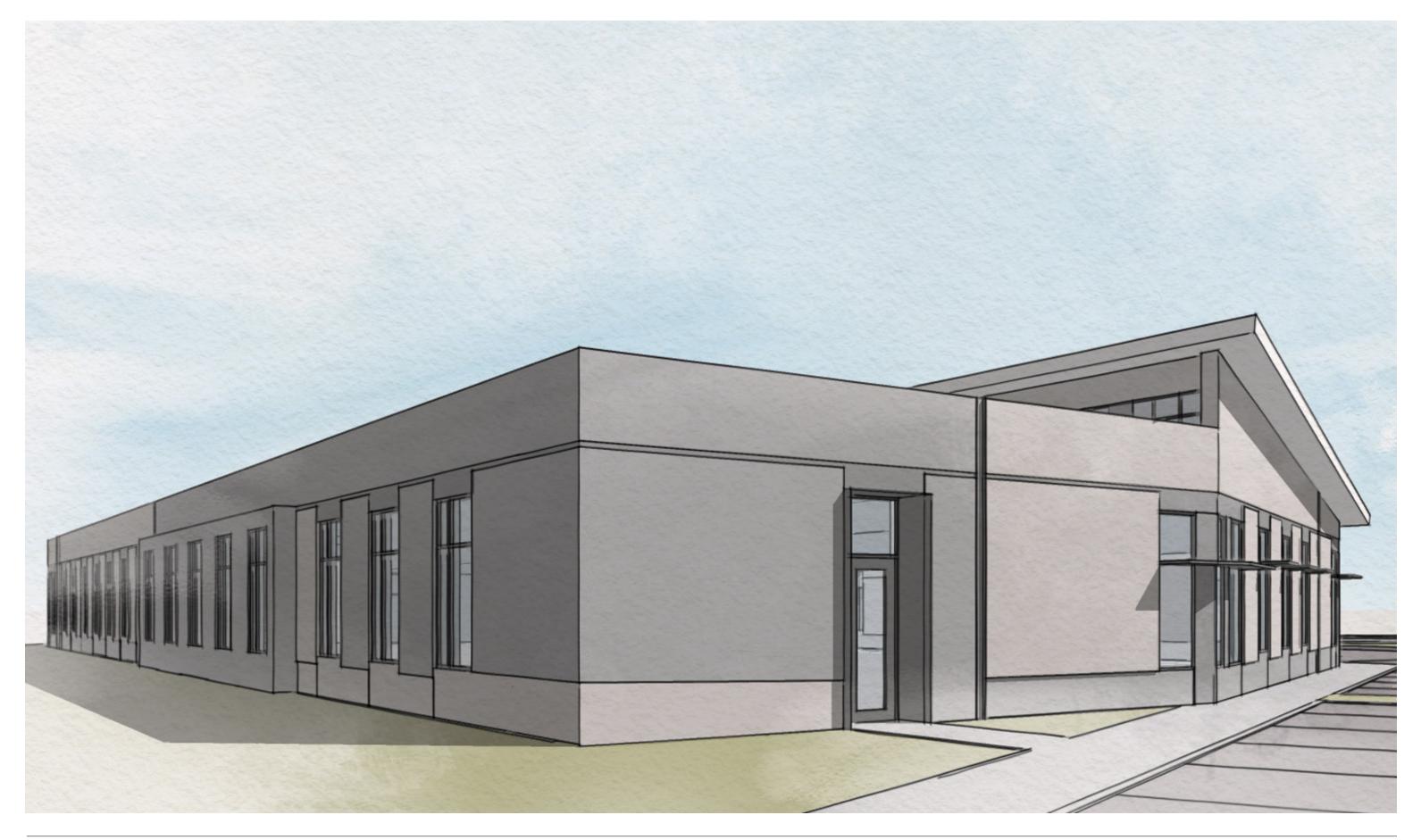




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